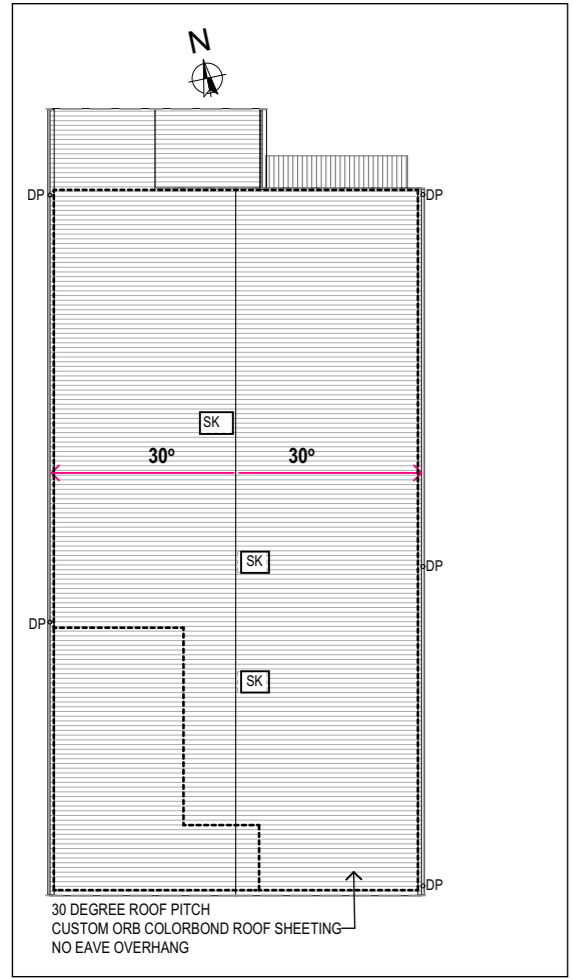
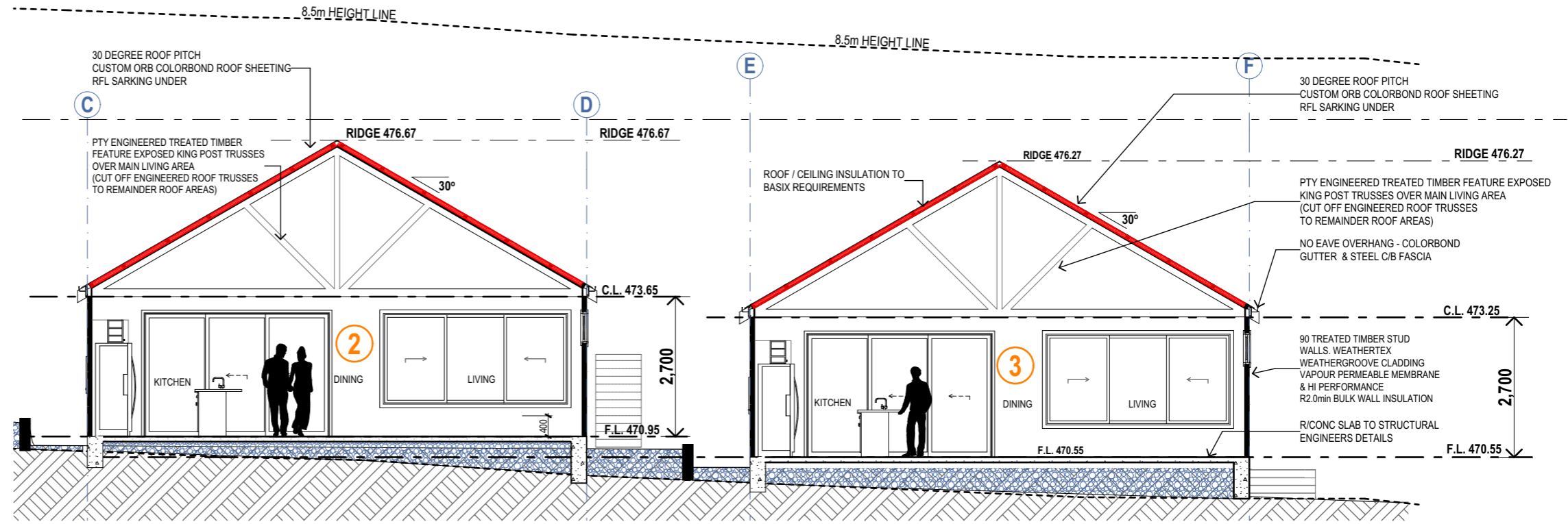


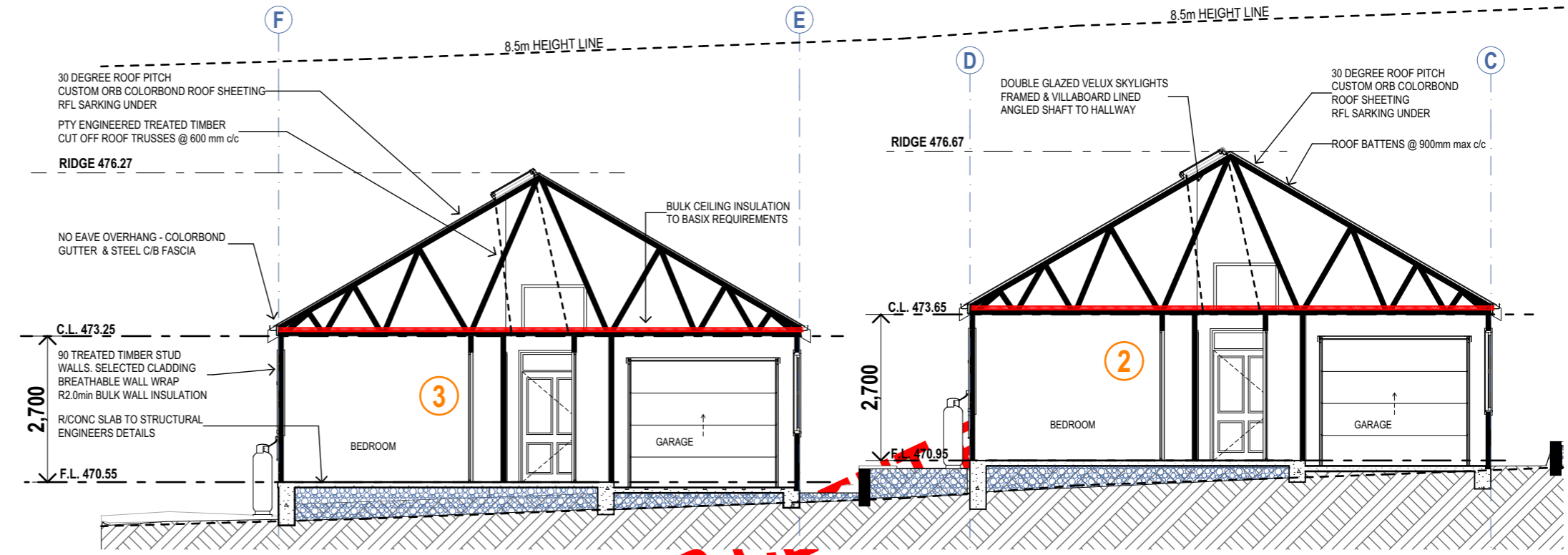
ROOF PLAN - DWELLING 2
1:200



ROOF PLAN - DWELLING 3
1:200



S-01 DWELLINGS 2 & 3 - SECTION A
1:100



S-02 DWELLINGS 2 & 3 - SECTION B
1:100

FINAL DRAFT FOR U

<p>DATE: 7.2.22</p> <p>REV AMENDMENT</p>	<p>BUILDING CLASSIFICATION: 1a</p>	<p>CLIENT: EDEN ENTERPRISES</p>	<p>Preferred Design & Drafting</p>	<p>DRAWING No: 11 of 18</p>
	<p>D.P. NUMBER: LOT 3 DP758721</p> <p>SITE AREA: 1947 m2</p> <p>DATE: 7.2.22</p> <p>DRAWN: M Palmer</p> <p>SCALE: 1:100, 1:250, U.N.O.</p>	<p>PROJECT: MULTI RES DEVELOPMENT & SUBDIVISION</p> <p>SITE ADDRESS: 81 LAWSON STREET MUDGEES 2850</p> <p>SHEET DESCRIPTION: DWELLINGS 2 & 3 - SECTIONS, ROOF PLAN</p>		

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C

9,630

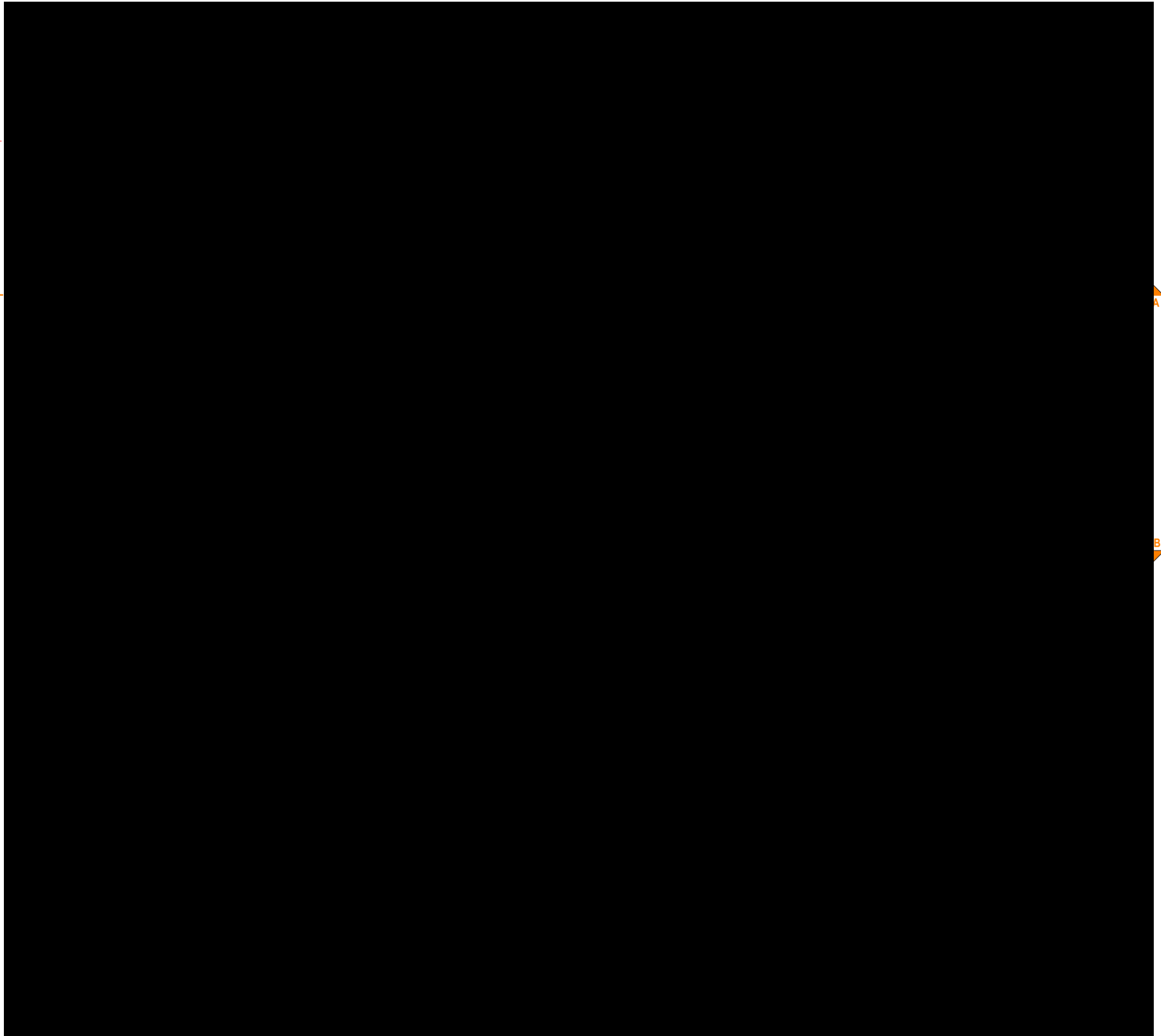
D

E

9,630

F

18,520



0. FLOOR PLAN - DWELLING 2 1:100

0. FLOOR PLAN - DWELLING 3 1:100

AREA OF DEVELOPMENT	
DWELLING 2 - LIVING	AREA: 128.91 m ²
LIVING & GARAGE	AREA: 150.81 m ²
CARPORT	AREA: 18.93 m ²
ALFRESCO	AREA: 11.42 m ²
PATIO	AREA: 2.40 m ²
TOTAL - 183.56 m²	

LEGEND:	
SA	A.S. APPROVED CEILING MOUNTED SMOKE ALARM HARD WIRED TO ELECTRICAL SUPPLY
ASW	ALUMINIUM FRAMED SLIDING WINDOW
FXD	FIXED WINDOW
CF	CEILING FAN
CH	CEILING HATCH (FOR ROOF SPACE ACCESS)
CPT	CARPET
DR	CLOTHES DRYER SPACE
DW	DISH WASHER
EMB	ELECTRICAL METER BOARD
FW	FLOOR WASTE
LPG CYLINDERS-	LP GAS CYLINDERS
REF	REFRIGERATOR SPACE
R/C or CONC	REINFORCED CONCRETE SLAB
R/C A/C	REVERSE CYCLE AIR CONDITIONING UNIT
STV	STOVE - FREESTANDING
S	SINK TO KITCHEN OR PANTRY
SK	SKYLIGHT
T	TILES
TR	TOWEL RAIL
V	VANITY
WM	WASHING MACHINE SPACE
WC	WATER CLOSET (TOILET)



AREA OF DEVELOPMENT	
DWELLING 3 - LIVING	AREA: 128.91 m ²
LIVING & GARAGE	AREA: 150.81 m ²
CARPORT	AREA: 18.93 m ²
ALFRESCO	AREA: 11.42 m ²
PATIO	AREA: 2.40 m ²
TOTAL - 183.56 m²	



CONSTRUCTION NOTES:

- ALL WET AREAS OF THE BUILDING TO BE PROTECTED BY INSTALLATION OF A WATERPROOF SYSTEM COMPLYING WITH AS 3740 - WATERPROOFING OF WET AREAS
- WALL FRAME BRACING, ROOF BRACING AND ALL TIE DOWN FIXING DETAILS TO BE TO NOMINATED TRUSS & FRAME MANUFACTURERS ENGINEERED SPECIFICATIONS - EXPOSED KING POST TRUSSES TO STRUCTURAL ENGINEERS DETAILS
- THE BUILDING/S ARE TO BE PROTECTED AGAINST SUBTERRANEAN TERMITES IN ACCORDANCE WITH AS 3660 A DURABLE NOTICE MUST BE PERMANENTLY FIXED TO THE BUILDING IN A PROMINENT POSITION SHOWING METHOD OF RISK MANAGEMENT, DATE OF INSTALLATION & INSTALLER OR MANUFACTURERS RECOMMENDATIONS FOR THE SCOPE & FREQUENCY OF FUTURE INSPECTIONS AND TERMITE ACTIVITY.
- ALL PLUMBING WORKS TO BE IN ACCORDANCE WITH THE PLUMBING CODE OF AUSTRALIA (PCA), THE NEW SOUTH WALES CODE OF PRACTICE FOR PLUMBING & DRAINAGE 2006 (NSW PLUMBING CODE) & AS/NZS 3500
- WATER TEMPERATURE TO ALL OUTLETS (EXCLUDING LAUNDRY & KITCHEN) NOT TO EXCEED 50° C
- ROOF WATER TO BE COLLECTED BY EAVES GUTTER AND DISCHARGED TO DOWNPIPES TO RAIN WATER TANK/S. OVERFLOW TO BE POSITIVELY CHARGED AND DISCHARGED TO LAWSON STREET KERB FRONTAGE
- ALL INTERNAL WALLS (U.N.O.) TO BE 90mm TIMBER STUD FRAMED LINED WITH 10mm GYPROCK PLASTERBOARD CD INTERNALLY (OR SELECTED LINING) AND 10mm GYPROCK AQUACHECK PLASTERBOARD TO WET AREAS

DRAWING TO SCALE ON A3 SIZE SHEET FORMAT ONLY

NOTE:
 1. THIS DRAWING TO BE READ IN CONJUNCTION WITH SPECIFICATIONS / STRUCTURAL ENGINEER DRAWINGS / SURVEYOR AND OTHER CONSULTANT DOCUMENTATION APPLICABLE TO THIS PROJECT
 2. ALL BOUNDARIES AND SITE LEVELS ARE SUBJECT TO SURVEY
 3. ALL WORK TO BE CONSTRUCTED IN ACCORDANCE WITH CURRENT BUILDING REGULATIONS INCLUDING BUT NOT LIMITED TO:
 BUILDING CODE OF AUSTRALIA NATIONAL CONSTRUCTION CODE - BCA NCC
 PLUMBING CODE OF AUSTRALIA (BCA NCC)
 AUSTRALIAN STANDARDS & OTHER REGULATORY AUTHORITIES
 4. ALL WORKS TO BE UNDERTAKEN BY LICENSED BUILDER AND SUBCONTRACTORS
 5. BUILDER TO CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORK
 6. MATERIALS AND FINISHES TO BE AS SPECIFIED ON THE DRAWINGS.
 7. ALL DIMENSIONS IN MILLIMETERS UNLESS OTHERWISE STATED. WRITTEN DIMENSIONS TO BE USED. DO NOT SCALE DRAWINGS
 8. THESE DRAWINGS ARE SUBJECT TO COPYRIGHT - NO PART OF THIS DRAWING MAY BE REPRODUCED WITHOUT WRITTEN CONSENT OF PREFERRED DESIGN & DRAFTING

REV	DATE	AMENDMENT
A	7.2.22	

BUILDING CLASSIFICATION: 1a

D.P. NUMBER: LOT 3 DP758721
 SITE AREA: 1947 m²
 DATE: 7.2.22
 DRAWN: M Palmer
 SCALE: 1:100, 1:250, U.N.O.

CLIENT: EDEN ENERGY SERVICES
PROJECT: MULTI RESIDENTIAL DEVELOPMENT & SUBDIVISION
SITE ADDRESS: 81 LAWSON STREET MUDGEES 2850
SHEET DESCRIPTION: DWELLINGS 2 & 3 - FLOOR PLAN



bdca
 ACCREDITED
 BUILDING DESIGNER

Preferred Design & Drafting

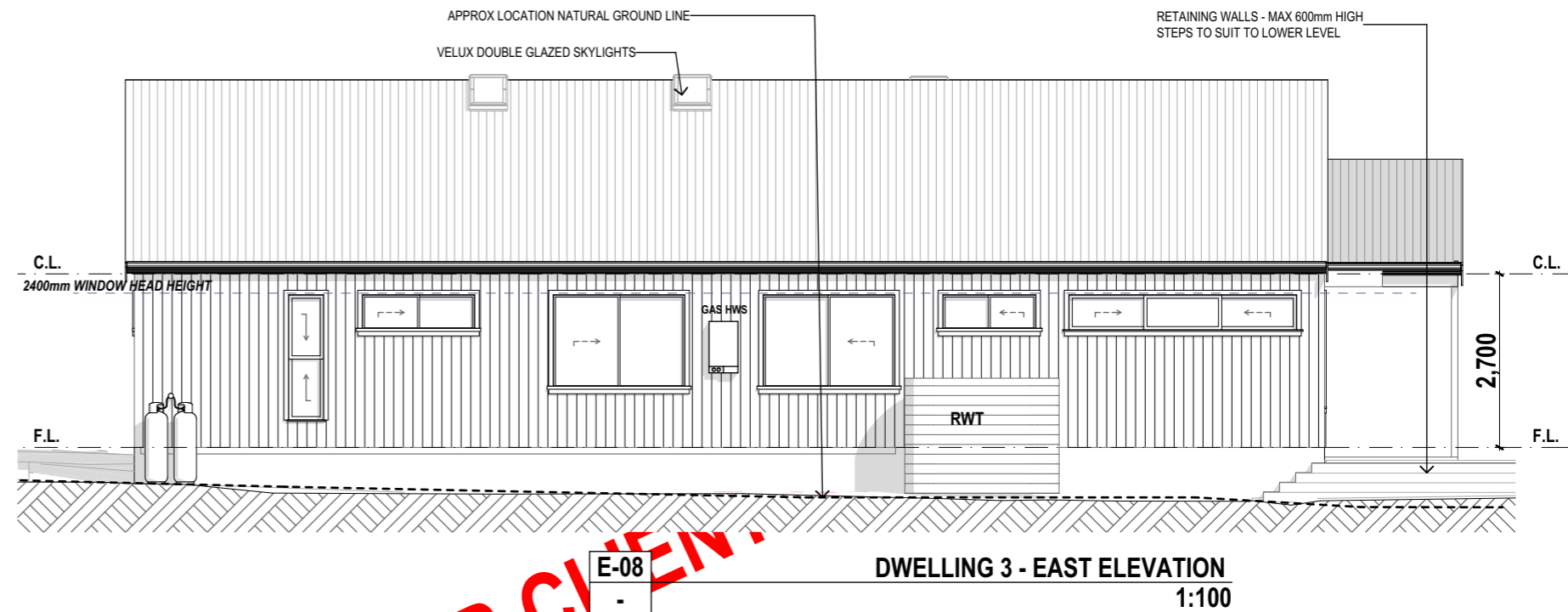
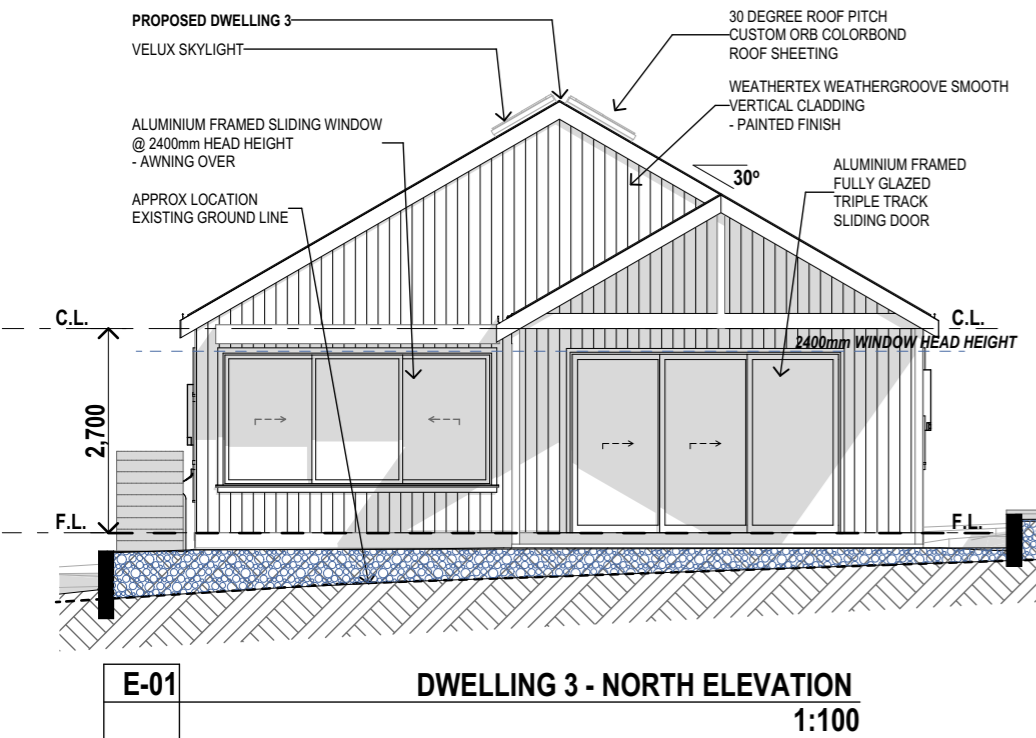
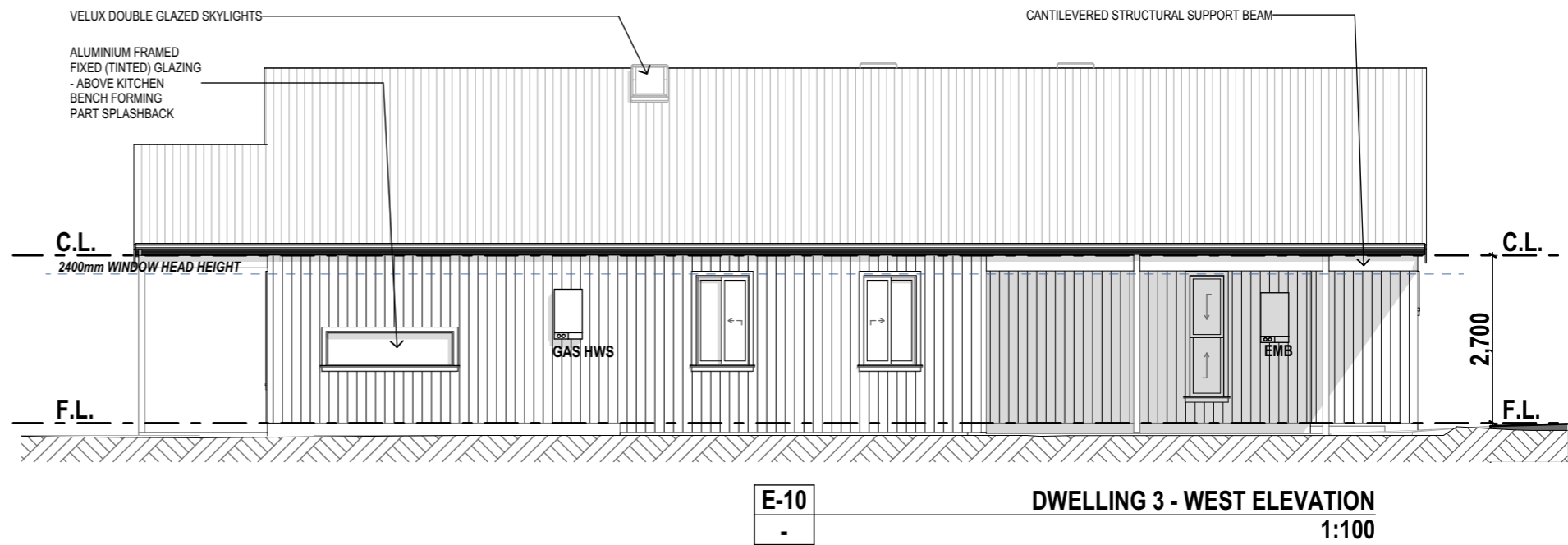
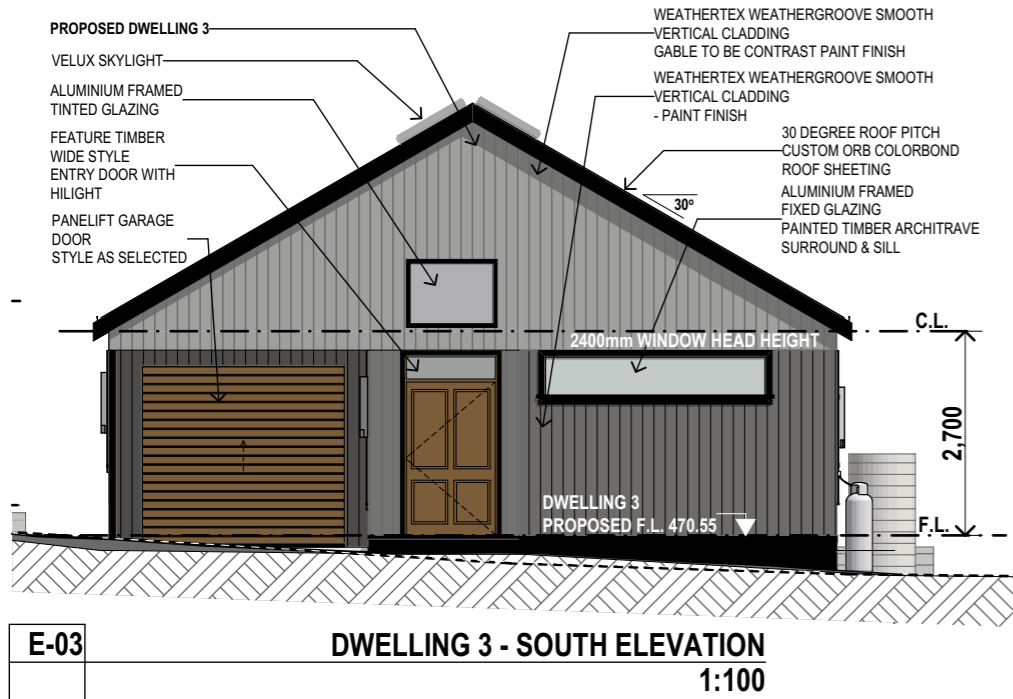


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DRAWING No: 08 of 18

PROJECT No: 108.21

FINAL DRAFT FOR APPROVAL



FINAL DRAFT FOR CLIENT

NOTE:
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REV	DATE	AMENDMENT
A	7.2.22	

BUILDING CLASSIFICATION: 1a

D.P. NUMBER: LOT 3 DP758721
 SITE AREA: 1947 m2
 DATE: 7.2.22
 DRAWN: M Palmer
 SCALE: 1:100, 1:250, U.N.O.

CLIENT: EDEN ENTERPRISES
PROJECT: MULTI RES DEVELOPMENT & SUBDIVISION
SITE ADDRESS: 81 LAWSON STREET MUDGEE 2850
SHEET DESCRIPTION: DWELLING 3 - ELEVATIONS



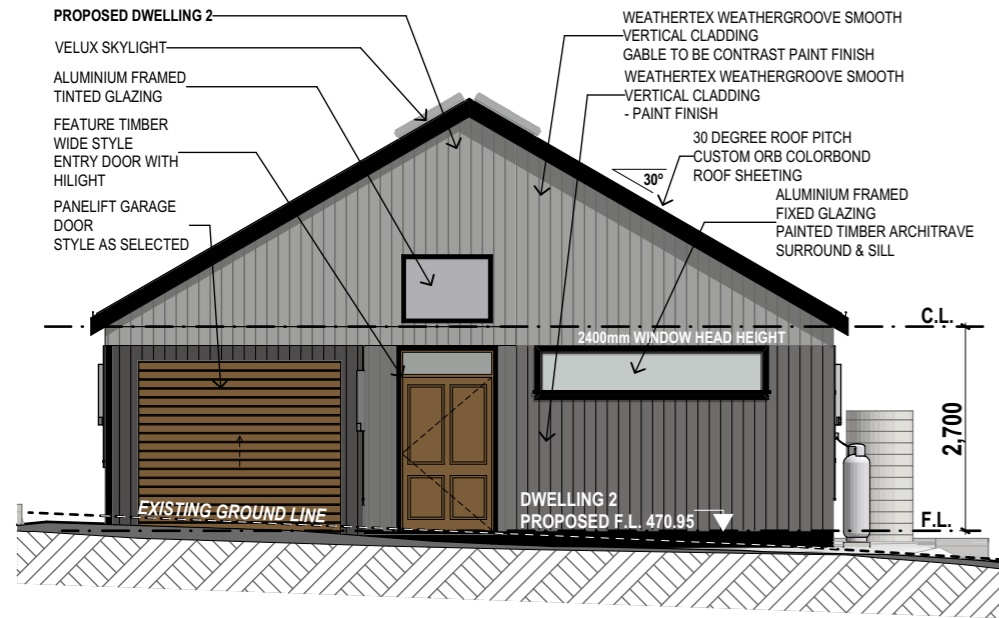
Preferred Design & Drafting



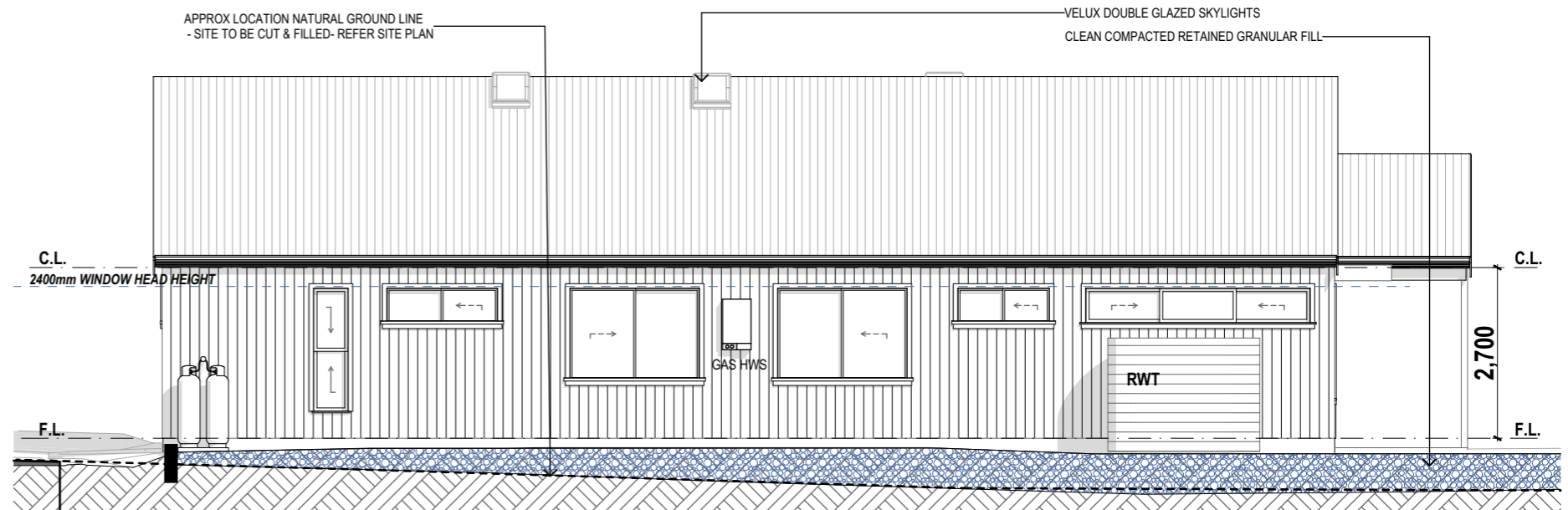
30 Lewis Street Mudgee NSW 2850
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 email: marian@preferred-design.com.au

DRAWING No:
10 of 18

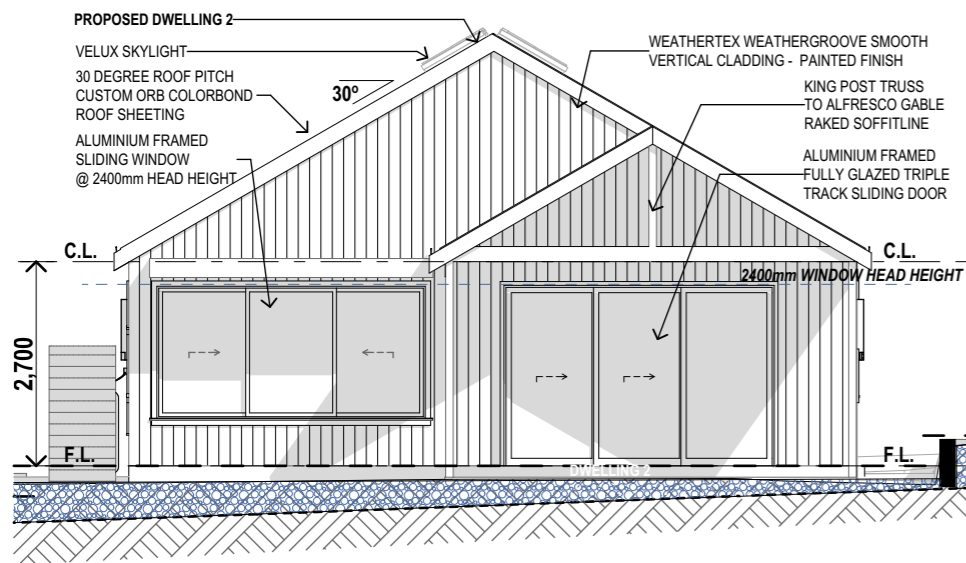
PROJECT No:
108.21



E-03 DWELLING 2 - SOUTH ELEVATION 1:100



E-07 EAST ELEVATION - UNIT 2 1:100



E-01 DWELLING 2 - NORTH ELEVATION 1:100



E-09 WEST ELEVATION - UNIT 2 1:100

FINAL DRAFT FOR CLIENT

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REV	DATE	AMENDMENT
A	7.2.22	

BUILDING CLASSIFICATION: 1a
 D.P. NUMBER: LOT 3 DP758721
 SITE AREA: 1947 m2
 DATE: 7.2.22
 DRAWN: M Palmer
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CLIENT: EDEN ENTERPRISES
PROJECT: MULTI RES DEVELOPMENT & SUBDIVISION
SITE ADDRESS: 81 LAWSON STREET MUDGEES 2850
SHEET DESCRIPTION: DWELLING 2 - ELEVATIONS

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 email: marian@preferred-design.com.au

DRAWING No: **09 of 18**
 PROJECT No: **108.21**