

STATEMENT OF ENVIRONMENTAL EFFECTS

FOR

PROPOSED SUBDIVISION and MULTI RESIDENTIAL DEVELOPMENT

LOT 3 DP 758721

81 LAWSON STREET, MUDGEES NSW 2850



FOR OWNER & APPLICANT: EDEN ENTERPRISES

PREPARED BY:

PREFERRED DESIGN & DRAFTING
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1.0 INTRODUCTION

This statement of Environmental Effects has been prepared by Preferred Design & Drafting and is part of an Application for Development for a subdivision & Multi Residential Development located at :

81 Lawson Street Mudgee - Lot 3, DP 758721

Where Development Control planning requirements are noted in this statement, the referral is to Mid-Western Regional Council LEP 2012 & Development Control Plan 2013 Amendment No 5, 2013.

2.0 SUBJECT PROPERTY

2.1 DESCRIPTION

Title Description: Lot 3 DP 758721
Frontage: 28.365m
Area: 1947 sq. m
Zoning: R1 General Residential

2.2 EXISTING SITE

The existing site is located on the eastern side of Lawson Street, 1.2 km south of Mudgee's CBD. Honey Lane runs to the rear or eastern side of the site.

A weatherboard cottage & shed exists on the site and are to remain as part of the overall development. The block slopes diagonally from south west to north east (front to rear) of the Lot with an approximate gradient of 1:35.

A contoured Survey Plan is included with this application.



FIGURE 1- LOCALITY PLAN

2.3 PREVIOUS USE

The existing single storey weatherboard cottage is estimated to have been constructed in the 1930's and utilised for residential use for more than 90 years.

An initial assessment concluded that no evidence of site contamination or hazard either natural or technological impacts the site.



Photo 1 - EXISTING 3 BEDROOM WEATHERBOARD COTTAGE



Photo 2 - AERIAL VIEW

3.0 PROPOSED DEVELOPMENT

1.1 General Description

This Development Application is made for the following:

1. The existing 1947 sq m site to be subdivided into 2 x lots (Torrens Title Subdivision)
2. Retain the existing weatherboard cottage on the newly created Lot A being an area of 600.05sq m
3. Construct a new freestanding double carport to Lot A
4. Creation of battle axe Lot B 1346.95 sq m
5. Construction of Three (3) Dwellings on Lot B

A Freestanding Double Carport is proposed to the north western part of the new Lot A to be utilised for the cottage site. The carport shall be set back 9.5m from Lawson Street or Western Boundary and be located behind the cottage verandah line.

A new separate single width driveway access is to be constructed for the Lot A site and carport.

The Multi Residential Development to be located on the battle-axe lot proposes 3 x detached contemporary barn style dwellings.

Dwelling 1 is to be an Accessible 2 x bedroom with single carport, designed in accordance with Living Housing Australia - Liveable Housing Design Guide - Gold Level

Dwellings 2 & 3 are to be 3 x bedroom dwellings with single garage & carport to each dwelling (Allowing for 2 x vehicles per dwelling)

The secondary Lot B proposes a Strata Subdivision.

4.0 SITE SUITABILITY

The large Lot 3 provides an opportunity for the creation of the subdivision and allowance for a multi residential development.

The site slope is approximately 1:35 gradient and falls diagonally from south west to north east across the site. Existing selected trees & shrubs shall require removal from the site for the development and are noted on the Landscape Plan.

The site shall be benched to create a stepped development relative to existing contours to contain the extent of cut & fill to the site, to minimise overall height to the development and reduce impact of overlooking to neighbouring properties.

The existing driveway access from Lawson Street shall require upgrade from a single width gravel drive to a reinforced concrete driveway with pavement width of 6.0m.

An additional single driveway shall be created for the existing dwelling on the property. Refer Site Plan.

The Dwelling 1, being an Accessible Design, is located and designed to provide levelled areas from main entry patio & carport throughout the dwelling and to rear private open space yard.

Retaining walls are proposed to predominantly contain filled areas. Construction to be treated timber sleeper or masonry block if required.

5.0 UTILITY SERVICES

Electricity & Telephone are available to the site and will be upgraded and extended to service all dwellings.

A new point of attachment pole will be required for the existing dwelling to negate crossover of the new battle axe property boundary / handle. An underground supply will replace the existing overhead from the new pole to existing dwelling and meter box .

Additional Point of Attachment Pole will be required for the three new dwellings and to be located inside the boundary. A 3 phase overhead service will be required to meter box with metering equipment for all 3 dwellings in a common location. An underground mains will be required to each new dwelling.

Town Water is currently connected to the site and shall be extended for the proposed development.

Hydrants are currently available in Lawson Street.

Hydraulic Engineering Documentation - Stormwater Analysis Report - is to be provided as part of the Development Application Submission to address the stormwater & design.

6.0 DESIGN GUIDELINES

6.1 DEVELOPMENT DENSITY

The site located within the Mudgee Conservation Area allows:

3 x bedroom Units 310 sq. m of site per dwelling.

2 x bedroom units require 280 sq. m of site area.

A minimum site area of 900 square metres would be required for 1 x 2 bedroom & 2 x 3 bedroom dwellings.

The site area of 1346.95 sq. m therefore complies with the requirement.

6.2 SETBACKS

Single storey multi residential housing requires:-

Front- 4.5m / Side- 3.0m / Rear- 3.0m

The front setback to the new Dwellings from Lawson Street shall be greater than 30m.

Southern boundary setback for Dwelling 1 is 6.155m . Southern boundary setback for dwelling 3 is 4.475m

These setbacks therefore comply with the DCP guideline.

The distance from Western Boundary formed for the subdivided Lot B to the proposed Dwelling 1 is to be 1.945m.

The distance between the rear of the existing cottage and side of dwelling 1 achieves a separation of 5.295m.

The site eastern boundary shall be assessed as a front or street setback to Honey Lane & requires a 4.5m setback. Honey Lane is a narrow non-sealed lane, and an aerial view presents several examples of sheds constructed close to or on the boundary aligning the laneway.

The proposed setback of 3.28m for Dwelling 3 creates a buffer or clear distance to Honey Lane and reduces the possible impact of overland flooding affecting the building and neighbouring properties. The site and area within Honey Lane falls within the low risk category as indicated by Mid-Western Regional Council mapping & guidelines.

A variation to the DCP is being sought for the eastern & western setbacks.

6.3 BUILT FORM - DESIGN

The Barn Style Design proposed for the new dwellings creates a contemporary appeal and variation to Mudgee's residential accommodation.

The proposed development has been designed to respond to the sloping topography of the site.

The floor plan layouts optimise winter solar access to main living areas and directly link to the outdoor alfresco areas forming part of the main private open space yards.

6.4 STREETScape & BUILDING SCALE

The proposed dwellings are single storey with an average overall maximum height of 5.8m to ridge above natural ground line. The dwellings are to be set back 30.33m from the front boundary to Lawson Street and shall be obscured by the existing weatherboard cottage & proposed carport.

The existing painted timber picket front fence to the weatherboard cottage has been repaired and repainted as part of the overall renovation completed by the current owners. The street view has retained its current charm & aesthetic. The addition of a side access & driveway for the development will be of minimal impact to the property & visual amenity of the locale.

The proposed 3m wide driveway access to battle-axe Lot B incorporates a 6 x 6m passing area to main entry point and also within the lot for vehicle passing. The driveway is offset to boundaries where available and shall include landscaped verge to assist with streetscape aesthetics.

Construction of a new fence aligning the battle axe driveway entry and boundary is proposed. This fence shall be 1.8m high timber post & rail style with landscaped hedge to form privacy and an acoustic buffer for the existing cottage.

6.5 LANDSCAPING

A comprehensive landscape plan is included in this application.

Several existing trees and shrubs are to be removed from the site for the development.

A considered landscape plan is provided in this application with selection of predominantly low water use plantings being specified.

The minimum requirement of 40% landscaping is required in accordance with Mid-Western Regional Council Residential Development Control Plan 2013. A Landscaped area of 40.11% is proposed to the development.

6.6 VEHICLE ACCESS & PARKING

In accordance with Mid-Western Regional Council Development Control Plan, the development of 1 - 2 x bedroom and 2 - 3 x bedroom dwellings shall require a minimum total of 5 spaces.

2 x car parking spaces for each 3 bed dwelling and 1 x space for the 2 x bed dwelling is proposed.

No visitor car parking is required to the development.

New crossover or layby to kerb and driveway shall be required for the existing cottage, and entry driveway to the Multi Residential Development shall utilise the existing access and upgrade to a double driveway and crossover. The driveways are to be constructed in reinforced concrete, and predominantly landscaped to the driveway perimeters. Variable landscaped setback distances from the side boundaries are proposed.

All cars parking spaces and manoeuvring are designed in accordance with AS 2890.1.

6.7 PRIVATE OPEN SPACE

Each dwelling shall achieve more than the minimum 40 square metres of Private Open Space area required. All units are designed with north facing living areas and level private open space yards.

6.8 PRIVACY & AMENITY

All external yard areas are provided with 1.8m high colorbond steel fencing to boundaries and between proposed units. Where units in relation to side distances are less than 6.0m, 1.8m high dividing fences provide adequate privacy screen, and windows to habitable rooms do not overview opposing units.

6.9 WASTE DISPOSAL

All units are provided with a screened area located beside carport or garage to house 4 x 240 litre waste & recycling bins. Location of bins to Lawson Street kerb is noted on the Landscape Plan, noting the positioning of 9 waste bins for the proposed multi residential development & 3 waste bins for the existing cottage.

6.10 CONSTRUCTION and DESIGN

The 3 x dwellings are to be constructed as following:

- Reinforced Concrete Slab on Ground
- Timber Cladding with Vertical Groove & Timber Grain Textured finish to Exterior Walls. Northern & Southern Gabled Elevations to be stained natural timber finish. Eastern & Western facing walls to be painted finish.
- Custom Orb Colorbond Roof Sheeting
- Powdercoat Aluminium Framed Doors & Windows.

All dwellings are designed with high R value ceiling and wall insulation, including reflective foil laminate to underside roof sheeting.

Variable ceiling heights & ceiling styles result in dynamic interiors. Entry vestibule to incorporate raked plasterboard ceiling line. Hallways to be flat ceiling line lifted to 3610mm. Main living areas propose exposed feature king post trusses with raked ceiling line over. Remaining areas are to be 2.7m ceiling heights.

The design layout of the dwellings maximises solar access to living areas. Consideration has been given to providing private open space areas directly accessible from dining area linked to the roof covered alfresco patio.

High star rated Continuous Flow Gas Hot Water units and 5 star plus Ducted Reverse Cycle A/C systems also contribute to responsible energy usage to the dwellings.

6.11 HERITAGE

The development is within the Mid-Western Regional Council Heritage Conservation area. There are no Local Heritage Listed Items within the vicinity of the development as listed under Mid-Western Regional Council LEP Environmental Heritage. The existing weatherboard cottage with painted timber picket fence presents a heritage style charm & aesthetic. The proposed double carport with hip roofline is designed to suit the cottage in style & form. Roof pitch & colorbond roof sheeting shall match the dwelling & be located to sit behind the verandah building line. Slat screens create a private delineation to the northern yard of the cottage. The newly formed battle axe lot positions the new dwellings behind the cottage and carport thereby reducing the street view impact of the development.

SUMMARY

The proposed development shall add to the housing needs of the Mudgee area and its growing population and also provide a level of positive contribution including the following :

- Proximity to the newly constructed Mudgee Hospital & expanding local Medical Centre provides accommodation for visiting medical specialists and students
- Inclusion of an Accessible Unit provides an additional layer of choice for a changing demographic
- Contemporary style of accommodation and aesthetic expands the residential market
- Responsible development of the site compliant with local DCP guidelines
- The intention of the proposed development is to achieve the development potential of the site and contribute to the needs of the increasing population of the Mudgee region.

VARIATIONS TO DCP

The proposed development is allowable under the Mid-Western Regional Council DCP Part 4 Multi Dwelling Housing and complies with all guidelines excluding

- the driveway side boundary setback requirement of 2.0m for the first 4.5m setback
- and the nature of the property containing two street frontages (& not a corner lot) requiring 4.5m setback to both Lawson Street to the west & Honey Lane to the east.

The proposed subdivision creates a driveway access handle of 7.225m in width. The driveway requirement of a 6.0m pavement width for first 5.0m of driveway from road boundary or kerb is provided. The transition from 6.0m width to 3.0m driveway width from the boundary affects the 2.0m side setback landscaping requirement to screened hardstand. In the current proposal the 2.0m landscaped screen is achieved within 5.0m of the front boundary. A 2.0m landscaped strip either side of the driveway for 11.5m is to be provided.

The setback to Honey Lane is reduced to 3.28m. As noted in Setbacks above, the extent of setback achieved for Dwelling 3 creates an adequate buffer or distance to Honey Lane and reduces the possible impact of overland flooding affecting the building and neighbouring areas. Honey Lane presents several examples of sheds constructed close to or on the boundary aligning the laneway.

We ask that Council give consideration of allowing these variations due to their minor nature and minimal impact to existing amenity, streetscape & heritage conservation area.

SITE CALCULATIONS

SITE AREA 1947 sq. m

PROPOSED SUBDIVISION

LOT A 600.05 sq m
LOT B 1346.95 sq m

ZONING R1 RESIDENTIAL

DENSITY DEVELOPMENT -

310 sq. m per 3 x Bed Unit - 2 x 310 = 620 sq. m
280 sq. m per 2 x Bed Unit - 1 x 280

Therefore 900 sq. m minimum site area required

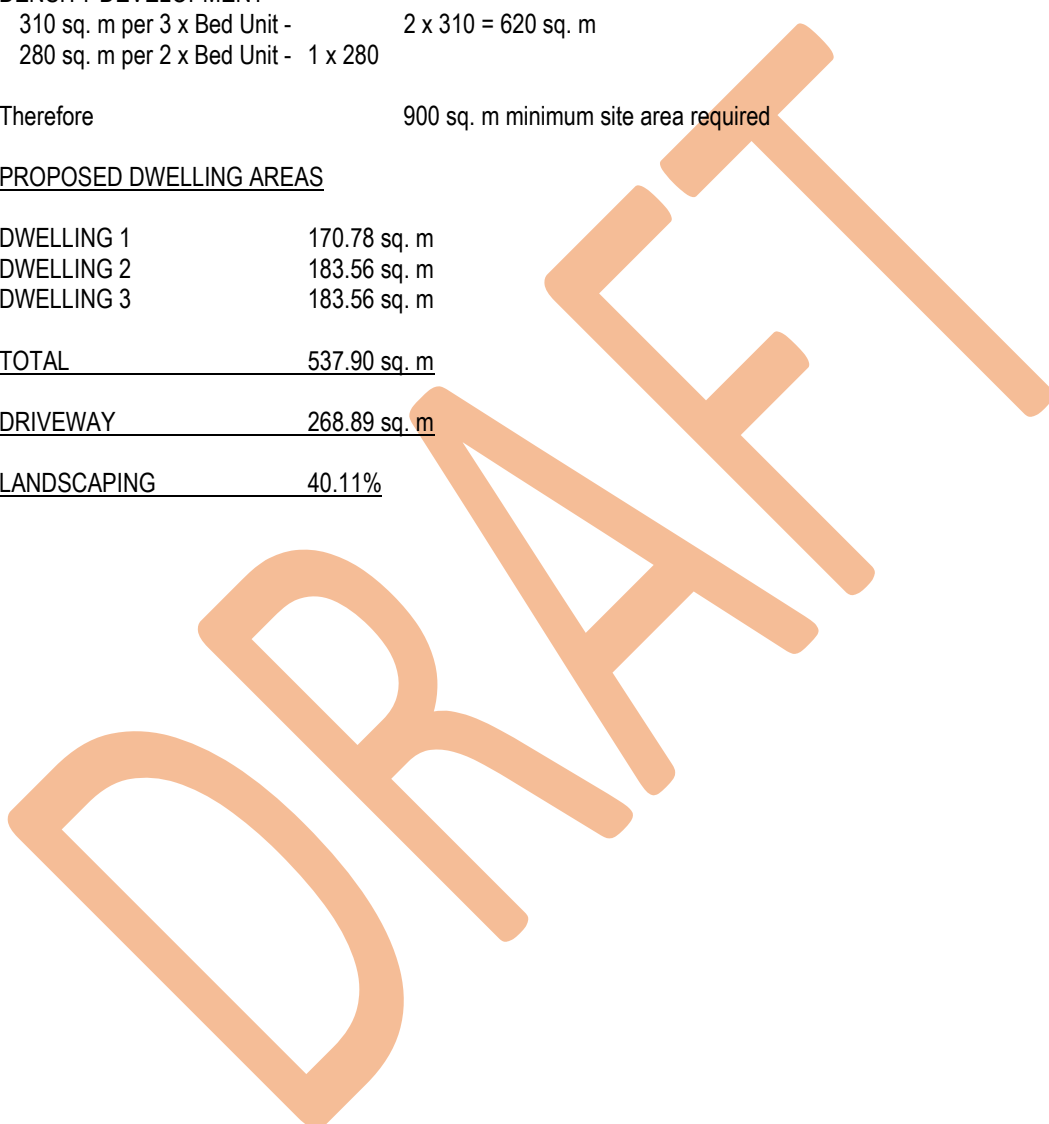
PROPOSED DWELLING AREAS

DWELLING 1 170.78 sq. m
DWELLING 2 183.56 sq. m
DWELLING 3 183.56 sq. m

TOTAL 537.90 sq. m

DRIVEWAY 268.89 sq. m

LANDSCAPING 40.11%



**DEVELOPMENT APPLICATION ASSESSMENT
MWRC - LOCAL ENVIRONMENTAL PLAN 2012**

CLAUSE 2.1 - LAND USE ZONES

Zone R1 General Residential

1 Objectives of zone

- To provide for the housing needs of the community.
- To provide for a variety of housing types and densities.
- To enable other land uses that provide facilities or services to meet the day to day needs of residents.

2 Permitted without consent

Home-based child care; Home businesses; Home occupations; Roads; Rural workers' dwellings; Water reticulation systems

3 Permitted with consent

Attached dwellings; Boarding houses; Caravan parks; Centre-based child care facilities; Community facilities; Dwelling houses; Educational establishments; Environmental protection works; Exhibition homes; Exhibition villages; Flood mitigation works; Function centres; Funeral homes; Group homes; Health services facilities; Home industries; Hostels; Information and education facilities; Markets; Multi dwelling housing; Neighbourhood shops; Oyster aquaculture; Places of public worship; Pond-based aquaculture; Recreation areas; Recreation facilities (indoor); Recreation facilities (outdoor); Residential accommodation; Residential flat buildings; Respite day care centres; Semi-detached dwellings; Seniors housing; Sewage reticulation systems; Shop top housing; Signage; Tank-based aquaculture; Tourist and visitor accommodation; Water recycling facilities; Water storage facilities

4 Prohibited

Advertising structures; Farm stay accommodation; Any other development not specified in item 2 or 3

OBJECTIVE OF THE R1 GENERAL RESIDENTIAL ZONE COMPLIES. RESIDENTIAL ACCOMMODATION / MULTI DWELLING HOUSING PERMITTED WITH CONSENT COMPLIES

CLAUSE 4.1 - MINIMUM SUBDIVISION LOT SIZE

4.1A Minimum lot sizes for dual occupancies, multi dwelling housing and residential flat buildings

- (1) The objective of this clause is to achieve planned residential density in certain zones.
- (2) This clause applies to the following land:
 - (a) land within Zone R1 General Residential.
 - (b) land within Zone R3 Medium Density Residential.
 - (c) land in Rylstone or Kandos that is within Zone RU5 Village.
- (3) Despite any other provision of this plan, development consent may be granted to development on land to which this clause applies:
 - (a) for the purposes of a dual occupancy (attached), if the area of the lot is equal to or greater than 600 square metres, or
 - (b) for the purpose of a dual occupancy (detached), if the area of the lot is equal to or greater than 800 square metres, or
 - (c) for the purposes of multi dwelling housing, if the area of the lot is equal to or greater than 1,200 square metres, or
 - (d) for the purposes of a residential flat building, if the area of the lot is equal to or greater than 1,200 square metres.

PROPOSED SUBDIVISION - TOTAL SITE AREA 1947 sq m
PROPOSED LOT A - 600.05 sq m
PROPOSED LOT B - 1346.95 sq m

COMPLIES

CLAUSE 4.3 HEIGHT OF BUILDINGS

4.3 Height of buildings

- (1) The objectives of this clause are as follows:
 - (a) to establish a maximum height limit to which buildings can be designed in particular locations,
 - (b) to enable infill development that is of similar height to existing buildings and that is consistent with the heritage character of the towns of Mudgee, Gulgong, Kandos and Rylstone.
- (2) The height of a building on any land is not to exceed the maximum height shown for the land on the Height of Buildings Map.

PROPOSED MULT RES LESS THAN 8.5m max HEIGHT

COMPLIES

CLAUSE 5.10 HERITAGE ITEM OR HERITAGE CONSERVATION AREA

5.10 Heritage conservation

- (1) **Objectives** The objectives of this clause are as follows—
 - (a) to conserve the environmental heritage of Mid-Western Regional,
 - (b) to conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings and views,
 - (c) to conserve archaeological sites,
 - (d) to conserve Aboriginal objects and Aboriginal places of heritage significance.

THE SITE IS LOCATED WITHIN THE MUDGEES HERITAGE CONSERVATION AREA - THE EXISTING WEATHERBOARD COTTAGE IS NOT A HERITAGE LISTED ITEM
PRE DA CONSULTATION WITH MID-WESTERN REGIONAL COUNCIL INDICATED HERITAGE IMPACTS TO BE ADDRESSED IN THE STATEMENT OF ENVIRONMENTAL EFFECTS
NO HERITAGE IMPACT STATEMENT REQUIRED .
AN AHIMS SEARCH COMPLETED ON 3.3.22 NOTES - NO ABORIGINAL SITES OR PLACES ARE RECORDED ON OR NEAR THE SITE

CLAUSE 6.1 SALINITY

6.1 Salinity

- (1) The objective of this clause is to provide for the appropriate management of land that is subject to salinity and the minimisation and mitigation of adverse impacts from development that contributes to salinity.
- (2) Before determining a development application for development that, in the opinion of the consent authority, may affect the process of salinisation or is proposed to be carried out on land affected by groundwater salinity, the consent authority must consider the following:
 - (a) whether the development is likely to have any adverse impact on salinity processes on the land,
 - (b) whether salinity is likely to have an impact on the development,
 - (c) any appropriate measures proposed to avoid, minimise or mitigate the impacts of the development.
- (3) Development consent must not be granted to development on land to which this clause applies unless the consent authority is satisfied that:
 - (a) the development is designed, sited and will be managed to avoid any significant adverse environmental impact, or
 - (b) if that impact cannot be reasonably avoided—the development is designed, sited and will be managed to minimise that impact, or
 - (c) if that impact cannot be minimised—the development will be managed to mitigate that impact.

THE SITE HAS BEEN IDENTIFIED AS GROUNDWATER VULNERABLE.
ALL NEW CONSTRUCTION TO BE SLAB ON GROUND.

CLAUSE 6.2 FLOOD PLANNING

6.2 Flood planning

- (1) The objectives of this clause are as follows:
 - (a) to minimise the flood risk to life and property associated with the use of land,
 - (b) to allow development on land that is compatible with the land's flood hazard, taking into account projected changes as a result of climate change,
 - (c) to avoid significant adverse impacts on flood behaviour and the environment.
- (2) This clause applies to:
 - (a) land identified as "Flood planning area" on the *Flood Planning Map*, and
 - (b) other land at or below the flood planning level.
- (3) Development consent must not be granted to development on land to which this clause applies unless the consent authority is satisfied that the development:
 - (a) is compatible with the flood hazard of the land, and
 - (b) is not likely to significantly adversely affect flood behaviour resulting in detrimental increases in the potential flood affectation of other development or properties, and
 - (c) incorporates appropriate measures to manage risk to life from flood, and
 - (d) is not likely to significantly adversely affect the environment or cause avoidable erosion, siltation, destruction of riparian vegetation or a reduction in the stability of river banks or watercourses, and
 - (e) is not likely to result in unsustainable social and economic costs to the community as a consequence of flooding.
- (4) A word or expression used in this clause has the same meaning as it has in the *Floodplain Development Manual (ISBN 0 7347 5476 0)* published by the NSW Government in April 2005, unless it is otherwise defined in this clause.
- (5) In this clause:

OVERLAND FLOOD MAPPING INDICATES LOW RISK IMPACT TO THE REAR OF THE SITE ADJOINING HONEY LANE
THE RETAINING WALL TO DWELLING 3 IS TO BE LOCATED 2.0m FROM THE EASTERN BOUNDARY AS
RECOMMENDED BY MWRC PLANNER ILIJA SUSNJA
FLOODING WILL NOT AFFECT DWELLING 3 DUE TO SETBACK GREATER THAN 3.0m TO EASTERN BOUNDARY &
FFL ABOVE 470.3
THE PROPOSED DWELLING 3 - FLOOR LEVEL TO BE - FFL 478.55 COMPLIES

CLAUSE 6.3 EARTHWORKS

6.3 Earthworks

- (1) The objective of this clause is to ensure that earthworks for which development consent is required will not have a detrimental impact on environmental functions and processes, neighbouring uses, cultural or heritage items or features of the surrounding land.
- (2) Development consent is required for earthworks unless:
 - (a) the earthworks are exempt development under this Plan or another applicable environmental planning instrument, or
 - (b) the earthworks are ancillary to other development for which development consent has been given.
- (3) Before granting development consent for earthworks, the consent authority must consider the following matters:

- (a) the likely disruption of, or any detrimental effect on, existing drainage patterns and soil stability in the locality of the development,
- (b) the effect of the development on the likely future use or redevelopment of the land,
- (c) the quality of the fill or the soil to be excavated, or both,
- (d) the effect of the development on the existing and likely amenity of adjoining properties,
- (e) the source of any fill material and the destination of any excavated material,
- (f) the likelihood of disturbing relics,
- (g) the proximity to, and potential for adverse impacts on, any waterway, drinking water catchment or environmentally sensitive area,
- (h) any appropriate measures proposed to avoid, minimise or mitigate the impacts of the development.

THE SITE PROPOSES MINIMAL CUT FOR MULTI RESIDENTIAL DWELLINGS
 FILL PROPOSED TO ACHIEVE LEVEL PRIVATE OPEN SPACE AREAS
 STEPPED RETAINING WALLS PROPOSED FROM 200mm TO A MAXIMUM 600mm HIGH
 SITE DRAINAGE & NEW DRIVEWAY TO BE ADDRESSED IN STORMWATER ANALYSIS REPORT

CLAUSE 6.4 GROUNDWATER VULNERABILITY

6.4 Groundwater vulnerability

- (1) The objectives of this clause are as follows:
 - (a) to maintain the hydrological functions of key groundwater systems,
 - (b) to protect vulnerable groundwater resources from depletion and contamination as a result of development.
- (2) This clause applies to land identified as “Groundwater vulnerable” on the [Groundwater Vulnerability Map](#).
- (3) Before determining a development application for development on land to which this clause applies, the consent authority must consider the following:
 - (a) the likelihood of groundwater contamination from the development (including from any on-site storage or disposal of solid or liquid waste and chemicals),
 - (b) any adverse impacts the development may have on groundwater dependent ecosystems,
 - (c) the cumulative impact the development may have on groundwater (including impacts on nearby groundwater extraction for a potable water supply or stock water supply),
 - (d) any appropriate measures proposed to avoid, minimise or mitigate the impacts of the development.
- (4) Development consent must not be granted to development on land to which this clause applies unless the consent authority is satisfied that:
 - (a) the development is designed, sited and will be managed to avoid any significant adverse environmental impact, or
 - (b) if that impact cannot be reasonably avoided—the development is designed, sited and will be managed to minimise that impact, or
 - (c) if that impact cannot be minimised—the development will be managed to mitigate that impact.

NEW WORKS WILL HAVE NO ADVERSE EFFECTS ON GROUND WATER
 OR HYDROLOGICAL FUNCTIONS OF KEY GROUNDWATER SYSTEMS
 NO DEPLETION OR CONTAMINATION TO GROUNDWATER DUE TO BUILDING WORKS
 NO ON SITE STORAGE OR DISPOSAL OF SOLID OR LIQUID WASTE OR CHEMICALS DUE TO NEW WORKS PROPOSED
 NO ADVERSE IMPACTS TO THE GROUND WATER DEPENDENT ECOSYSTEMS OR CUMULATIVE EFFECTS ON GROUNDWATER

CLAUSE 6.5 TERRESTRIAL BIODIVERSITY N/A

THE PROPERTY IS NOT IDENTIFIED AS BIODIVERSITY SENSITIVE

CLAUSE 6.7 ACTIVE STREET FRONTAGES N/A

CLAUSE 6.9 ESSENTIAL SERVICES

6.9 Essential services

Development consent must not be granted to development unless the consent authority is satisfied that any of the following services that are essential for the proposed development are available or that adequate arrangements have been made to make them available when required:

- (a) the supply of water,
- (b) the supply of electricity,
- (c) the disposal and management of sewage,
- (d) stormwater drainage or on-site conservation,
- (e) suitable road access.

THE DEVELOPMENT SHALL BE MULTI RESIDENTIAL DEVELOPMENT IN R1 RESIDENTIAL ZONE
 WATER, ELECTRICITY, SEWER & STORMWATER CONNECTION ALL EXISTING TO THE SITE.
 UPGRADES PROPOSED FOR THE DEVELOPMENT

COMPLIES

MWRC DCP - 2013 -

Part 4.1 - Multi Dwelling Housing

LOCATION	Within Heritage Conservation Area	COMPLIES
MINIMUM LOT SIZE	1200 sq m	COMPLIES
BUILDING SETBACKS	FRONT 4.5m to Street Frontage Required Lawson Street - 30.33m Honey Lane - 3.28m Variation to DCP sought	COMPLIES NON-COMPLIANCE
	SIDE - 3.0m Required - Southern boundary Western boundary Variation to DCP sought	COMPLIES NON COMPLIANCE
BUILT FORM - DESIGN	Optimize Solar Access & Lot Orientation Positively enhance the streetscape Be consistent with Scale/Spacing/Setbacks & Landscaping	
PROPOSAL IS OF A CONTEMPORARY DESIGN & VARIES TO THE EXISTING MIXED & TRADITIONAL DWELLING STYLES TO LAWSON STREET. BARN STYLE BUILDINGS SET BACK OVER 30m FROM LAWSON STREET REDUCING VISUAL IMPACT		
NEW DWELLINGS STEP DOWN THE CONTOURED SITE ACHIEVING A REDUCTION IN VISUAL OBTRUSION		
DEVELOPMENT DENSITY	-280 sq m per 2 x bed. 310 sq m per 3 x bed SITE AREA 1346.95 sq m	COMPLIES
BUILDING HEIGHT	- MAX 8.5m ALLOWABLE	COMPLIES
SITE COVERAGE	-MAX 40% for Medium Density Development SITE COVERAGE PROPOSED - 39.93%	COMPLIES
SOLAR ACCESS	Maximise solar access to living areas - northerly aspect Controlled solar access allowing winter sun & excluding summer sun Building envelope - maximise Insulation	
MAIN LIVING AREAS ORIENTED TO NORTH. EXTERIOR DECK OR ALFRESCO NORTH OF THE LIVING AREAS SOLAR ACCESS COMPLIANT		
PRIVACY	Ensure reasonable privacy for new dwellings & adjoining properties	COMPLIES
ROOM LOCATION & SEPARATION BETWEEN DWELLINGS MAXIMISES PRIVACY AND TO NEGATE OVERVIEWING / MAXIMISE PRIVACY TO ADJOINING PROPERTIES		
PARKING & VEHICLE ACCESS	2 spaces per dwelling. 1 x space per 2 x bed if located in Conservation Area Vehicles to enter and leave in forward direction Driveway to be offset by 2.0m from side boundary for full length of the required front setback	
DWELLING 1 DESIGNED AS AN ACCESSIBLE HOME IN ACCORDANCE WITH - LIVING HOUSING AUSTRALIA- LIVABLE HOUSING DESIGN GUIDE - GOLD LEVEL ALLOWANCE OF 1 SPACE PER 2 X BEDROOM IN HERITAGE CONSERVATION AREA 2 SPACES PER DWELLING PROPOSED TO 3 X BEDROOM		
DRIVEWAY	3.0m WIDE WITH 6m X 6m PASSING AREA Access driveway to be R/C construction	COMPLIES
DRIVEWAY OFFSET BY 2.0m FROM SIDE BOUNDARY FOR FULL SETBACK (4.5m) TO NEW BATTLEAXE HANDLE		
		NON-COMPLIANCE
LANDSCAPING	Enhance the quality of built environment Plantings to be low maintenance & water requirements	
LOW WATER & LOW MAINTENANCE PLANTINGS PROPOSED		
		COMPLIES

PRIVATE OPEN SPACE	Minimum area - 40 sq m with min dimension of 5.0m Located to north, east or western side of dwelling Functional design Direct access from living areas	COMPLIES
FENCING	1.8m high fencing to private open space areas & boundaries	COMPLIES
INFRASTRUCTURE	Must not be visible from street Must not be located within front setback Include in landscape plan	COMPLIES
SLOPES	Cut & Fill limitations	COMPLIES
	MINOR CUT PROPOSED TO THE SITE SITE TO BE FILLED - MAX 600mm	COMPLIES
WASTE DISPOSAL	1 x General Waste and 3 x Recycling Bins per dwelling - 240 litre External access	COMPLIES

DRAFT



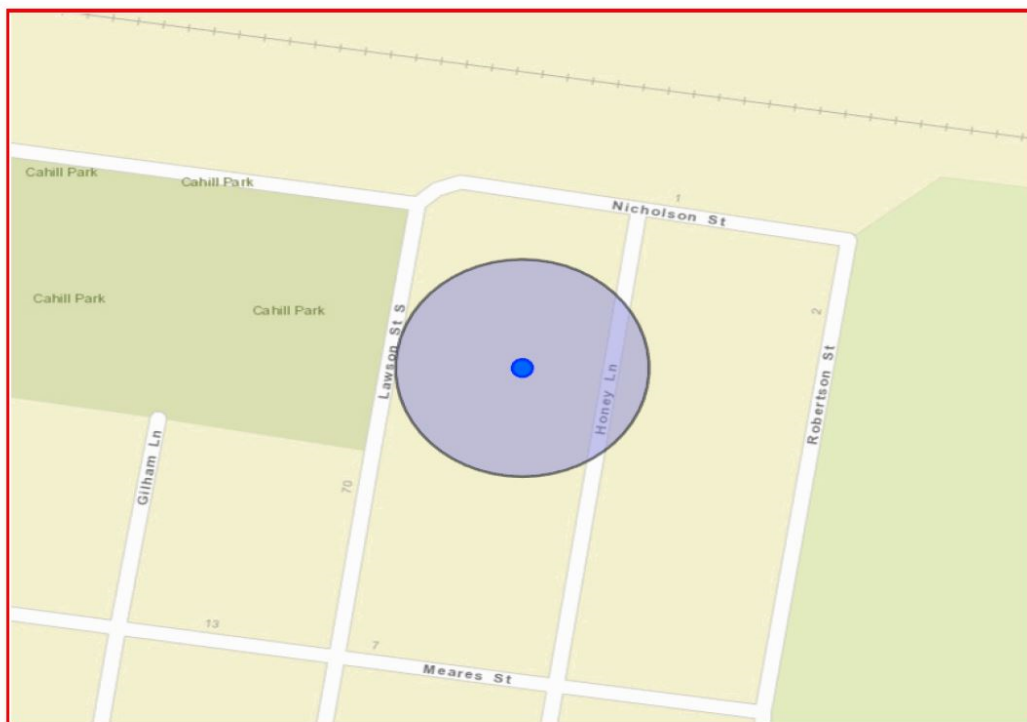
Marian Palmer
PO Box 1019 30 Lewis Street
Mudgee New South Wales 2850
Attention: Marian Palmer
Email: marian@preferred-design.com.au

Date: 02 March 2022

Dear Sir or Madam:

AHIMS Web Service search for the following area at Address : 81 LAWSON STREET MUDGEE 2850 with a Buffer of 50 meters, conducted by Marian Palmer on 02 March 2022.

The context area of your search is shown in the map below. Please note that the map does not accurately display the exact boundaries of the search as defined in the paragraph above. The map is to be used for general reference purposes only.



A search of Heritage NSW AHIMS Web Services (Aboriginal Heritage Information Management System) has shown that:

0	Aboriginal sites are recorded in or near the above location.
0	Aboriginal places have been declared in or near the above location.*

If your search shows Aboriginal sites or places what should you do?

- You must do an extensive search if AHIMS has shown that there are Aboriginal sites or places recorded in the search area.
- If you are checking AHIMS as a part of your due diligence, refer to the next steps of the Due Diligence Code of practice.
- You can get further information about Aboriginal places by looking at the gazettal notice that declared it. Aboriginal places gazetted after 2001 are available on the [NSW Government Gazette](https://www.legislation.nsw.gov.au/gazette) (<https://www.legislation.nsw.gov.au/gazette>) website. Gazettal notices published prior to 2001 can be obtained from Heritage NSW upon request

Important information about your AHIMS search

- The information derived from the AHIMS search is only to be used for the purpose for which it was requested. It is not to be made available to the public.
- AHIMS records information about Aboriginal sites that have been provided to Heritage NSW and Aboriginal places that have been declared by the Minister;
- Information recorded on AHIMS may vary in its accuracy and may not be up to date. Location details are recorded as grid references and it is important to note that there may be errors or omissions in these recordings,
- Some parts of New South Wales have not been investigated in detail and there may be fewer records of Aboriginal sites in those areas. These areas may contain Aboriginal sites which are not recorded on AHIMS.
- Aboriginal objects are protected under the National Parks and Wildlife Act 1974 even if they are not recorded as a site on AHIMS.
- This search can form part of your due diligence and remains valid for 12 months.