

BUCKAROO

ALTERATIONS AND ADDITIONS + SECONDARY DWELLING

540 Ulan Rd
Mudgee NSW 2850

DRAWING SCHEDULE

LAYOUT ID	LAYOUT NAME	SCALE	CURRENT REVISION ID
DA 00	COVER SHEET	1:100	01
DA 01	SITE ANALYSIS PLAN	1:200	01
DA 10	SITE PLAN	1:2000	01
DA 11	GROUND FLOOR PLAN	1:100	01
DA 12	ROOF PLAN	1:100	01
DA 13	CABIN GROUND FLOOR + ROOF PLAN	1:100	01
DA 20	NORTH ELEVATION	1:100	01
DA 21	EAST ELEVATION	1:100	01
DA 22	SOUTH ELEVATION	1:100	01
DA 23	WEST ELEVATION	1:100	01
DA 24	CABIN ELEVATIONS	1:100	01
DA 30	SECTION A + B	1:100	01
DA 31	SECTION B	1:100	01
DA 32	CABIN SECTIONS	1:100	01

HOUSE BASIX REQUIREMENTS - A461220_02

OUTDOOR SWIMMING POOL

The swimming pool must be outdoors. The swimming pool must not have a capacity greater than 13 kilolitres. The swimming pool must have a pool cover.

The applicant must install a pool pump timer for the swimming pool. The applicant must not incorporate any heating system for the swimming pool that is part of this development.

FIXTURES AND SYSTEMS

HOT WATER

The applicant must install the following hot water system in the development: gas instantaneous.

LIGHTING

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

FIXTURES

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

CONSTRUCTION

INSULATION REQUIREMENTS

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

Concrete slab on ground floor with in-slab heating to have R1.00 (slab edge) insulation.

External wall: brick veneer to have R1.16 (or R1.7 including construction) insulation.

External wall: other to have R1.7 (including construction)

Internal wall shared with garage: single skin masonry (R0.18) requires no additional insulation.

Raked ceiling, pitched/skillion roof: framed to have R3.0 ceiling insulation (up) and roof to have foil/sarking with medium solar absorptance 0.475-0.7.

CABIN BASIX REQUIREMENTS - 1310041S

GLAZING REQUIREMENTS

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table adjacent. Relevant overshadowing specifications must be satisfied for each window and glazed door. The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.

SKYLIGHTS

The applicant must install the skylights in accordance with the specifications listed in the table below. The following requirements must also be satisfied in relation to each skylight:

Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.

WATER COMMITMENTS

LANDSCAPE

The applicant must plant indigenous or low water use species of vegetation throughout 800 square metres of the site.

FIXTURES

The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.

The applicant must install a toilet flushing system with a minimum rating of 6 star in each toilet in the development.

The applicant must install taps with a minimum rating of 6 star in the kitchen in the development.

The applicant must install basin taps with a minimum rating of 6 star in each bathroom in the development.

ALTERNATIVE WATER

RAINWATER TANK

The applicant must install a rainwater tank of at least 5000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

The applicant must configure the rainwater tank to collect rain runoff from at least 153.94 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).

The applicant must connect the rainwater tank to: - all hot water systems in the development - all indoor cold water taps (not including taps that supply clothes washers) in the development

GREYWATER DIVERSION SYSTEM

The applicant must install a greywater diversion system on the site. This system must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

The applicant must configure the greywater diversion system so that greywater for diversion is collected from: - the laundry - each bathroom (but not the toilets)

PRIVATE DAM

The applicant must connect the development to a private dam with a surface area no greater than 3906 square metres, and a volume of at least 7812 cubic metres. The connection must meet the requirements of all applicable regulatory authorities.

The applicant must configure the dam to collect runoff from: - at least 7000 square metres of pervious catchment area

The applicant must connect the dam to: - at least one outdoor tap in the development (Note: NSWHealth does not recommend that private dam water be used to irrigate edible plants which are consumed raw.)

GENERAL FEATURES

The dwelling must not have more than 2 storeys.

The conditioned floor area of the dwelling must not exceed 300 square metres.

The dwelling must not contain open mezzanine area exceeding 25 square metres. The dwelling must not contain third level habitable attic room.

FLOOR, WALLS AND CEILING/ROOF

The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed below.

Floor - suspended floor above open subfloor framed to have 1.8 insulation R-value (or 2.5 including construction) (down)

External wall - framed (weatherboard, fibre cement, metal clad) to have 3.2 insulation R-value (or 3.6 including construction)

Ceiling and roof - raked ceiling / pitched or skillion roof, framed to have ceiling insulation R-value 5.5 (up), roof to have foil backed blanket (55mm)

WINDOWS, GLAZED DOORS AND SKYLIGHTS

The applicant must install the windows, glazed doors and shading devices described in the table adjacent, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.

The following requirements must also be satisfied in relation to each window and glazed door:

- For the following glass and frame types, the certifier check can be performed by visual inspection.
- Aluminium single clear
- Aluminium double (air) clear
- Timber/uPVC/fibreglass single clear
- Timber/uPVC/fibreglass double (air) clear

For other glass or frame types, each window and glazed door must be accompanied with certification showing a U value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range of those listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. Frame and glass types shown in the table below are for reference only.

ENERGY COMMITMENTS

HOT WATER

The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.

CONSULTANTS

CONSULTANT 1 ROLE	SURVEYOR	STRUCTURAL ENGINEER	BUSHFIRE CONSULTANT
COMPANY NAME NAME SURNAME ADDRESS TELEPHONE EMAIL	Barnson Pty Ltd Unit 4, 108-110 Market Street Mudgee NSW 2850 1300 227 676	Barnson Pty Ltd Unit 4, 108-110 Market Street Mudgee NSW 2850 1300 227 676	Eco Logical Australia PO Box Q1082, Queen Victoria Building NSW 1230 1300 646 131

HOUSE GLAZING REQS.

W1	eave/verandah/pergola/balcony >=450mm	timber or uPVC, toned/air gap/ clear, (U-value: 3.64, SHGC 0.42)
W2	eave/verandah/pergola/balcony >=450mm	timber or uPVC, toned/air gap/ clear, (U-value: 3.64, SHGC 0.42)
W3	eave/verandah/pergola/balcony >=450mm	timber or uPVC, single clear, (U-value: 5.71, SHGC 0.66)
W4	Awning (adjustable >=900mm	timber or uPVC, single clear, (U-value: 5.71, SHGC 0.66)
W5	Awning (adjustable >=900mm	timber or uPVC, single clear, (U-value: 5.71, SHGC 0.66)
W6	awning (fixed) >=900mm	timber or uPVC, single toned, (U-value: 5.67, SHGC 0.49)
W7	eave/verandah/pergola/balcony >=600mm	timber or uPVC, toned/air gap/ clear, (U-value: 3.64, SHGC 0.42)
W8	eave/verandah/pergola/balcony >=450mm	timber or uPVC, single clear, (U-value: 5.71, SHGC 0.66)
W9	none	timber or uPVC, single clear, (U-value: 5.71, SHGC 0.66)
W10	none	timber or uPVC, single clear, (U-value: 5.71, SHGC 0.66)
W11	none	timber or uPVC, single clear, (U-value: 5.71, SHGC 0.66)
W12	none	timber or uPVC, single clear, (U-value: 5.71, SHGC 0.66)
SK01	no shading	timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5)

CABIN GLAZING REQS.

W13	3000mm eave	timber/UPVC/fibreglass, single, tint U-value: 5.4 SHGC: 0.441 - 0.539
W14	350mm eave	timber/UPVC/fibreglass, single, tint U-value: 5.4 SHGC: 0.441 - 0.539
W15	350mm eave	timber/UPVC/fibreglass, single, tint U-value: 5.4 SHGC: 0.441 - 0.539
W16	350mm eave	timber/UPVC/fibreglass, single, tint U-value: 5.4 SHGC: 0.441 - 0.539
W17	4340mm eave	timber/UPVC/fibreglass, single, tint U-value: 5.4 SHGC: 0.441 - 0.539

GENERAL SPECIFICATIONS

GENERALLY

ALL WORK SHALL BE CARRIED OUT USING NEW MATERIALS TO A FIRST CLASS QUALITY OF WORKMANSHIP AND IN ACCORDANCE WITH ALL RELEVANT REGULATIONS, BCA REQUIREMENTS, SAA CODES AND LOCAL AUTHORITY REQUIREMENTS.

DEMOLITION

COMPLETE ALL DEMOLITION REQUIRED TO COMPLETE THE WORKS. DEMOLITION TO BE CARRIED OUT AND REFUSE REMOVED WITH MINIMUM DISTURBANCE TO THE EXISTING DWELLING AND ADJOINING DWELLINGS. MAKE GOOD DISTURBED SURFACES AND STRUCTURE BEFORE COMMENCING NEW WORK. DEMOLITION TO BE CARRIED OUT IN ACCORDANCE WITH AS2601-1991.

CARPENTRY AND JOINERY

ALL TIMBERS SHALL BE BEST QUALITY OF THEIR RESPECTIVE SELECTION AND GRADE CONFORMING WITH AS 1684 LIGHT TIMBER FRAMING CODE SPECIFICATION REQUIREMENTS. STRUCTURAL TIMBER SHALL BE MINIMUM F7 GRADE. FRAMING SHOWN IS INDICATIVE ONLY.

DAMP-PROOFING, FLASHING & WATERPROOFING

INSTALL FLASHINGS, DRIPS, STORM MOLDS, WEATHER SEALS, CAULKING, POINTING, OR THE LIKE SO THAT WATER IS PREVENTED FROM ENTERING THE BUILDING. ALL WATERPROOFING TO BE IN ACCORDANCE WITH AS 3740. ALL WET AREAS TO BE EXAMINED AND CERTIFIED BY AN ACCREDITED CERTIFIER.

ENERGY EFFICIENCY

REFER TO BASIX REPORT INCLUDED IN DA PACKAGE FOR DETAILS OF ENERGY REQUIREMENTS

PLUMBING AND DRAINAGE

WORK SHALL BE CARRIED OUT BY A LICENSED CONTRACTOR IN ACCORDANCE WITH AUTHORITIES HAVING JURISDICTION OVER THE WORKS. CONNECT NEW BATHROOMS TO EXISTING SEWERAGE. CONNECT ALL NEW STORMWATER DRAIN POINTS TO EXISTING STORMWATER DRAINAGE. CONNECT ROOF CATCHMENT TO NEW RAINWATER TANK AND CONNECT TO PLUMBING TO WATER GARDENS; REFER HYDRAULIC DRAWINGS. TOILET CISTERNS TO BE WATER EFFICIENT DUAL FLUSH SYSTEMS AND PLUMBING FIXTURES TO BE WATER EFFICIENT TRIPLE A RATED. ALL NEW HOT WATER SERVICE PIPES TO BCA AND AS3500.

BRICKWORK

ALL BRICKWORK TO BE PERFECTLY LEVEL, STRAIGHT & PLUMB & PERFECTLY BONDED. BUILD IN ALL DPC'S, ARCH BARS, WALL TIES & THE LIKE. ALL WORK TO BE CARRIED OUT IN A SKILLFUL & WORKMANLIKE MANNER IN ACCORDANCE WITH BEST TRADE PRACTICE, & AS PER AUSTRALIAN STANDARDS.

STEELWORK

ALL STEELWORK TO BE IN ACCORDANCE WITH STRUCTURAL ENGINEERS PLANS & SPECIFICATION.

TERMITE CONTROL

ALL TERMITE CONTROL TO BE PROVIDED TO COMPLY WITH BCA AND COUNCIL REQUIREMENTS.

ELECTRICAL

WORK SHALL BE CARRIED OUT BY A LICENSED CONTRACTOR IN ACCORDANCE WITH AUTHORITIES HAVING JURISDICTION OVER THE WORKS. SMOKE ALARMS ARE TO BE INSTALLED TO COMPLY WITH AS3786

PLASTERING AND RENDER

13MM STANDARD GRADE PLASTERBOARD TO ALL STUD WALLS, FIXED IN ACCORDANCE WITH MANUFACTURES INSTRUCTIONS. VILLABOARD TO WET AREAS.

BOUNDARIES

NO PORTION OF THE PROPOSED ALTERATIONS AND ADDITIONS, INCLUDING THE FOOTINGS AND ROOF EAVES, IS TO ENCRoACH BEYOND THE BOUNDARIES OF THE SUBJECT PROPERTY.

STRUCTURE GENERALLY

ALL STRUCTURAL WORKS TO PRACTISING STRUCTURAL ENGINEER'S DETAILS AND SPECIFICATIONS. REFER ALL STRUCTURAL ENGINEER'S DETAILS PRIOR TO CONSTRUCTION.

EXISTING MATERIALS

WHERE POSSIBLE EXISTING MATERIALS ARE TO BE RE-USED FOR THE PURPOSE OF NEW CONSTRUCTION AND WASTE MINIMISED GENERALLY.

WINDOWS/DOORS

ALL EXTERNAL DOORS AND WINDOWS ARE TO INCLUDE WEATHER-STRIPPING TO MANUFACTURER'S RECOMMENDATIONS AND/OR SPECIFICATION.

LEGEND

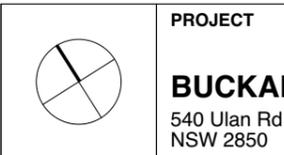
	EXISTING
	PROPOSED
	DEMOLISHED
	NEW WORKS
	JOINERY ELEVATION/PLAN
	JOINERY SECTION

PRELIMINARY - NOT FOR CONSTRUCTION

NATALIE MATTHEWS ARCHITECTS
37 DRESS CIRCLE ROAD AVALON NSW 2107
TEL 0432916961

© COPYRIGHT
ALL RIGHTS RESERVED. NO PART OF THIS DESIGN & DOCUMENTATION OR ALL WORKS EXECUTED FROM THIS DESIGN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT WRITTEN PERMISSION FROM NATALIE MATTHEWS ARCHITECTS. DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. REPORT ALL DISCREPANCIES TO ARCHITECT. ALL WORK TO COMPLY WITH STATUTORY REQUIREMENTS.

PRINT DATE AND TIME: Saturday, 4 June 2022, 11:37 am



PROJECT

BUCKAROO
540 Ulan Rd Mudgee
NSW 2850

REVISION

REV ID	ISSUE DATE	DESCRIPTION
01	4/6/22	FOR DA & CC

DATE

4/6/22

PROJECT NO.

1803

SCALE

1:100 @ A3

DRAWN BY

--

CHECKED BY

--

DRAWING TITLE

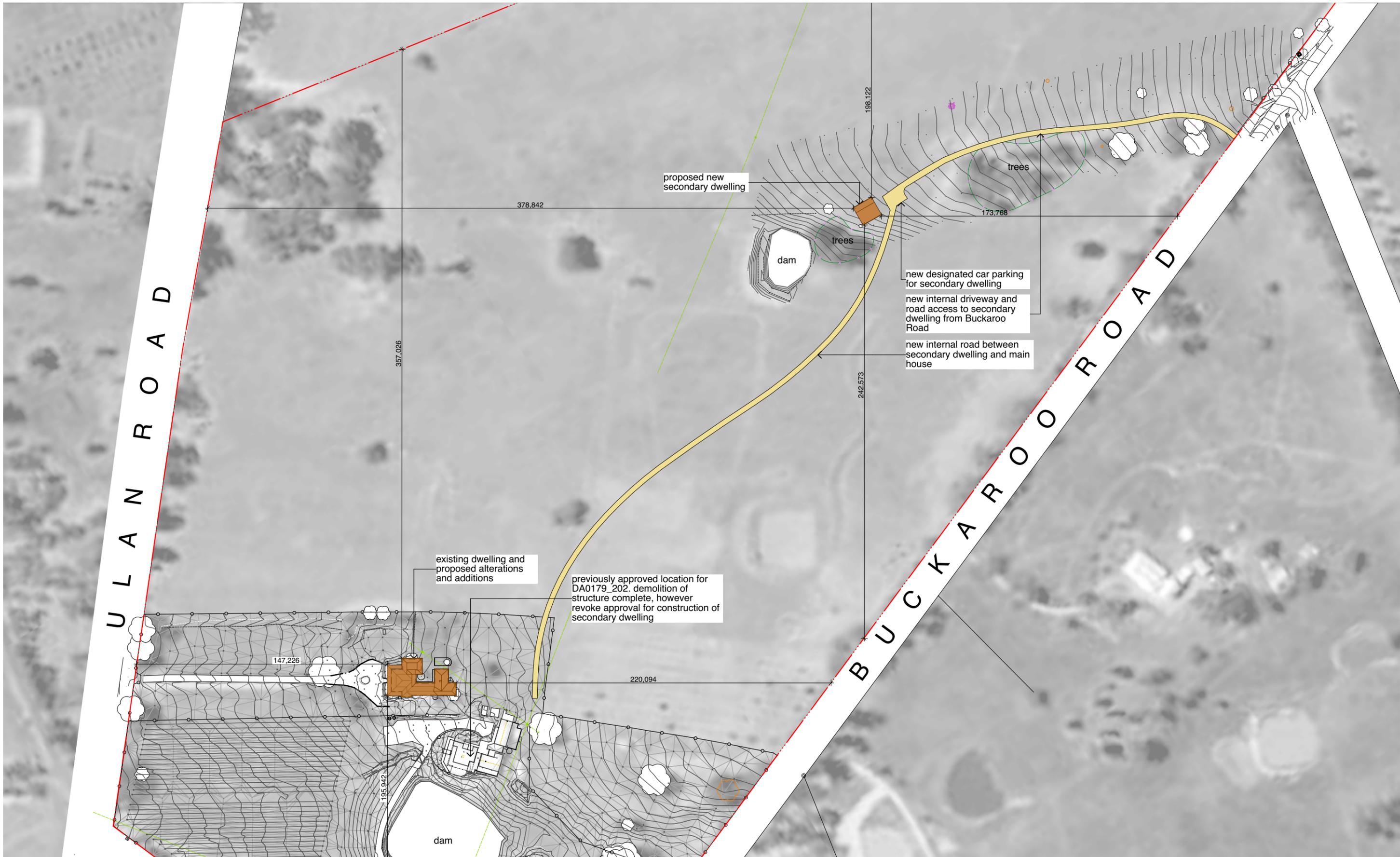
COVER SHEET

DRAWING NO.

DA 00

REVISION

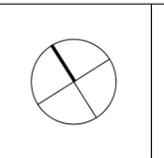
01



1 SITE PLAN
1:2000

NATALIE MATTHEWS ARCHITECTS
37 DRESS CIRCLE ROAD AVALON NSW 2107
TEL 0432916961

© COPYRIGHT
ALL RIGHTS RESERVED. NO PART OF THIS DESIGN & DOCUMENTATION OR ALL WORKS
EXECUTED FROM THIS DESIGN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM
OR BY ANY MEANS WITHOUT WRITTEN PERMISSION FROM NATALIE MATTHEWS
ARCHITECTS. DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. REPORT
ALL DISCREPANCIES TO ARCHITECT. ALL WORK TO COMPLY WITH STATUTORY
REQUIREMENTS.
PRINT DATE AND TIME: Saturday, 4 June 2022, 11:37 am



PROJECT
BUCKAROO
540 Ulan Rd Mudgee
NSW 2850

REVISION		
REV ID	ISSUE DATE	DESCRIPTION
01	4/6/22	FOR DA & CC

DATE 4/6/22
PROJECT NO. 1803
SCALE 1:2000 @ A3
DRAWN BY --
CHECKED BY --

DRAWING TITLE
SITE PLAN

DRAWING NO.
DA 10

REVISION
01

PRELIMINARY - NOT FOR CONSTRUCTION

demolish existing kitchen joinery, doors and walls where shown for new casual

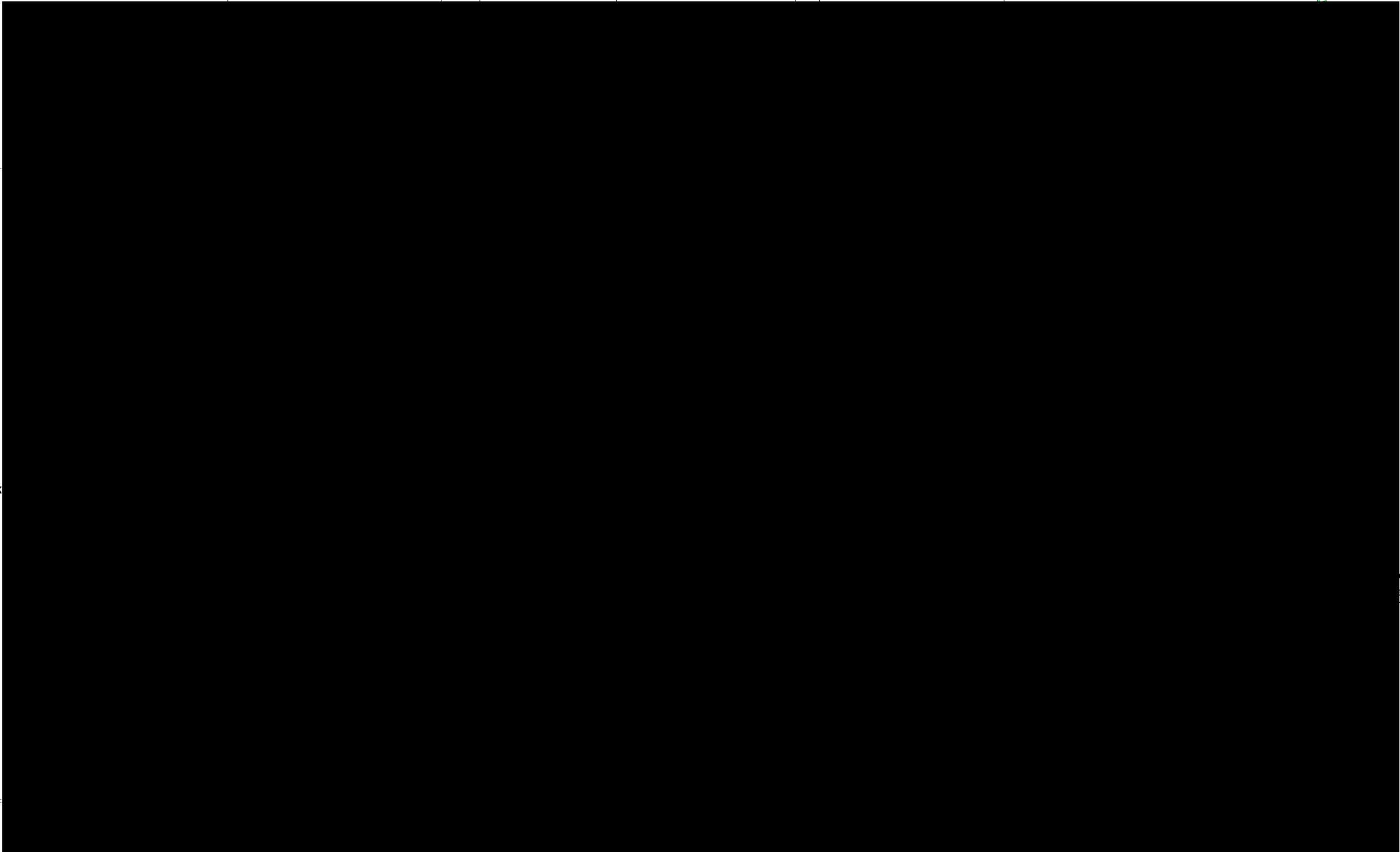
extend floor plan for new kitchen and walk in pantry. all new walls to be double brick with R1.7 insulation

new smoke alarm over

new frame pool deck to match or new build as per structural eng. drawings. in slab heating with

new courtyard, BBQ, firepit and planter

new pool, deck and fencing to comply with Australian Standards



DECK

1 GROUND FLOOR PLAN
1:100

1
DA 22

1
DA 30

2
DA 30

PRELIMINARY - NOT FOR CONSTRUCTION

NATALIE MATTHEWS ARCHITECTS
37 DRESS CIRCLE ROAD AVALON NSW 2107
TEL 0432916961

© COPYRIGHT
ALL RIGHTS RESERVED. NO PART OF THIS DESIGN & DOCUMENTATION OR ALL WORKS EXECUTED FROM THIS DESIGN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT WRITTEN PERMISSION FROM NATALIE MATTHEWS ARCHITECTS. DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. REPORT ALL DISCREPANCIES TO ARCHITECT. ALL WORK TO COMPLY WITH STATUTORY REQUIREMENTS.
PRINT DATE AND TIME: Saturday, 4 June 2022, 11:37 am

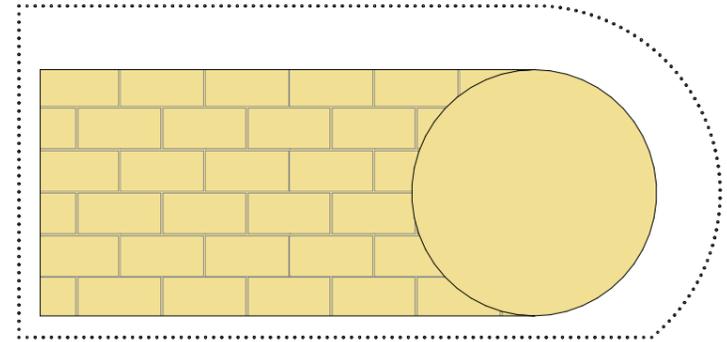
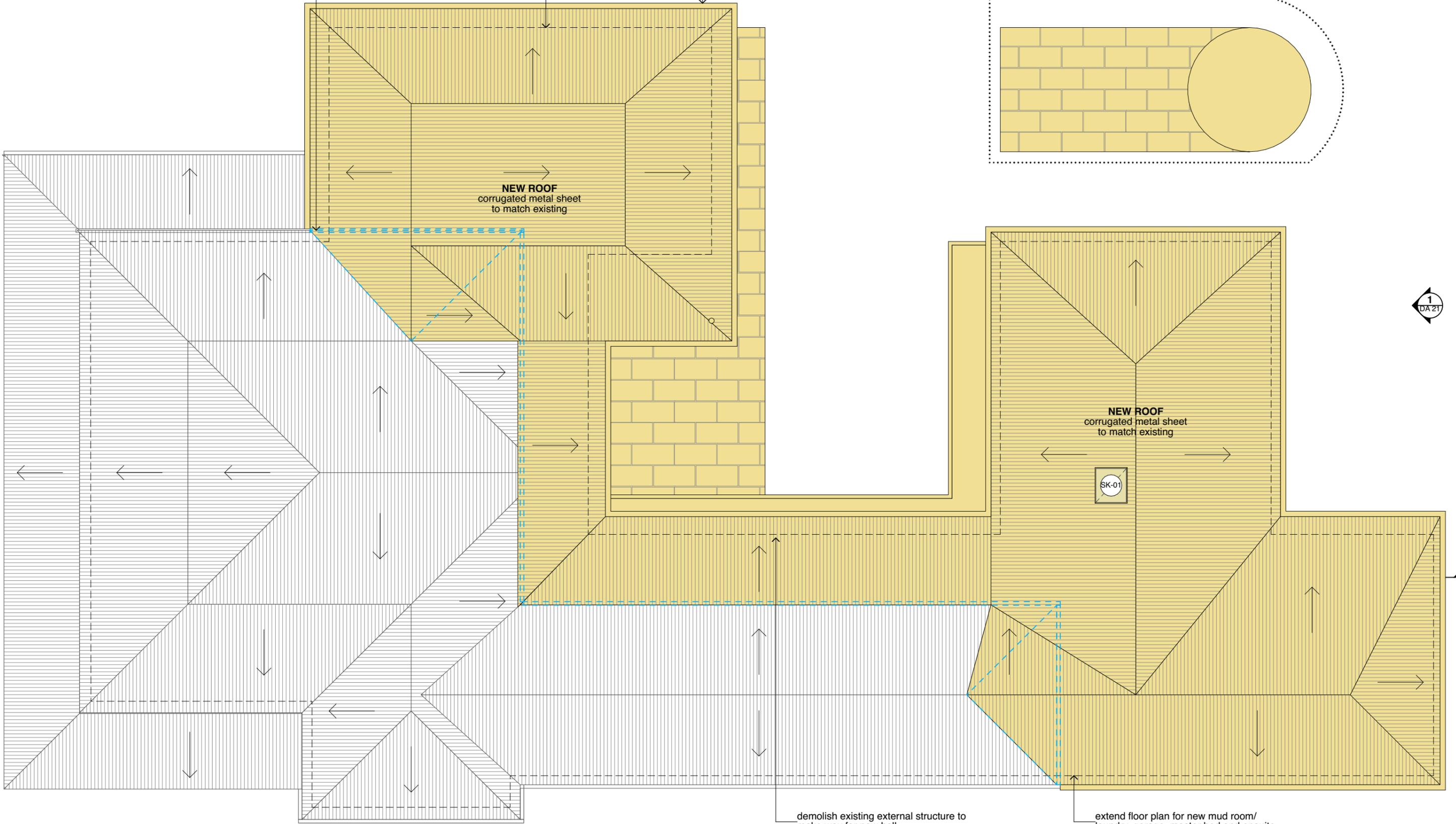


	PROJECT	REVISION	DATE	DRAWING TITLE	DRAWING NO.	REVISION														
	BUCKAROO 540 Ulan Rd Mudgee NSW 2850	<table border="1"> <thead> <tr> <th>REV ID</th> <th>ISSUE DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>01</td> <td>4/6/22</td> <td>FOR DA & CC</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	REV ID	ISSUE DATE	DESCRIPTION	01	4/6/22	FOR DA & CC										4/6/22 PROJECT NO. 1803 SCALE 1:100 @ A3 DRAWN BY -- CHECKED BY --	GROUND FLOOR PLAN	DA 11
REV ID	ISSUE DATE	DESCRIPTION																		
01	4/6/22	FOR DA & CC																		

demolish existing roof where shown for

extend floor plan for new kitchen and walk in pantry. new ceiling to have min R3 insulation, foil/sarking

new gutter to match existing



1
DA 21

demolish existing external structure to make way for new hall

extend floor plan for new mud room/ laundry, garage, master bed and ensuite

1
-
ROOF PLAN
1:100

1
DA 22

1
DA 30

2
DA 30

PRELIMINARY - NOT FOR CONSTRUCTION

NATALIE MATTHEWS ARCHITECTS
37 DRESS CIRCLE ROAD AVALON NSW 2107
TEL 0432916961

© COPYRIGHT
ALL RIGHTS RESERVED. NO PART OF THIS DESIGN & DOCUMENTATION OR ALL WORKS
EXECUTED FROM THIS DESIGN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM
OR BY ANY MEANS WITHOUT WRITTEN PERMISSION FROM NATALIE MATTHEWS
ARCHITECTS. DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. REPORT
ALL DISCREPANCIES TO ARCHITECT. ALL WORK TO COMPLY WITH STATUTORY
REQUIREMENTS.
PRINT DATE AND TIME: Saturday, 4 June 2022, 11:37 am



PROJECT		REVISION		DATE	4/6/22
BUCKAROO 540 Ulan Rd Mudgee NSW 2850		REV ID	ISSUE DATE	DESCRIPTION	PROJECT NO. 1803
		01	4/6/22	FOR DA & CC	SCALE 1:100 @ A3
					DRAWN BY --
					CHECKED BY --

DATE	4/6/22
PROJECT NO.	1803
SCALE	1:100 @ A3
DRAWN BY	--
CHECKED BY	--

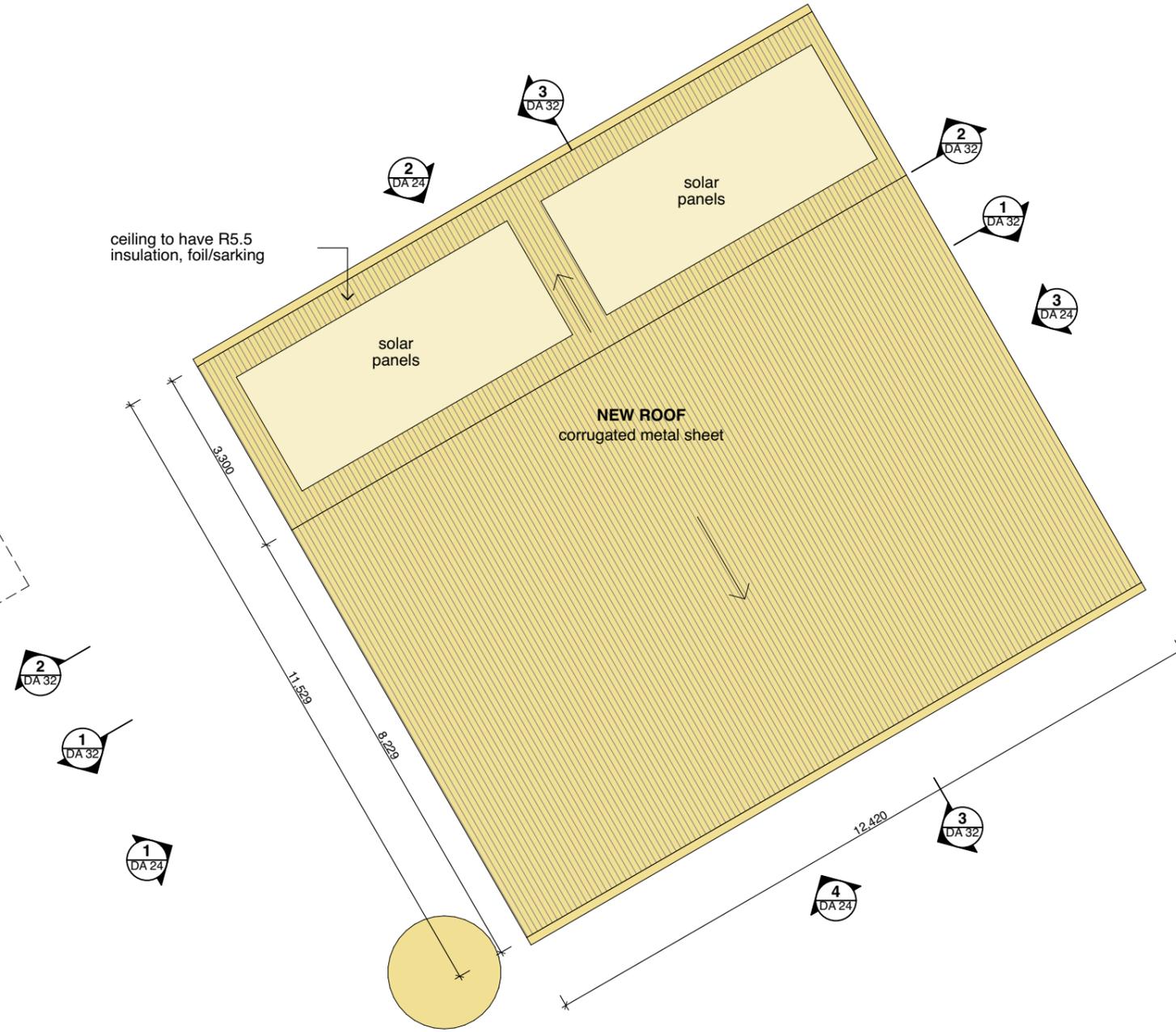
DRAWING TITLE	DRAWING NO.	REVISION
ROOF PLAN	DA 12	01

timber floor to have R1.8 (or R2.5 insulation including



1 CABIN GROUND FLOOR
1:100

ceiling to have R5.5 insulation, foil/sarking



2 CABIN ROOF LEVEL
1:100

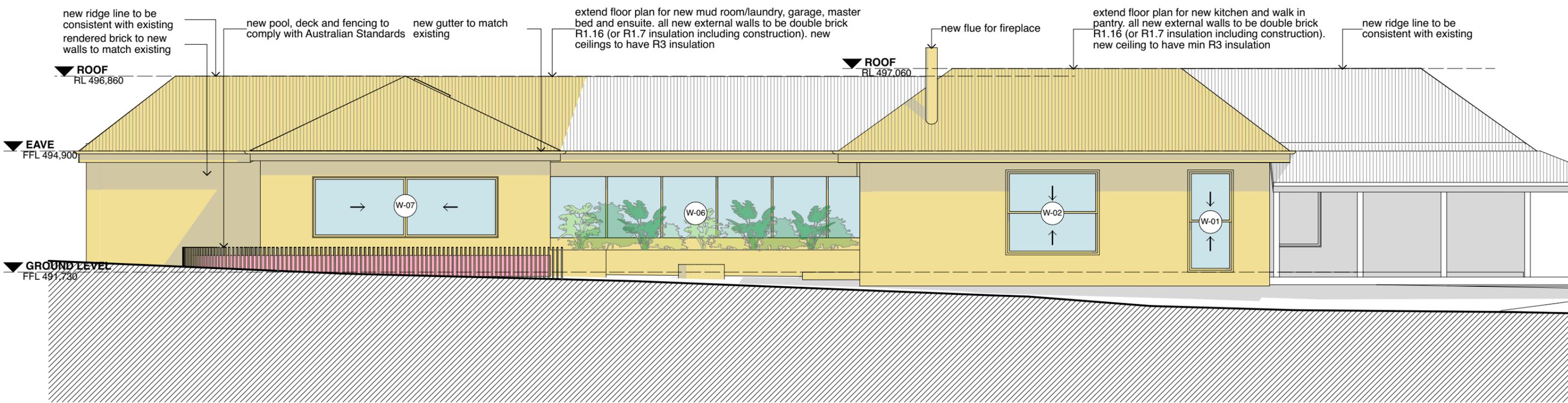
PRELIMINARY - NOT FOR CONSTRUCTION

NATALIE MATTHEWS ARCHITECTS
37 DRESS CIRCLE ROAD AVALON NSW 2107
TEL 0432916961

© COPYRIGHT
ALL RIGHTS RESERVED. NO PART OF THIS DESIGN & DOCUMENTATION OR ALL WORKS
EXECUTED FROM THIS DESIGN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM
OR BY ANY MEANS WITHOUT WRITTEN PERMISSION FROM NATALIE MATTHEWS
ARCHITECTS. DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. REPORT
ALL DISCREPANCIES TO ARCHITECT. ALL WORK TO COMPLY WITH STATUTORY
REQUIREMENTS.
PRINT DATE AND TIME: Saturday, 4 June 2022, 11:37 am



	PROJECT	REVISION		DATE	4/6/22	DRAWING TITLE	DRAWING NO.	REVISION
	BUCKAROO 540 Ulan Rd Mudgee NSW 2850	REV ID	ISSUE DATE	DESCRIPTION	PROJECT NO.	1803	CABIN GROUND FLOOR + ROOF PLAN	DA 13
		01	4/6/22	FOR DA & CC	SCALE	1:100 @ A3		
					DRAWN BY	--		
					CHECKED BY	--		



1 NORTH ELEVATION
1:100

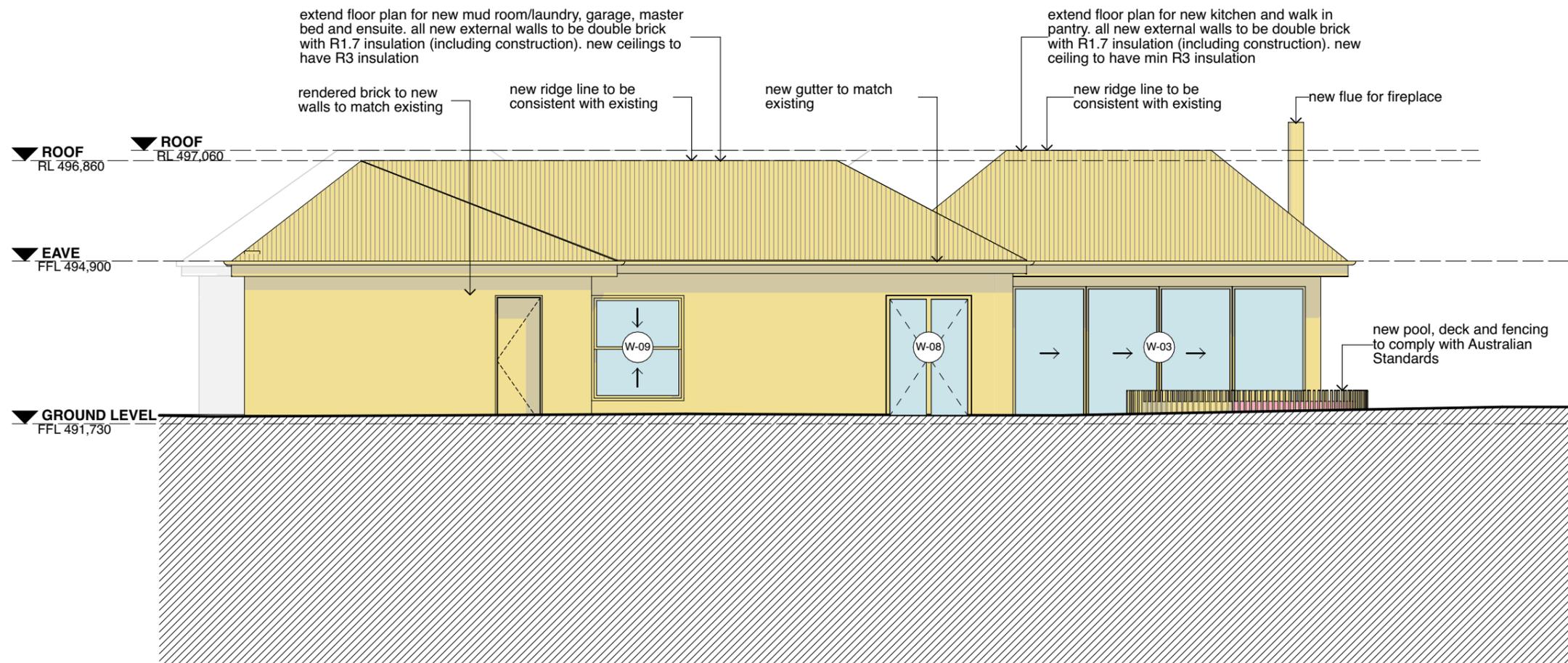
PRELIMINARY - NOT FOR CONSTRUCTION

NATALIE MATTHEWS ARCHITECTS
37 DRESS CIRCLE ROAD AVALON NSW 2107
TEL 0432916961

© COPYRIGHT
ALL RIGHTS RESERVED. NO PART OF THIS DESIGN & DOCUMENTATION OR ALL WORKS EXECUTED FROM THIS DESIGN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT WRITTEN PERMISSION FROM NATALIE MATTHEWS ARCHITECTS. DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. REPORT ALL DISCREPANCIES TO ARCHITECT. ALL WORK TO COMPLY WITH STATUTORY REQUIREMENTS.
PRINT DATE AND TIME: Saturday, 4 June 2022, 11:37 am



PROJECT	REVISION		DATE	4/6/22	DRAWING TITLE	DRAWING NO.	REVISION
	REV ID	ISSUE DATE	DESCRIPTION	PROJECT NO.	NORTH ELEVATION	DA 20	01
BUCKAROO 540 Ulan Rd Mudgee NSW 2850	01	4/6/22	FOR DA & CC	SCALE			
				DRAWN BY	--		
			CHECKED BY	--			



1 EAST ELEVATION
1:100

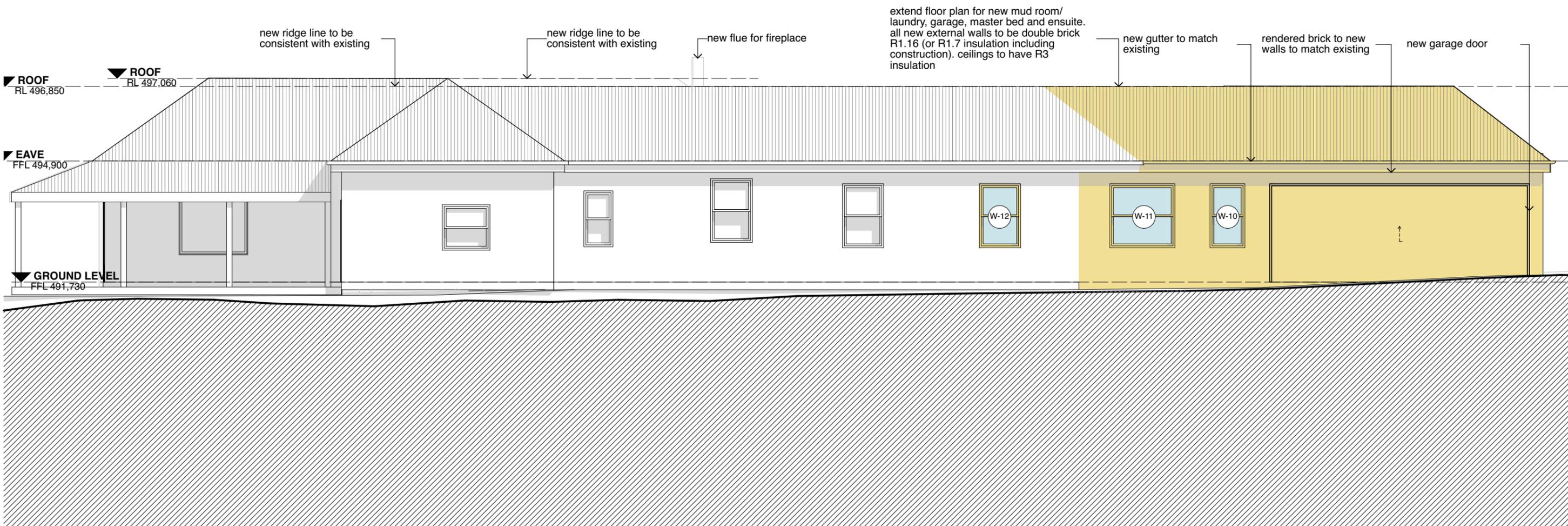
PRELIMINARY - NOT FOR CONSTRUCTION

NATALIE MATTHEWS ARCHITECTS
37 DRESS CIRCLE ROAD AVALON NSW 2107
TEL 0432916961

© COPYRIGHT
ALL RIGHTS RESERVED. NO PART OF THIS DESIGN & DOCUMENTATION OR ALL WORKS EXCLUDED FROM THIS DESIGN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT WRITTEN PERMISSION FROM NATALIE MATTHEWS ARCHITECTS. DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. REPORT ALL DISCREPANCIES TO ARCHITECT. ALL WORK TO COMPLY WITH STATUTORY REQUIREMENTS.
PRINT DATE AND TIME: Saturday, 4 June 2022, 11:37 am



PROJECT	REVISION		DATE	4/6/22	DRAWING TITLE	DRAWING NO.	REVISION
	REV ID	ISSUE DATE	DESCRIPTION	PROJECT NO.	EAST ELEVATION	DA 21	01
BUCKAROO 540 Ulan Rd Mudgee NSW 2850	01	4/6/22	FOR DA & CC	SCALE	1:100 @ A3		
				DRAWN BY	--		
				CHECKED BY	--		



1 SOUTH ELEVATION
1:100

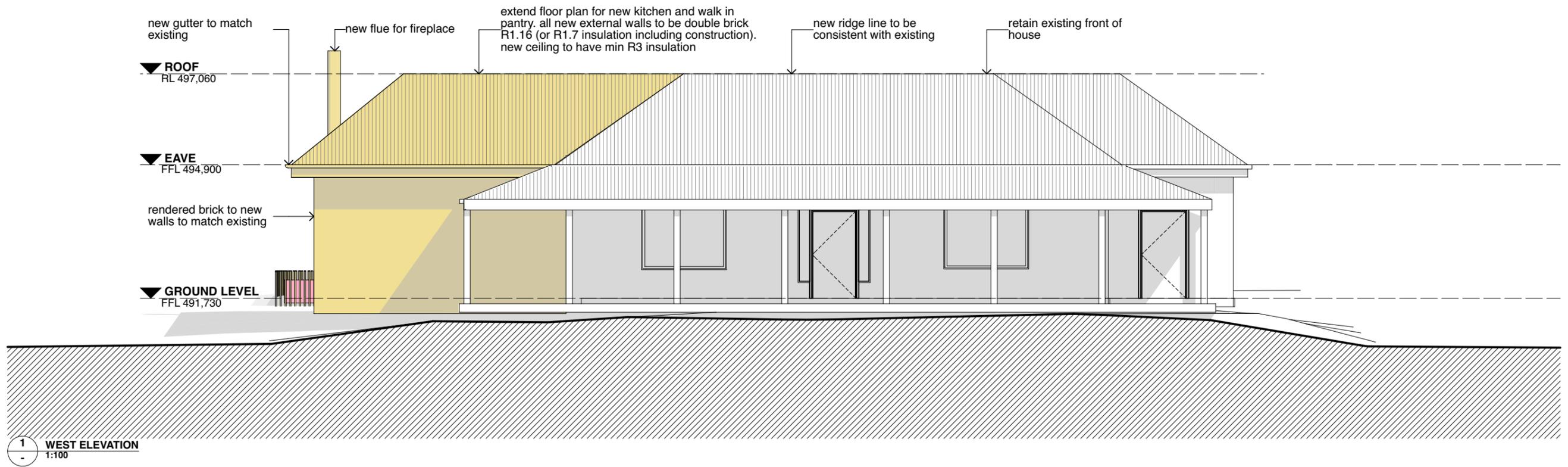
PRELIMINARY - NOT FOR CONSTRUCTION

NATALIE MATTHEWS ARCHITECTS
37 DRESS CIRCLE ROAD AVALON NSW 2107
TEL 0432916961

© COPYRIGHT
ALL RIGHTS RESERVED. NO PART OF THIS DESIGN & DOCUMENTATION OR ALL WORKS
EXCLUDED FROM THIS DESIGN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM
OR BY ANY MEANS WITHOUT WRITTEN PERMISSION FROM NATALIE MATTHEWS
ARCHITECTS. DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. REPORT
ALL DISCREPANCIES TO ARCHITECT. ALL WORK TO COMPLY WITH STATUTORY
REQUIREMENTS.
PRINT DATE AND TIME: Saturday, 4 June 2022, 11:37 am



PROJECT	REVISION		DATE	4/6/22	DRAWING TITLE	DRAWING NO.	REVISION
	REV ID	ISSUE DATE	DESCRIPTION	PROJECT NO.	1803	DA 22	01
BUCKAROO 540 Ulan Rd Mudgee NSW 2850	01	4/6/22	FOR DA & CC	SCALE	1:100 @ A3		
				DRAWN BY	--		
				CHECKED BY	--		



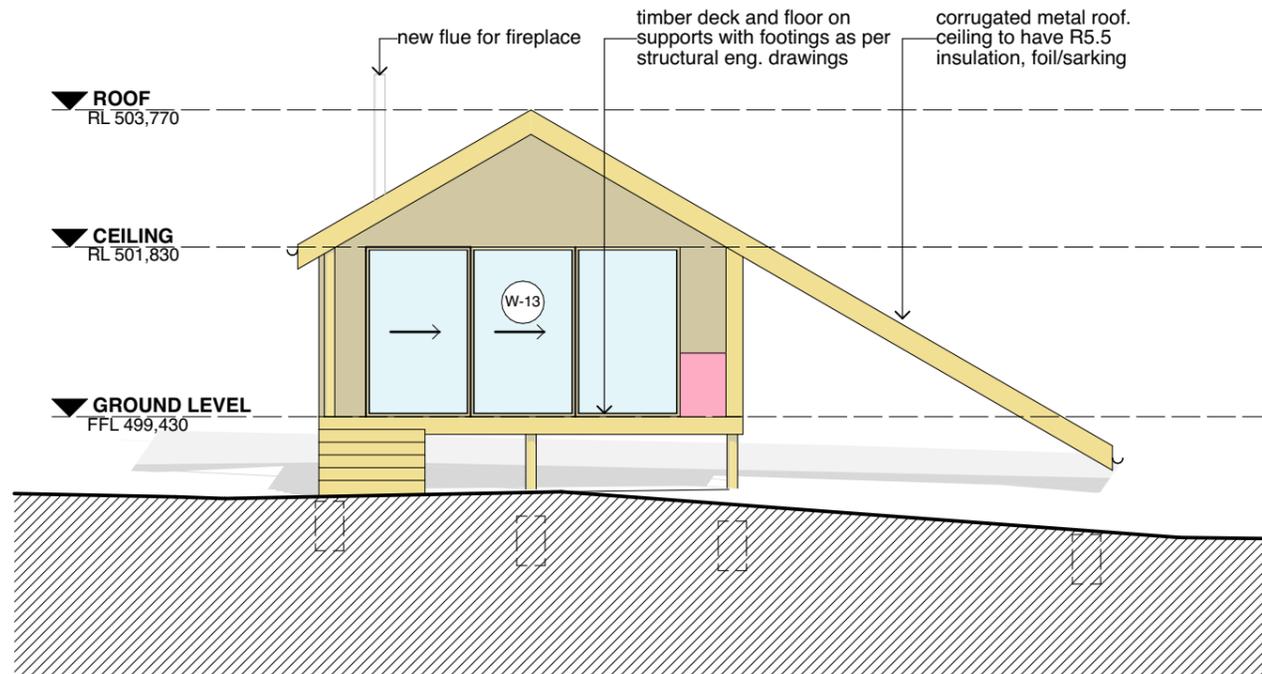
PRELIMINARY - NOT FOR CONSTRUCTION

NATALIE MATTHEWS ARCHITECTS
 37 DRESS CIRCLE ROAD AVALON NSW 2107
 TEL 0432916961

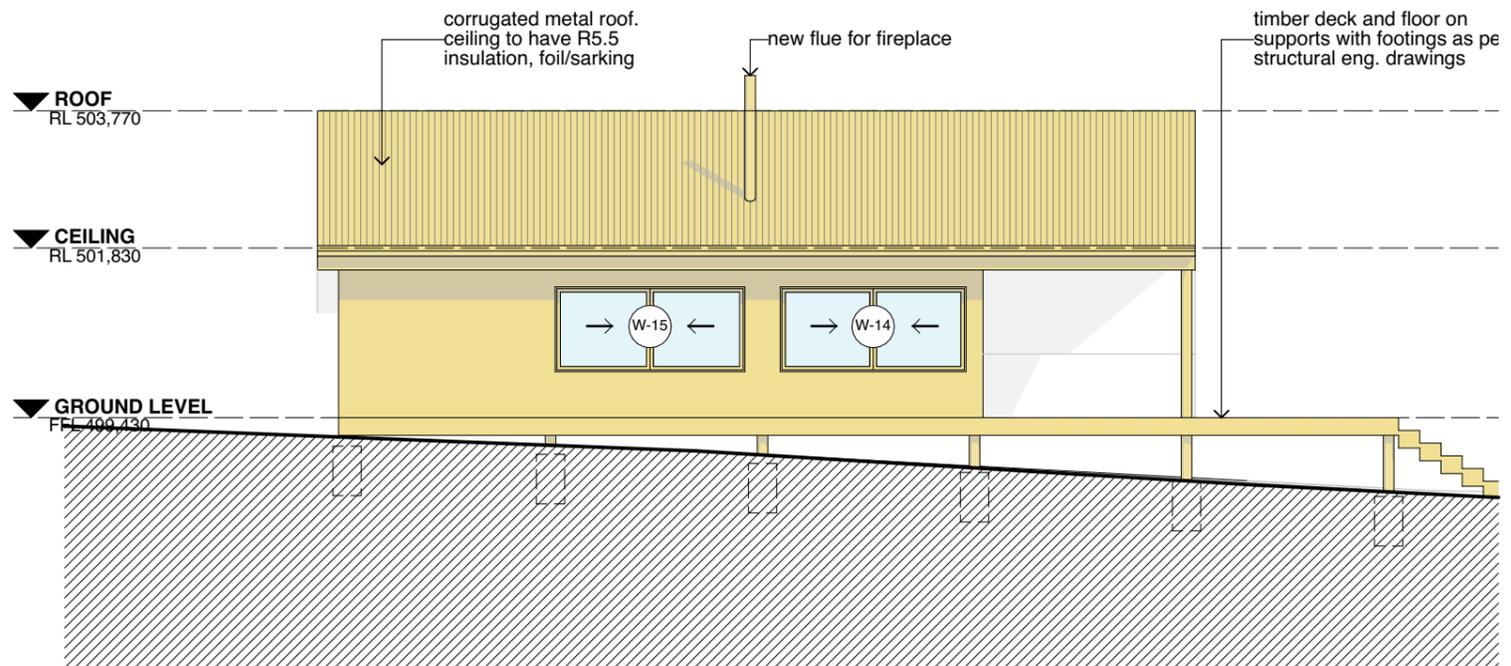
© COPYRIGHT
 ALL RIGHTS RESERVED. NO PART OF THIS DESIGN & DOCUMENTATION OR ALL WORKS
 EXCLUDED FROM THIS DESIGN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM
 OR BY ANY MEANS WITHOUT WRITTEN PERMISSION FROM NATALIE MATTHEWS
 ARCHITECTS. DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. REPORT
 ALL DISCREPANCIES TO ARCHITECT. ALL WORK TO COMPLY WITH STATUTORY
 REQUIREMENTS.
 PRINT DATE AND TIME: Saturday, 4 June 2022, 11:37 am



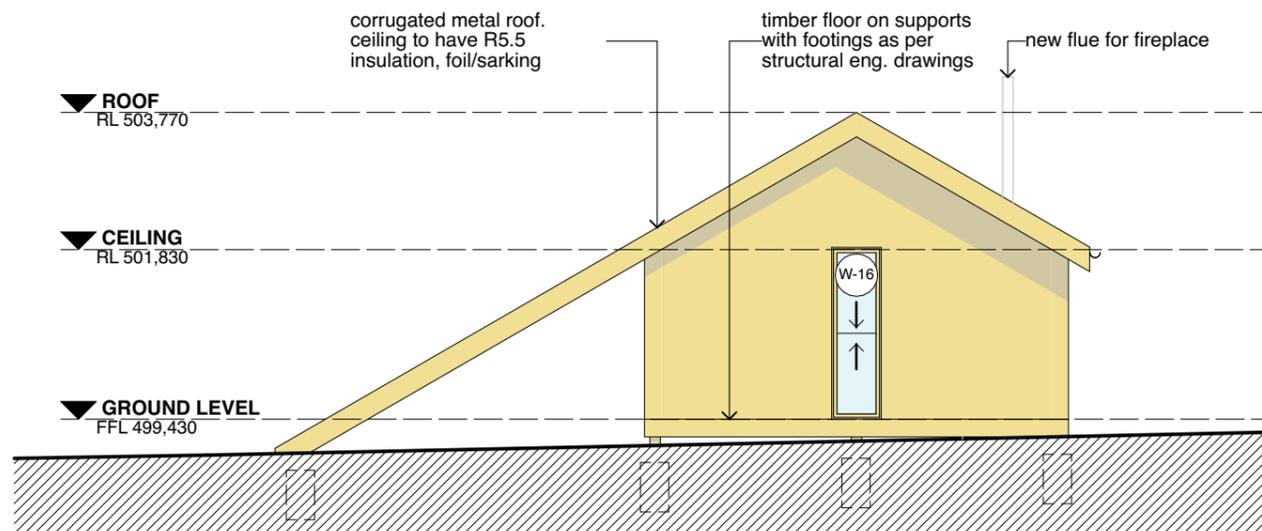
PROJECT	REVISION		DATE	4/6/22	DRAWING TITLE	DRAWING NO.	REVISION
	REV ID	ISSUE DATE	DESCRIPTION	PROJECT NO.	1803	DA 23	01
BUCKAROO 540 Ulan Rd Mudgee NSW 2850	01	4/6/22	FOR DA & CC	SCALE	1:100 @ A3		
				DRAWN BY	--		
				CHECKED BY	--		



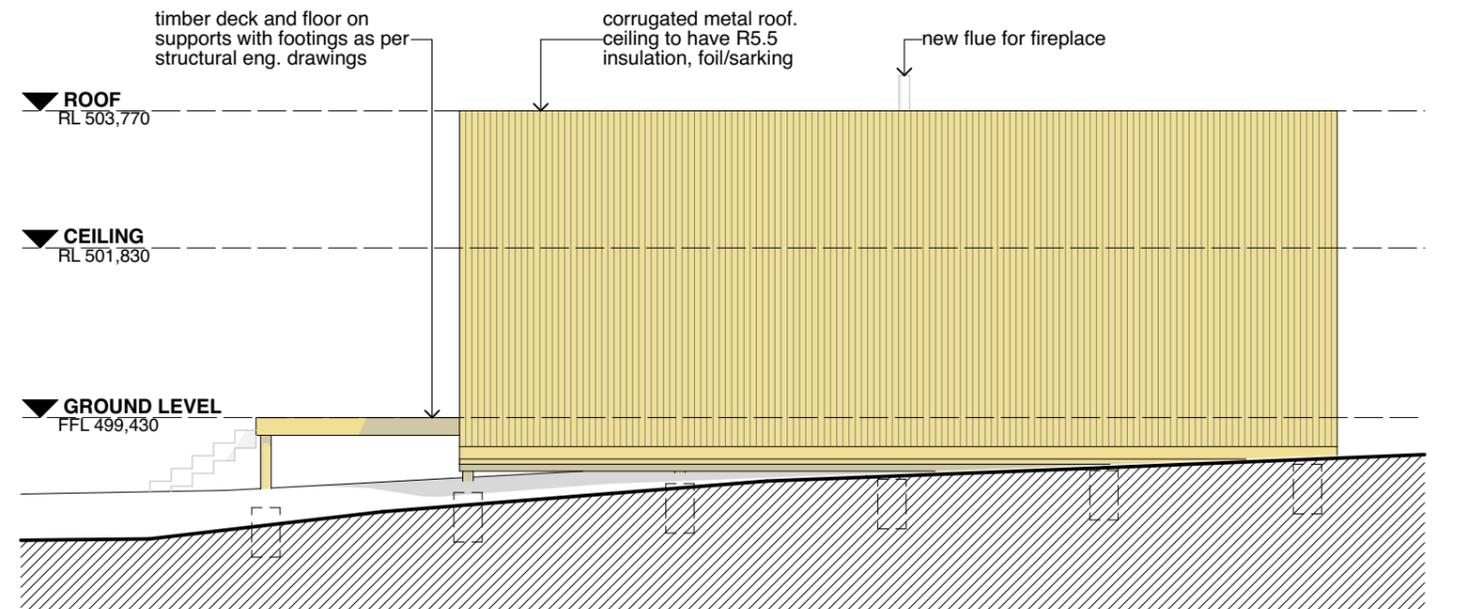
1 CABIN ELEVATION
1:100



2 CABIN ELEVATION
1:100



3 CABIN ELEVATION
1:100

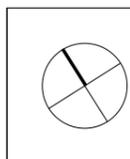


4 CABIN ELEVATION
1:100

PRELIMINARY - NOT FOR CONSTRUCTION

NATALIE MATTHEWS ARCHITECTS
37 DRESS CIRCLE ROAD AVALON NSW 2107
TEL 0432916961

© COPYRIGHT
ALL RIGHTS RESERVED. NO PART OF THIS DESIGN & DOCUMENTATION OR ALL WORKS
EXECUTED FROM THIS DESIGN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM
OR BY ANY MEANS WITHOUT WRITTEN PERMISSION FROM NATALIE MATTHEWS
ARCHITECTS. DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. REPORT
ALL DISCREPANCIES TO ARCHITECT. ALL WORK TO COMPLY WITH STATUTORY
REQUIREMENTS.
PRINT DATE AND TIME: Saturday, 4 June 2022, 11:37 am



PROJECT
BUCKAROO
540 Ulan Rd Mudgee
NSW 2850

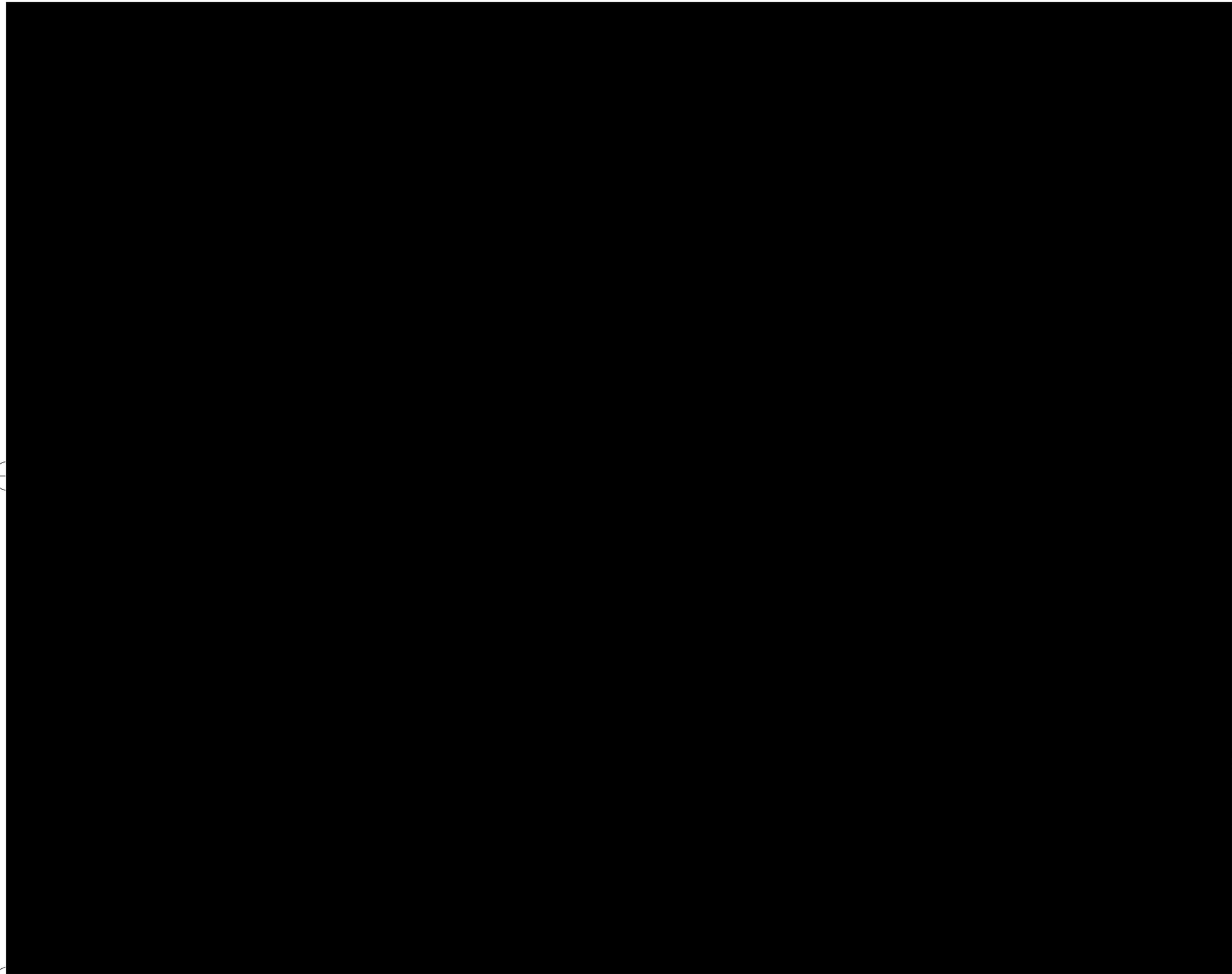
REVISION		
REV ID	ISSUE DATE	DESCRIPTION
01	4/6/22	FOR DA & CC

DATE 4/6/22
PROJECT NO. 1803
SCALE 1:100 @ A3
DRAWN BY --
CHECKED BY --

DRAWING TITLE
CABIN ELEVATIONS

DRAWING NO.
DA 24

REVISION
01



w
ng

to new
existing



1:100

PRELIMINARY - NOT FOR CONSTRUCTION

NATALIE MATTHEWS ARCHITECTS
 37 DRESS CIRCLE ROAD AVALON NSW 2107
 TEL 0432916961

© COPYRIGHT
 ALL RIGHTS RESERVED. NO PART OF THIS DESIGN & DOCUMENTATION OR ALL WORKS
 EXECUTED FROM THIS DESIGN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM
 OR BY ANY MEANS WITHOUT WRITTEN PERMISSION FROM NATALIE MATTHEWS
 ARCHITECTS. DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. REPORT
 ALL DISCREPANCIES TO ARCHITECT. ALL WORK TO COMPLY WITH STATUTORY
 REQUIREMENTS.
 PRINT DATE AND TIME: Saturday, 4 June 2022, 11:37 am



PROJECT	REVISION		DATE	4/6/22	DRAWING TITLE	DRAWING NO.	REVISION
	REV ID	ISSUE DATE	DESCRIPTION	PROJECT NO.	SECTION A + B	DA 30	01
BUCKAROO 540 Ulan Rd Mudgee NSW 2850	01	4/6/22	FOR DA & CC	SCALE	1:100 @ A3		
				DRAWN BY	--		
				CHECKED BY	--		



OOF
6,862

LEVEL
94,820
94,530

LEVEL
91,730

1 SECTION C
1:100

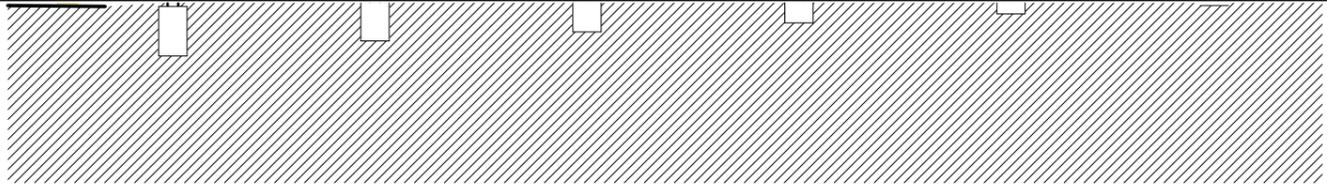
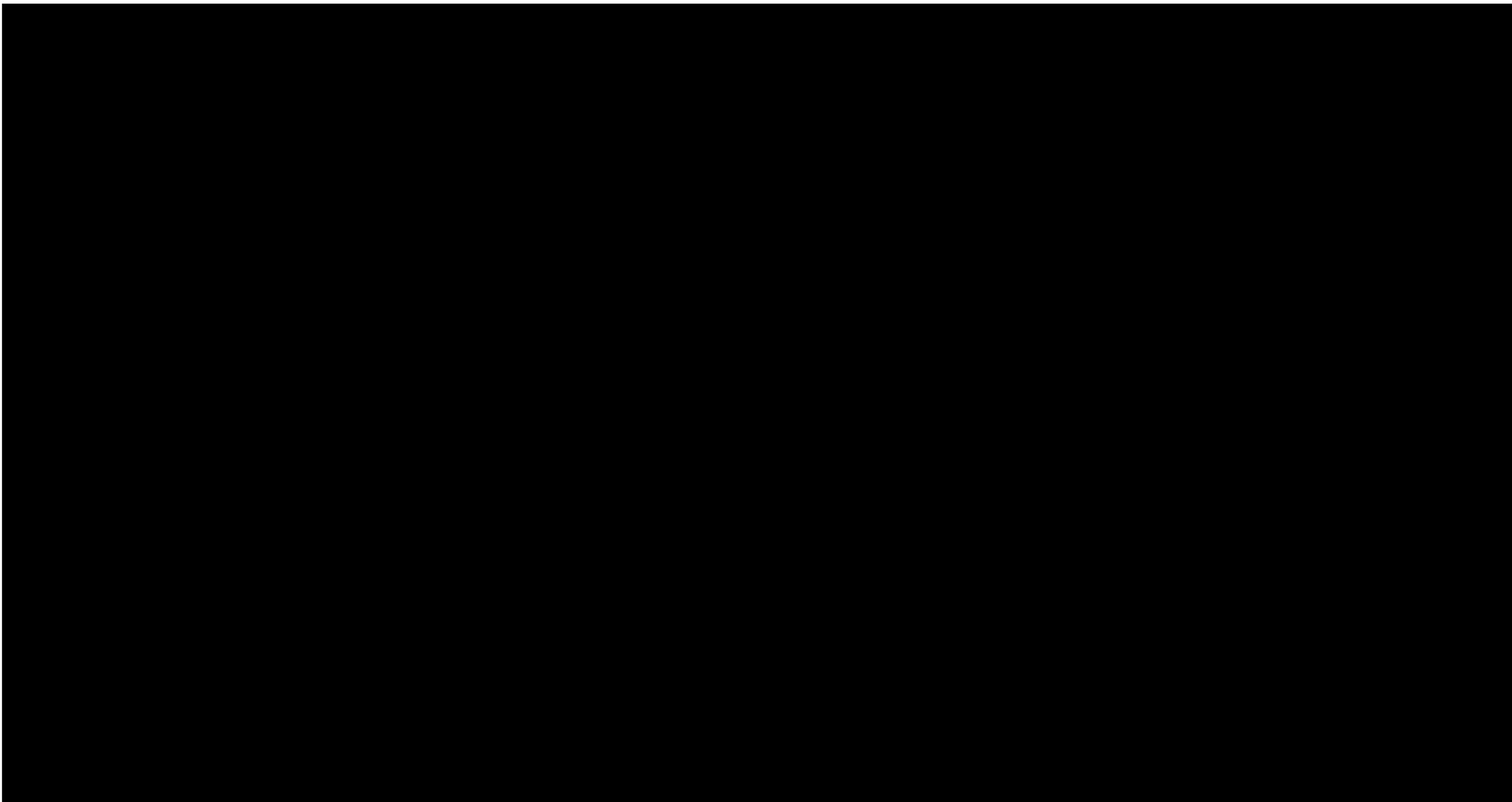
PRELIMINARY - NOT FOR CONSTRUCTION

NATALIE MATTHEWS ARCHITECTS
37 DRESS CIRCLE ROAD AVALON NSW 2107
TEL 0432916961

© COPYRIGHT
ALL RIGHTS RESERVED. NO PART OF THIS DESIGN & DOCUMENTATION OR ALL WORKS
EXECUTED FROM THIS DESIGN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM
OR BY ANY MEANS WITHOUT WRITTEN PERMISSION FROM NATALIE MATTHEWS
ARCHITECTS. DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. REPORT
ALL DISCREPANCIES TO ARCHITECT. ALL WORK TO COMPLY WITH STATUTORY
REQUIREMENTS.
PRINT DATE AND TIME: Saturday, 4 June 2022, 11:37 am



PROJECT	REVISION		DATE	4/6/22	DRAWING TITLE	DRAWING NO.	REVISION
	REV ID	ISSUE DATE	DESCRIPTION	PROJECT NO.	SECTION B	DA 31	01
BUCKAROO 540 Ulan Rd Mudgee NSW 2850	01	4/6/22	FOR DA & CC	SCALE	1:100 @ A3		
				DRAWN BY	--		
				CHECKED BY	--		



2
- CABIN SECTION B
1:100

NATALIE MATTHEWS ARCHITECTS
37 DRESS CIRCLE ROAD AVALON NSW 2107
TEL 0432916961

© COPYRIGHT
ALL RIGHTS RESERVED. NO PART OF THIS DESIGN & DOCUMENTATION OR ALL WORKS
EXCLUDED FROM THIS DESIGN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM
OR BY ANY MEANS WITHOUT WRITTEN PERMISSION FROM NATALIE MATTHEWS
ARCHITECTS. DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. REPORT
ALL DISCREPANCIES TO ARCHITECT. ALL WORK TO COMPLY WITH STATUTORY
REQUIREMENTS.
PRINT DATE AND TIME: Saturday, 4 June 2022, 11:37 am



	PROJECT		REVISION		DATE	4/6/22	DRAWING TITLE	DRAWING NO.	REVISION
	BUCKAROO 540 Ulan Rd Mudgee NSW 2850		REV ID	ISSUE DATE	DESCRIPTION	PROJECT NO.	1803	CABIN SECTIONS	DA 32
			01	4/6/22	FOR DA & CC	SCALE	1:100 @ A3		
						DRAWN BY	--		
						CHECKED BY	--		

PRELIMINARY - NOT FOR CONSTRUCTION