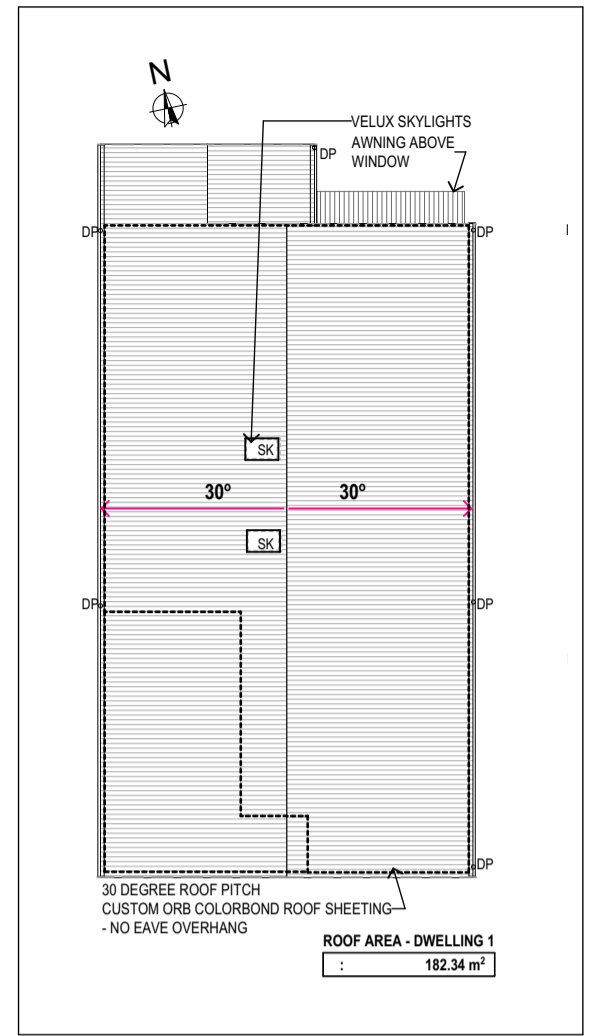


S-01 SECTION

SECTION B S-02

17.110



1. DWELLING 1 - ROOF PLAN 1:200

AREA OF DEVELOPMENT	
DWELLING 1 - LIVING	
AREA:	137.33 m ²
(CARPORT)	
AREA:	19.44 m ²
LIVING & CARPORT	
AREA:	156.77 m ²
ALFRESCO	
AREA:	11.42 m ²
PATIO	
AREA:	2.59 m ²
TOTAL -	170.78m²

DWELLING 1 -
TO BE DESIGNED TO LIVING HOUSING AUSTRALIA
'LIVABLE HOUSING DESIGN GUIDE' - GOLD LEVEL

LEGEND:	
SA	A.S. APPROVED CEILING MOUNTED SMOKE ALARM HARD WIRED TO ELECTRICAL SUPPLY
ASW	ALUMINIUM FRAMED SLIDING WINDOW
FXD	FIXED WINDOW
CF	CEILING FAN
CH	CEILING HATCH (FOR ROOF SPACE ACCESS)
CPT	CARPET
DR	CLOTHES DRYER SPACE
DW	DISH WASHER
EMB	ELECTRICAL METER BOARD
FW	FLOOR WASTE
LPG CYLINDERS-	LPG GAS CYLINDERS
REF	REFRIGERATOR SPACE
R/C or CONC	REINFORCED CONCRETE SLAB
R/C A/C	REVERSE CYCLE AIR CONDITIONING
UNIT	STOVE - FREESTANDING
STV	SINK TO KITCHEN OR PANTRY
S	SKYLIGHT
SK	TILES
T	SLIP RESISTIVE TILES
SR TILES	TOWEL RAIL
TR	VANITY
V	WASHING MACHINE SPACE
WM	WATER CLOSET (TOILET)
WC	



0. FLOOR PLAN - DWELLING 1 1:100

TO BE DESIGNED TO LIVING HOUSING AUSTRALIA
'LIVABLE HOUSING DESIGN GUIDE' - GOLD LEVEL

- LIVABLE HOUSING AUSTRALIA - GOLD LEVEL HOME DESIGN ELEMENTS:**
1. A SAFE CONTINUOUS AND STEP FREE PATH OF TRAVEL FROM THE STREET ENTRANCE AND/OR PARKING AREA TO A DWELLING ENTRANCE THAT IS LEVEL
 2. AT LEAST ONE, LEVEL (STEP FREE) ENTRANCE INTO THE DWELLING
 3. INTERNAL DOORS AND CORRIDORS THAT FACILITATE COMFORTABLE AND UNIMPEDED MOVEMENT BETWEEN SPACES
 4. A TOILET ON THE GROUND (ENTRY) LEVEL THAT PROVIDES EASY ACCESS
 5. A BATHROOM THAT CONTAINS A HOBLESS SHOWER RECESS
 6. REINFORCED WALLS AROUND THE TOILET, SHOWER AND BATH TO SUPPORT THE SAFE INSTALLATION OF GRABRAILS AT A LATER DATE
 7. STAIRWAYS ARE DESIGNED TO REDUCE THE LIKELIHOOD OF INJURY AND ALSO ENABLE FUTURE ADAPTATION
 8. THE KITCHEN SPACE IS DESIGNED TO SUPPORT EASE OF MOVEMENT BETWEEN FIXED BENCHES AND TO SUPPORT EASY ADAPTATION
 9. THE LAUNDRY SPACE IS DESIGNED TO SUPPORT EASE OF MOVEMENT BETWEEN FIXED BENCHES AND TO SUPPORT EASY ADAPTATION
 10. GROUND (OR ENTRY LEVEL) TO HAVE SPATIAL PROVISION FOR A BEDROOM
 11. LIGHT SWITCHES AND POWERPOINTS TO BE LOCATED AT HEIGHTS EASY TO REACH FOR ALL HOME OCCUPANTS
 12. HOME OCCUPANTS ARE ABLE TO EASILY AND INDEPENDENTLY OPEN & CLOSE ALL DOORS AND SAFELY USE ALL TAP HARDWARE

LIVABLE HOUSING AUSTRALIA - FLOOR FINISH/COVERINGS - PLATINUM LEVEL

ALL FLOOR COVERINGS SHOULD BE FIRM, EVEN AND SLIP RESISTANT - AND FEATURE A LEVEL TRANSITION BETWEEN ABUTTING SURFACES (A MAXIMUM VERTICAL TOLERANCE OF 5mm BETWEEN ABUTTING SURFACES IS ALLOWABLE PROVIDED THE LIP IS ROUNDED OR BEVELLED)

- CONSTRUCTION NOTES:**
1. ALL WET AREAS OF THE BUILDING TO BE PROTECTED BY INSTALLATION OF A WATERPROOF SYSTEM COMPLYING WITH AS 3740 - WATERPROOFING OF WET AREAS
 2. WALL FRAME BRACING, ROOF BRACING AND ALL TIE DOWN FIXING DETAILS TO BE TO NOMINATED TRUSS & FRAME MANUFACTURERS ENGINEERED SPECIFICATIONS - EXPOSED KING POST TRUSSES TO STRUCTURAL ENGINEERS DETAILS
 3. THE BUILDING/S ARE TO BE PROTECTED AGAINST SUBTERRANEAN TERMITES IN ACCORDANCE WITH AS 3660. A DURABLE NOTICE MUST BE PERMANENTLY FIXED TO THE BUILDING IN A PROMINENT POSITION SHOWING METHOD OF RISK MANAGEMENT, DATE OF INSTALLATION & INSTALLER OR MANUFACTURERS RECOMMENDATIONS FOR THE SCOPE & FREQUENCY OF FUTURE INSPECTIONS AND TERMITE ACTIVITY.
 4. ALL PLUMBING WORKS TO BE IN ACCORDANCE WITH THE PLUMBING CODE OF AUSTRALIA (PCA), THE NEW SOUTH WALES CODE OF PRACTICE FOR PLUMBING & DRAINAGE 2006 (NSW PLUMBING CODE) & AS/NZS 3500
 5. WATER TEMPERATURE TO ALL OUTLETS (EXCLUDING LAUNDRY & KITCHEN) NOT TO EXCEED 50° C
 6. ROOF WATER TO BE COLLECTED BY EAVES GUTTER AND DISCHARGED TO DOWNPIPES TO RAIN WATER TANK/S. OVERFLOW TO BE POSITIVELY CHARGED AND DISCHARGED TO LAWSON STREET KERB FRONTAGE
 7. ALL INTERNAL WALLS (I.N.O.) TO BE 90mm TIMBER STUD FRAMED LINED WITH 10mm GYPROCK PLASTERBOARD CD INTERNALLY (OR SELECTED LINING) AND 10mm GYPROCK AQUACHECK PLASTERBOARD TO WET AREAS

NOTE:

1. THIS DRAWING TO BE READ IN CONJUNCTION WITH SPECIFICATIONS / STRUCTURAL ENGINEER DRAWINGS / SURVEYOR AND OTHER CONSULTANT DOCUMENTATION APPLICABLE TO THIS PROJECT
2. ALL BOUNDARIES AND SITE LEVELS ARE SUBJECT TO SURVEY
3. ALL WORK TO BE CONSTRUCTED IN ACCORDANCE WITH CURRENT BUILDING REGULATIONS INCLUDING BUT NOT LIMITED TO:
 - BUILDING CODE OF AUSTRALIA NATIONAL CONSTRUCTION CODE - BCA NCC
 - PLUMBING CODE OF AUSTRALIA (BCA NCC)
 - AUSTRALIAN STANDARDS & OTHER REGULATORY AUTHORITIES
4. ALL WORKS TO BE UNDERTAKEN BY LICENSED BUILDER AND SUBCONTRACTORS
5. BUILDER TO CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORK
6. MATERIALS AND FINISHES TO BE AS SPECIFIED ON THE DRAWINGS.
7. ALL DIMENSIONS IN MILLIMETERS UNLESS OTHERWISE STATED. WRITTEN DIMENSIONS TO BE USED. DO NOT SCALE DRAWINGS
8. THESE DRAWINGS ARE SUBJECT TO COPYRIGHT - NO PART OF THIS DRAWING MAY BE REPRODUCED WITHOUT WRITTEN CONSENT OF PREFERRED DESIGN & DRAFTING

BUILDING CLASSIFICATION: 1a	
D.P. NUMBER:	LOT 3 DP758721
SITE AREA:	1947 m ²
DATE:	2.3.22
DRAWN:	M Palmer
SCALE:	1:100, 1:250, U.N.O.

CLIENT: EDEN ENERGY SERVICES
PROJECT: MULTI RES DEVELOPMENT & SUBDIVISION
SITE ADDRESS: 81 LAWSON STREET MUDGEES 2850
SHEET DESCRIPTION: DWELLING 1 - FLOOR PLAN, ROOF PLAN

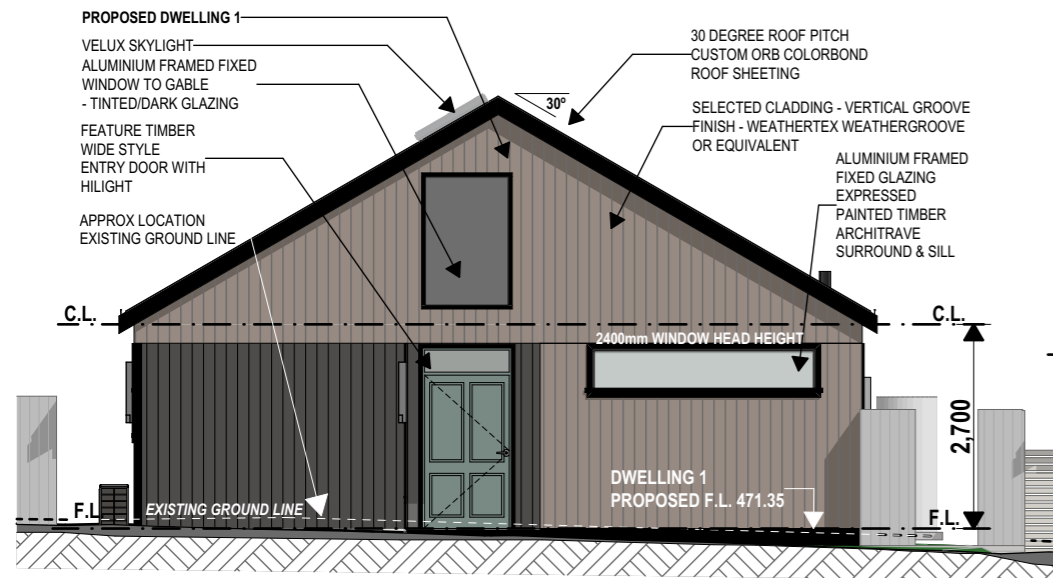
Preferred Design & Drafting

30 Lewis Street Mudgee NSW 2850
ph: 0263724397 Mob: 0429600160
email: marian@preferred-design.com.au

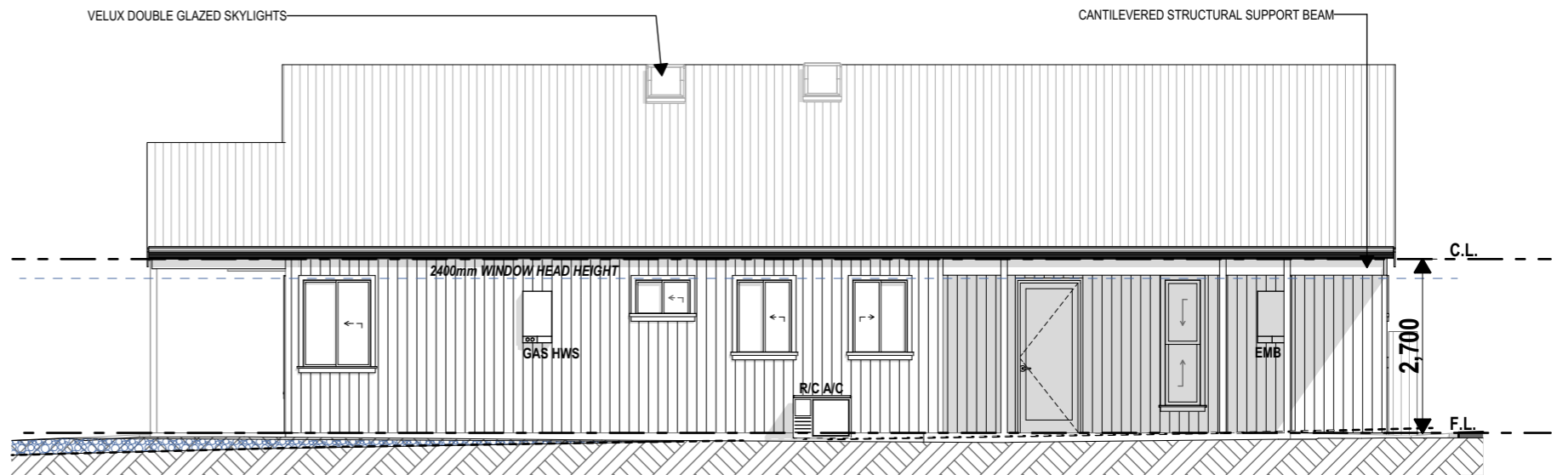
DRAWING No:
05 of 20

PROJECT No:
108.21

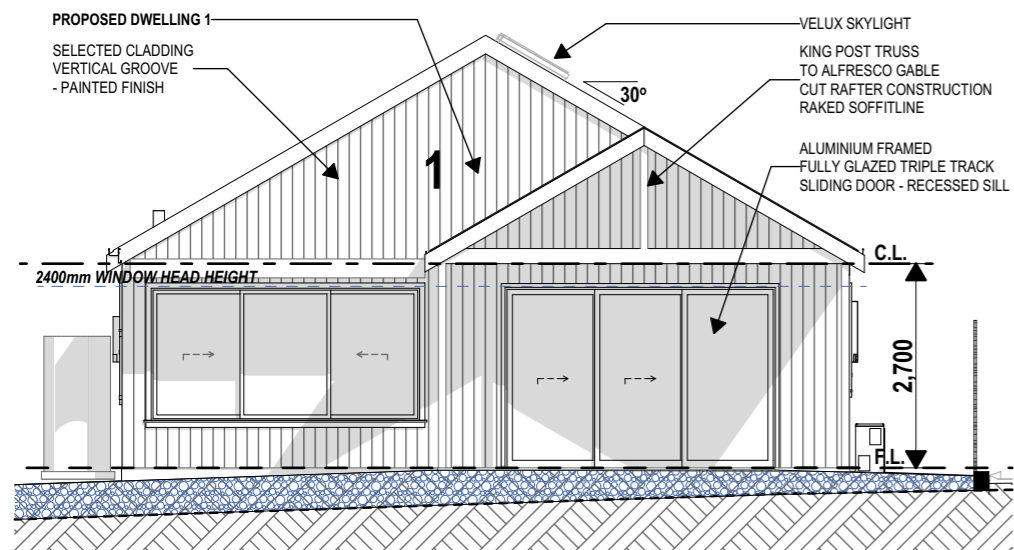




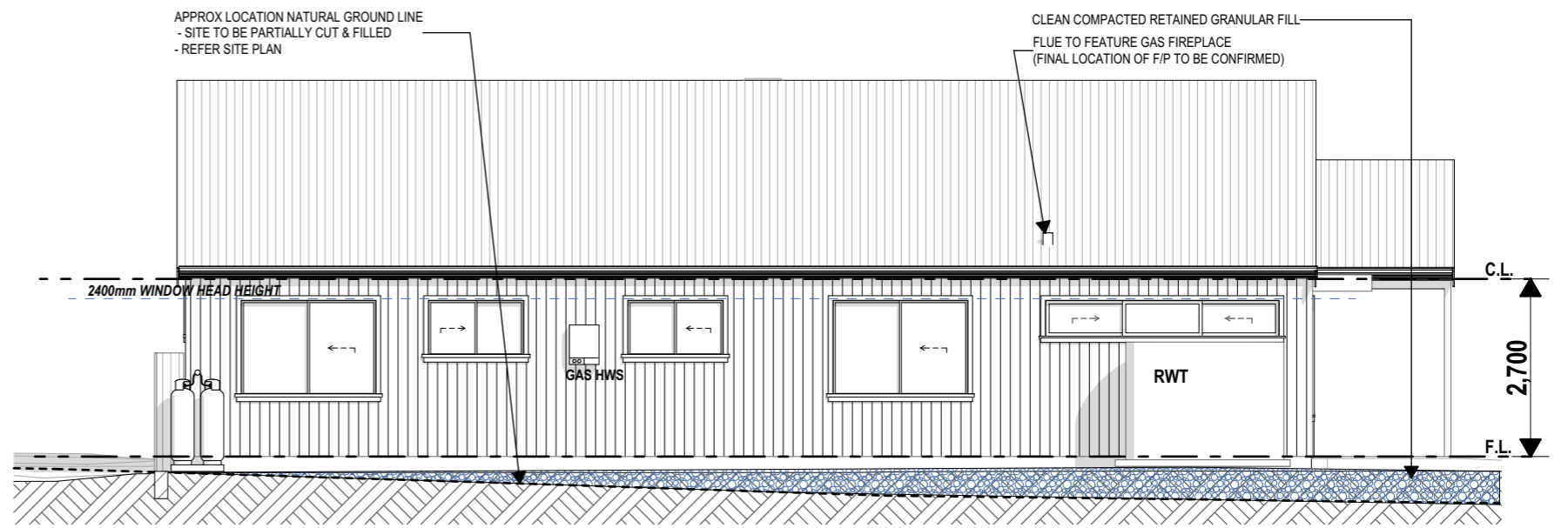
E-03 DWELLING 1 - SOUTH ELEVATION
1:100



E-04 DWELLING 1 - WEST ELEVATION
1:100



E-01 DWELLING 1 - NORTH ELEVATION
1:100

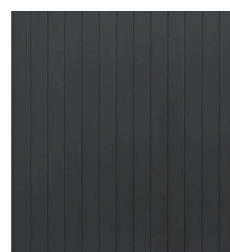


E-02 DWELLING 1 - EAST ELEVATION
1:100

COLOURS & MATERIALS



ROOF SHEETING
CUSTOM ORB COLORBOND
'MONUMENT'



EXTERIOR CLADDING
- EASTERN & WESTERN WALLS
- JAMES HARDIE AXON GROOVED
WOOD GRAIN TEXTURE - PAINTED- DULUX MONUMENT



EXTERIOR CLADDING
- NORTHERN & SOUTHERN WALLS
- JAMES HARDIE AXON GROOVED
WOOD GRAIN TEXTURE- TIMBER STAINED FINISH



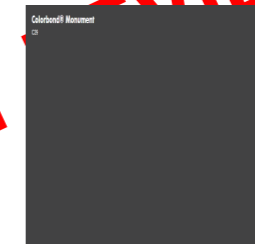
FRONT DOOR - DWELLING 1
DULUX - POWDERED GUM



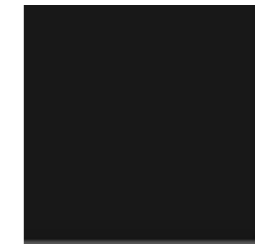
FRONT DOOR - DWELLING 2
DULUX - BURNT EARTH



FRONT DOOR
DULUX - GOLDEN MARGUERITE



GARAGE DOOR - MONUMENT



WINDOW & DOOR FRAMES - BLACK



COLORBOND FENCING - MONUMENT

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FINAL DRAFT FOR CLIENT REVIEW

BUILDING CLASSIFICATION: 1a
D.P. NUMBER: LOT 3 DP758721
SITE AREA: 1947 m²
DATE: 2.3.22
DRAWN: M Palmer
SCALE: 1:100, 1:250, U.N.O.

CLIENT: EDEN ENTERPRISES
PROJECT: MULTI RES DEVELOPMENT & SUBDIVISION
SITE ADDRESS: 81 LAWSON STREET MUDGEES 2850
SHEET DESCRIPTION: DWELLING 1 - ELEVATIONS, COLOURS & MATERIALS

Preferred Design & Drafting

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30 Lewis Street Mudgee NSW 2850
ph: 0263724397 Mob: 0429600160
email: marian@preferred-design.com.au

DRAWING No:
06 of 20
PROJECT No:
108.21