

PLAN FORM 2

Plan Drawing only to appear in this space

OFFICE USE ONLY

DP 791533

SIGNATURES, SEALS AND STATEMENTS of intention to dedicate public roads or to create easements, easements, restrictions on the use of land or positive covenants.

Robert Simon 1982 and Gregory Van Lear have jointly and severally and respectively the duly constituted attorneys for Elders Finance Limited and Power of Attorney holders No. 2555-2001 and that the plan is a true and correct copy of the original plan as filed with the Registrar General and I have no notice of the revocation of the said power of attorney.

Elders Finance Limited by its attorney Gregory Van Lear

LINE	BEARING	DISTANCE
23	223° 28'	4.11
24	132° 41'	5.25
25	2° 41'	5.25
26	319° 58'	4.11

LINE	CHORD	ARC RADIUS
1	119.38	9.97
2	184.58	15.0
3	191.78	26.99
4	154.29	54.3
5	198.54	8.995
6	211.10	16.935
7	228.34	16.935
8	243.57	17.925
9	249.52	17.925
10	273.48	14.1
11	277.58	2.4
12	257.21	11.0
13	262.31	8.255
14	281.29	19.865
15	43.14	9.925
16	24.55	12.5
17	113.57	8.54
18	99.22	4.495
19	75.41	25.82
20	35.05	22.37
21	13.35	10.4
22	77.16	27.475

COR	BEARING	MARK	DISTANCE
A	152° 15'	C.B. PD	0.5
B	145° 29'	D.H.W.	4.31
C	185° 29'	"	16.41
D	272° 41'	"	3.11
E	272° 41'	"	12.495
F	285° 18'	"	3.37
G	285° 18'	"	12.725
H	285° 18'	"	3.37
I	4° 30'	"	3.295
J	4° 30'	"	12.735
K	1° 30'	"	3.225
L	40° 36'	D.H.W. PD	4.725
M	40° 36'	"	16.39



Register: JJ 24-8-1989
 O.A. 9 15/89 OF 9-8-1989
 Title System: TORRENS
 Purpose: SUBDIVISION
 Ref. Map: P14587-6
 Loc. Plat: DP255007, DP249269
 PLAN OF SUBDIVISION OF LOTS 11 & 15 D.P. 255007 AND LOT 5 D.P. 249269

Lengths are in metres. Production Ratio 1:500

Map/Sheet: MUDGEE
 City: MUDGEE
 Locality: MUDGEE
 Parish: MUDGEE
 County: WELLINGTON

This is sheet 1 of my plan of 3 sheets. (Sheet 1 is uncoloured).

I, RICHARD COX
 of BYRON PLACE, MUDGEE, being a surveyor registered under the Surveyors Act, 1938, as amended, hereby certify that the survey represented in this plan is a true and correct copy of the original plan as filed with the Registrar General and that the same is in accordance with the Surveyors Act, 1938, as amended.

Plans used in preparation of survey/planification:
 DP 180665 DP 586721 W 6241-100
 DP 249269 DP 786030
 DP 255007 DP 710321
 DP 564142 DP 147858

PANEL FOR USE ONLY for statements of intention to dedicate public roads or to create public reserves, drainage easements, easements or restrictions as to user.

PURSUANT TO SECTION 88B OF THE CONVEYANCING ACT 1915 AS AMENDED, IT IS INTENDED TO CREATE -
 1. EASEMENT TO DRAIN WATER 3 WIDE
 2. EASEMENT TO DRAIN WATER 2 WIDE
 3. RESTRICTIONS AS TO USER

IT IS INTENDED TO DEDICATE THE EXTENSION OF DENISON STREET 14M WIDTH AND THE ROAD 16 WIDE A VAR WIDTH AS PUBLIC ROAD

IT IS INTENDED TO DEDICATE LOT 22 AS PUBLIC RESERVE.

* EASEMENT TO DRAIN WATER 3 WIDE
 ● EASEMENT TO DRAIN WATER 2 WIDE

Reg: P14587 / Doc: DP 0791533 P / Rev: 14-Jun-1992 / Sigs: OK, OK / Pct: 11-Mar-2014 14:04 / Pgs: ALL / Seq: 1 of 2

Surveyors Reference: DP 244

WARNING: CREASING OR FOLDING WILL LEAD TO REJECTION

This negative is a photograph made as a permanent record of a document in the custody of the Registrar General this day 29 August, 1989.

10 20 30 40 50 60 70 80 90 100 110 120 130 140

84.9 m

1093 m²

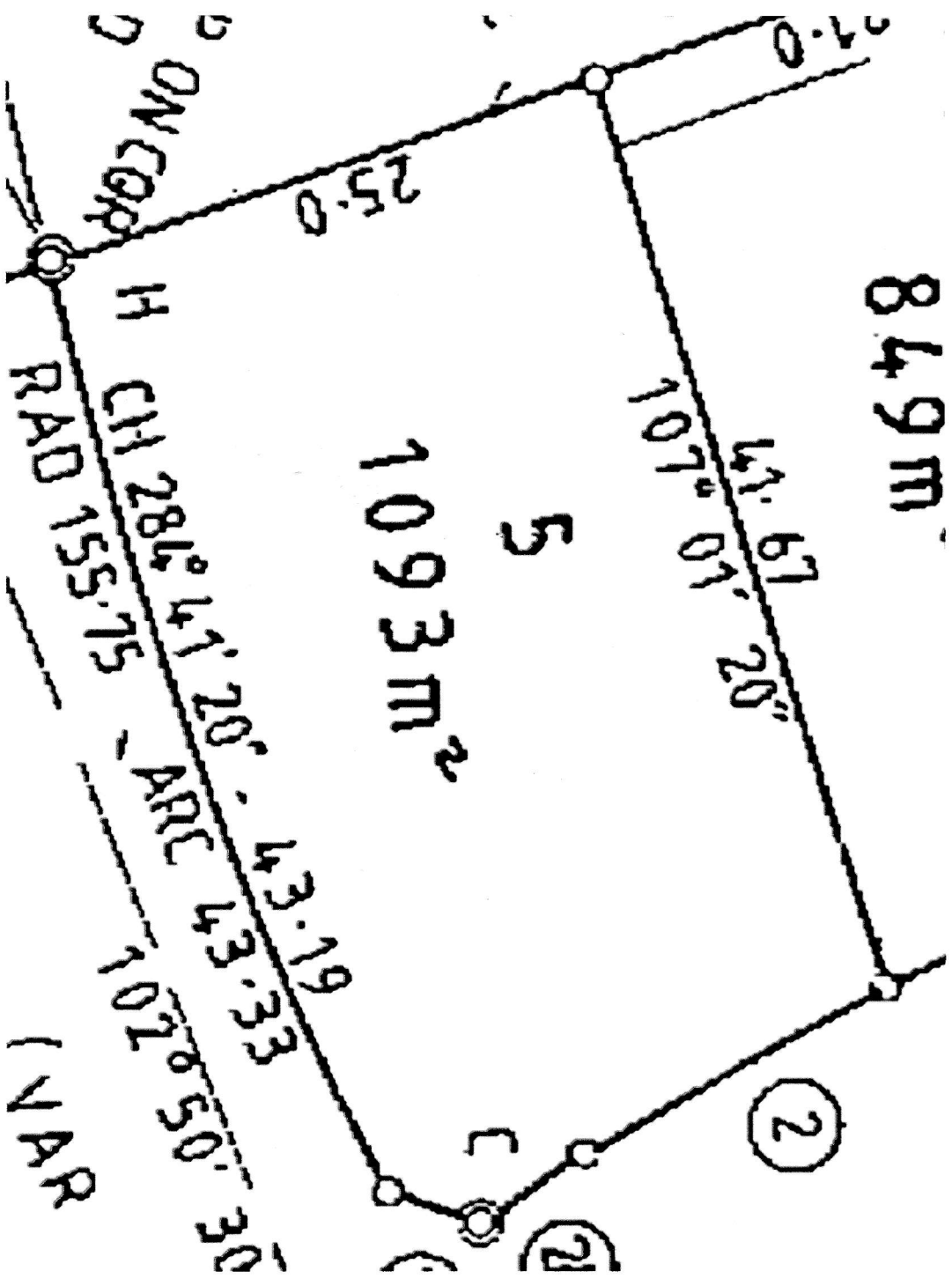
5

41.61
107° 01' 20"

(2)

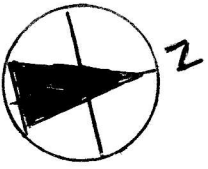
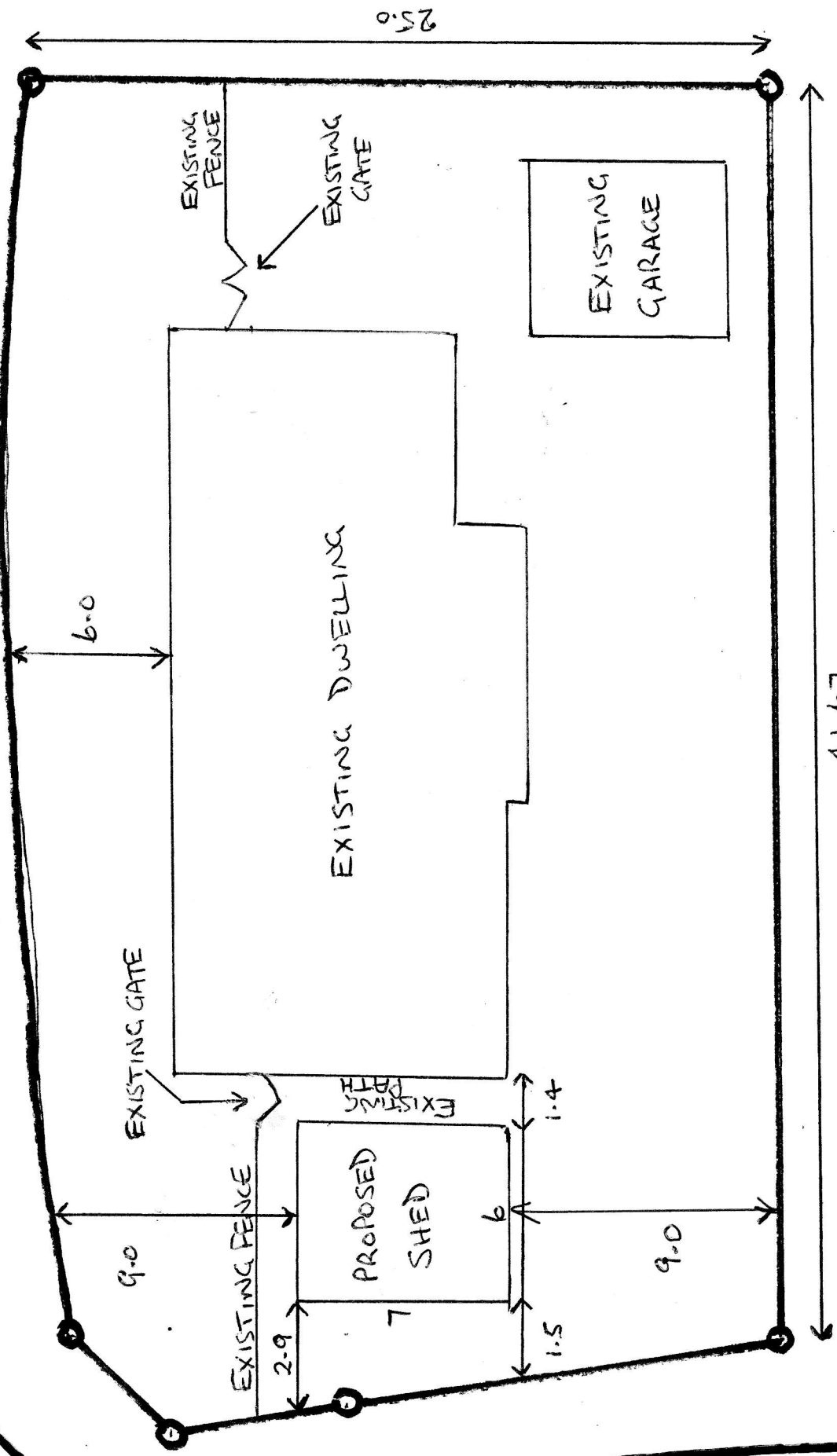
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(2)



DENISON STREET

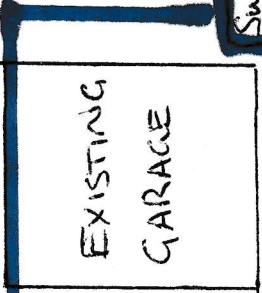
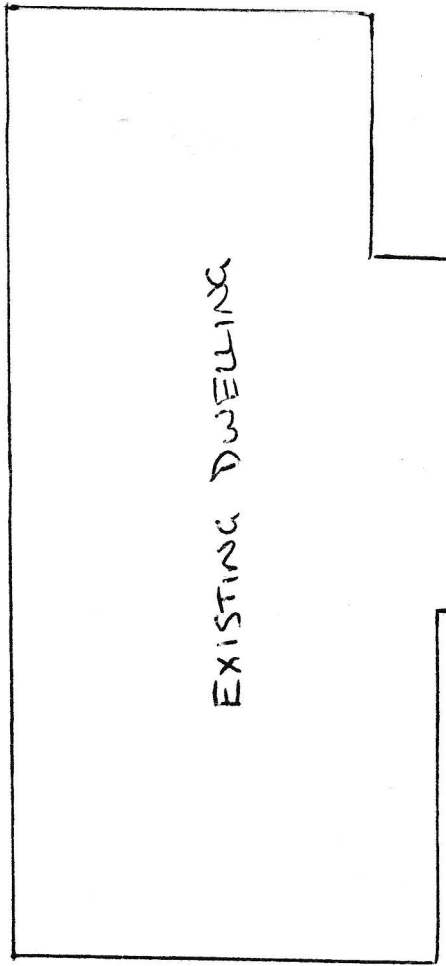
RAYNER STREET



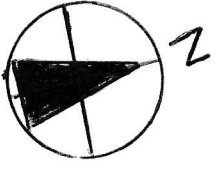
DENISON STREET

STORMWATER

25.0



41.67



[SW] EXISTING STORMWATER

PROPOSED STORMWATER

KAYNER STREET