



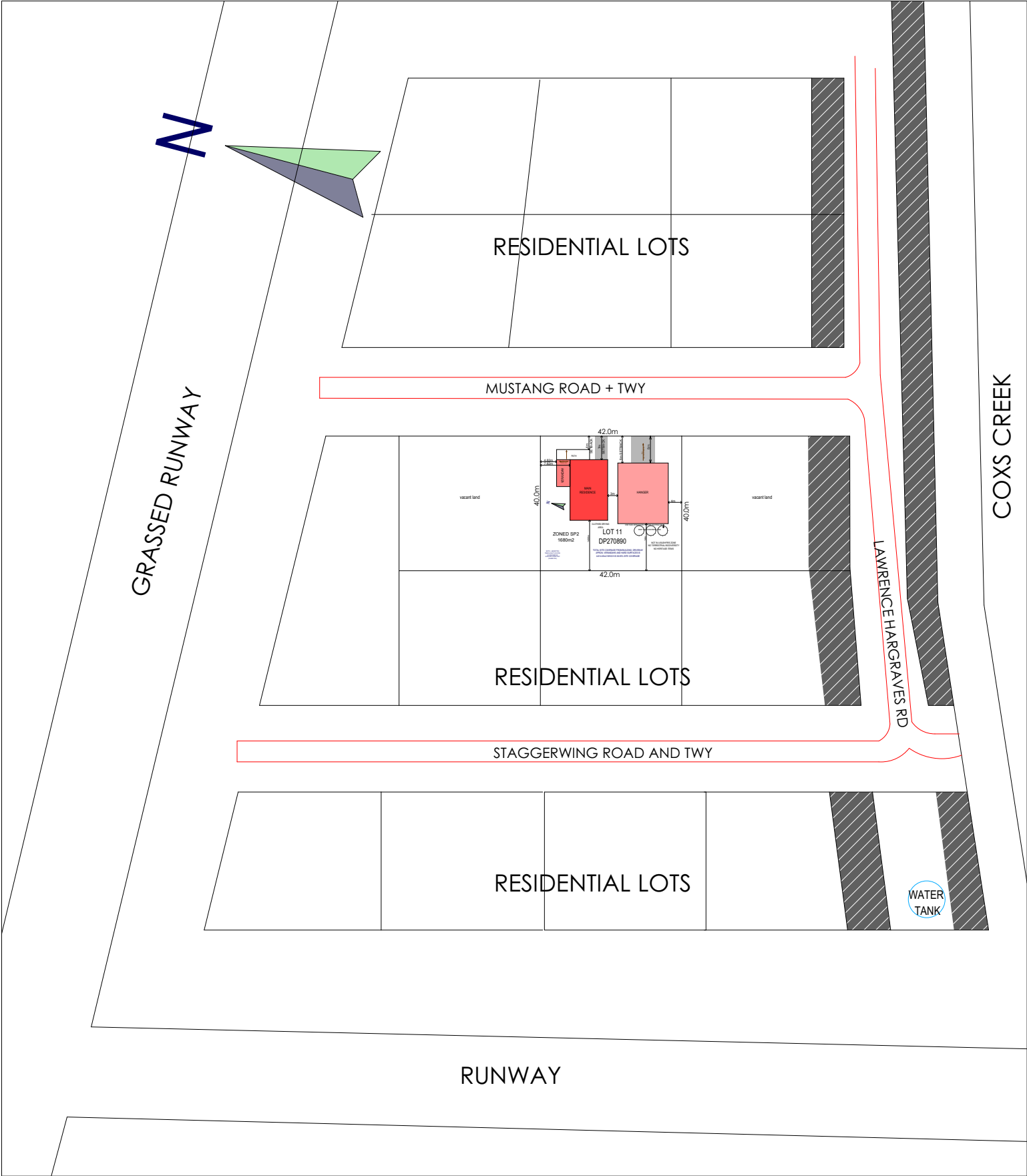
S + P COLLETT

LOT 11 DP 270890

3 MUSTANG ROAD RYLSTONE 2849

PROPOSED AIRCRAFT HANGAR WITH ANCILLARY ACCOMMODATION

DWG	DESCRIPTION	REVISION	DATE
A001	COVER	A	04/08/2022
A101	LOCATION PLAN + BASIX	A	04/08/2022
A102	SITE PLAN	A	04/08/2022
A105	FLOOR PLAN	A	04/08/2022
A105.2	FLOOR PLAN WITH DIMENSIONS	A	04/08/2022
A201	ELEVATIONS	A	04/08/2022
A301	SECTION	A	04/08/2022
A601	DOOR & WINDOW PLAN & SCHEDULES	A	04/08/2022
A113	ROOF PLAN	A	04/08/2022
A002	SAFETY NOTES	A	04/08/2022
A203	3D IMAGES	A	04/08/2022



LOCATION MAP

1:1500



WIND CLASSIFICATION	
CLIMATE ZONE	6
GEOGRAPHICAL REGION	A
TERRAINE CATEGORY	TC2
TOPOGRAPHY	T1
SHIELDING FACTOR	NS
(UNITL OTHER DWELLINGS ARE BUILT)	
WIND CLASSIFICATION	N3

NOTES

NO SPECIES OF PLANTS OR WILDLIFE WILL BE IMPACTED BY THIS PROPOSAL.

CLIENTS WILL ENSURE THAT NO RUNOFF FROM CONSTRUCTION MATERIALS WILL RUN INTO WATERWATERWAYS.

CLIENTS WILL ENSURE SEPTIC IS LOCATED AS DETERMINED BY ENVIRONMENTAL CONSULTANT

Client

P + S COLLETT

Site Address

3 MUSTANG ROAD
(RYLSTONE AIR PARK)
RYLSTONE NSW 2849

Drawing

SITE PLAN

Sheet No.

2

Plan/Revision

A.101/A

Plans drawn by

Gicinta Browning

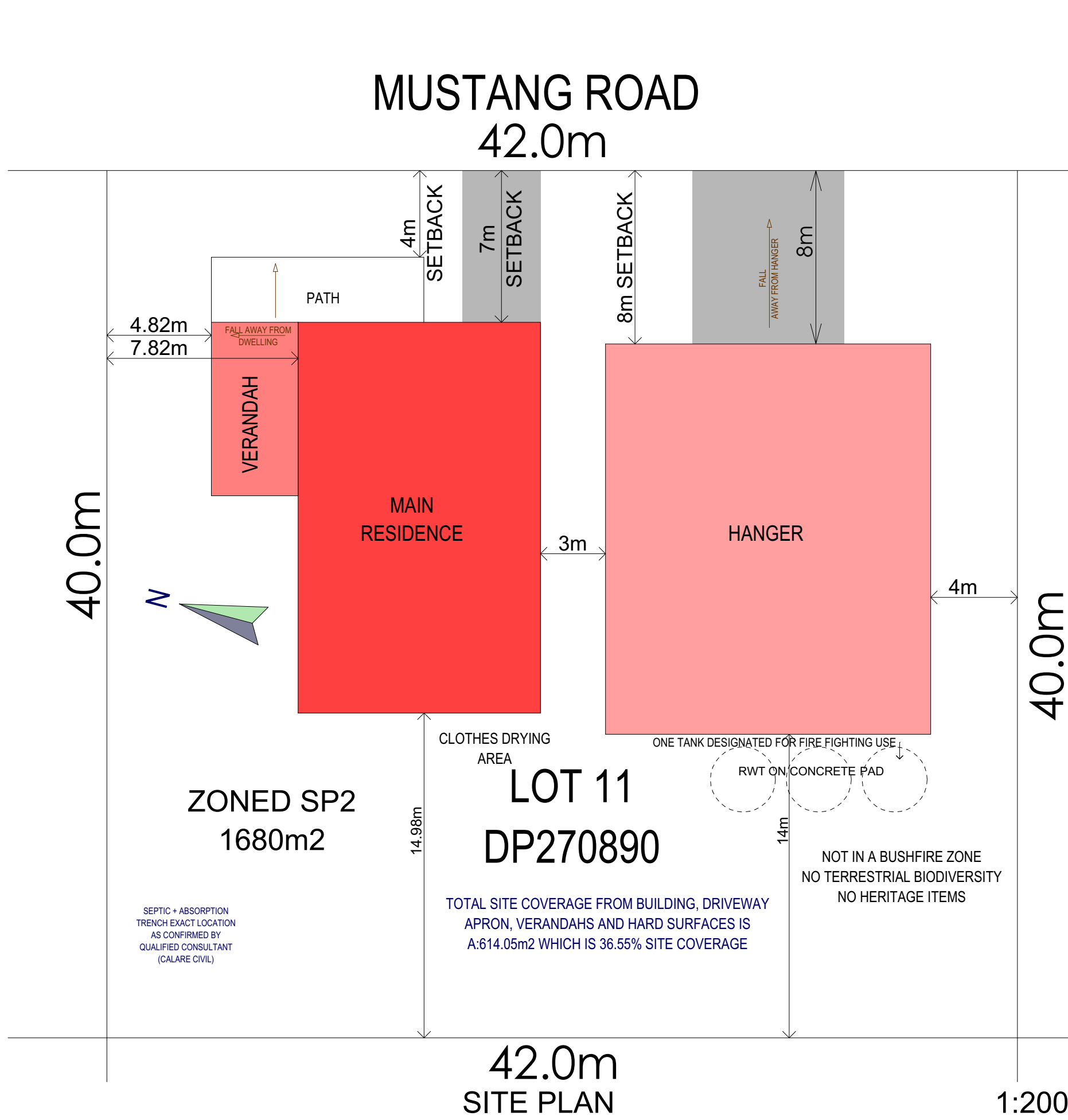
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BUILDING DESIGNER

Chartered Member
Number 1187-10

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* Ph 0428 254 037 ABN 61 989 364 458
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BASIX COMMITMENTS

WATER COMMITMENTS

FIXTURES
SHOWERHEADS TO BE INSTALLED WITH A MINIMUM 4 STAR RATING
FLUSHING TOILETS WITH A MINIMUM 3 STAR RATING
KITCHEN TAPS TO HAVE A MINIMUM 4 STAR RATING
BASIN TAPS TO HAVE A MINIMUM 4 STAR RATING
ALTERNATIVE WATER
MIN 60000L RAINWATER TANK INSTALLED ON SITE IN ACCORDANCE
WITH APPLICABLE REGULATORY
RAINWATER TANK TO COLLECT RUNOFF FROM 274.86m2 (ALL ROOF
AREAS)
RAINWATER TANK TO BE CONNECTED TO INDOOR WATER TAPS AND
OUTDOOR TAPS

THERMAL COMFORT COMMITMENTS

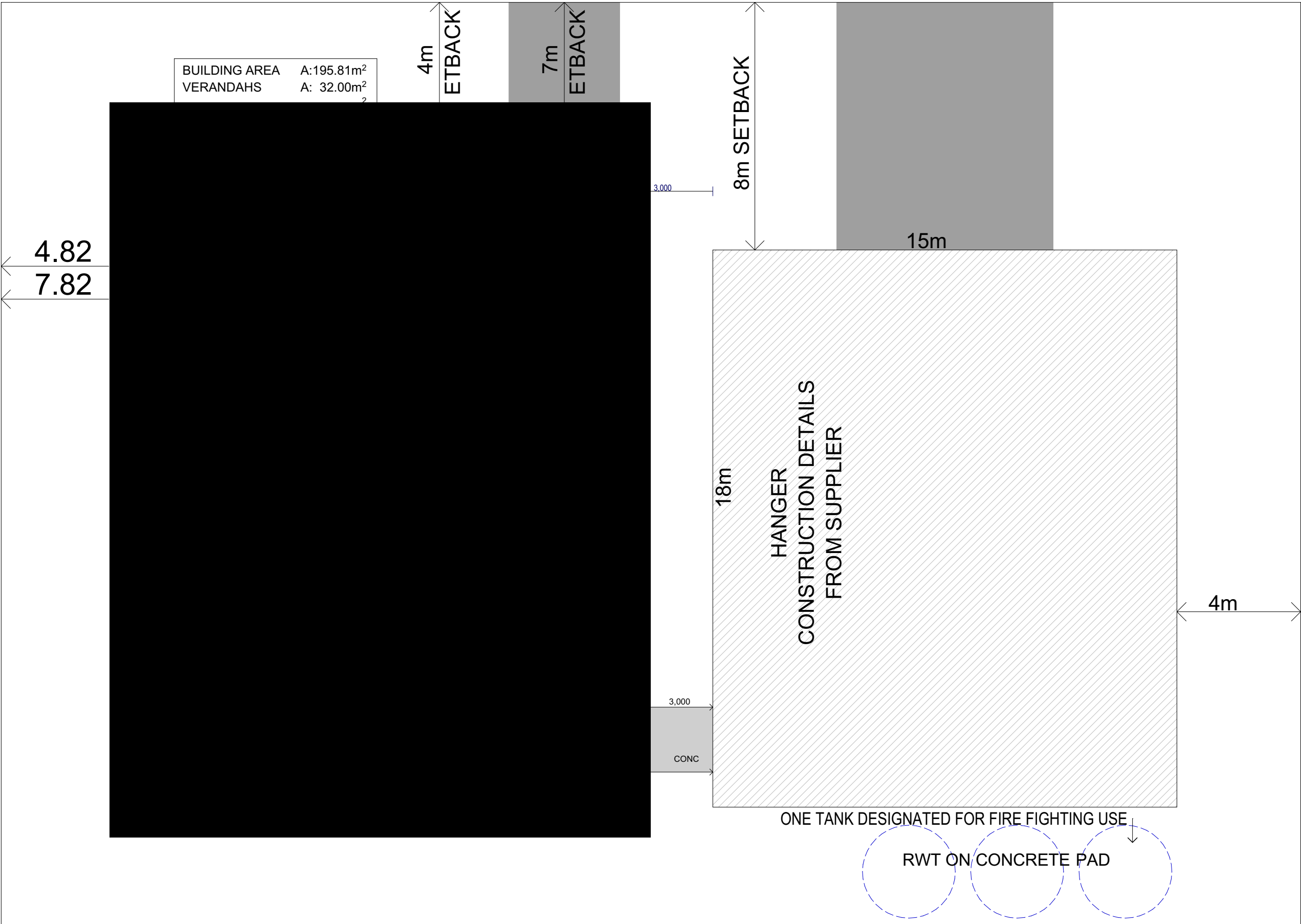
CONSTRUCTION:
CONDITIONED FLOOR ARE MUST NOT EXCEED 300m2 AND MUST NOT
HAVE A THIRD LEVEL HABITABLE ATTIC ROOM OR MEZZANINE
EXCEEDING 25m2
FLOOR -CONCRETE SLAB ON GROUND
EXTERNAL WALL -FRAMED ADDITIONAL INSULATION R-VALUE 3.20
(OR 2.6 INCLUDING CONSTRUCTION)
FLAT CEILING PITCHED ROOF - ADDITIONAL INSULATION R-VALUE
CEILING:5(UP) ROOF: FOIL/SARKING
UNVENTILATED; MEDIUM (SOLAR ABSORPTANCE0.475-0.70)
ACCEPTABLE
INSULATION INSTALLED IN ACCORDANCE WITH THE BCA PART
3.12.1.1

WINDOWS, GLAZED DOORS AND SKYLIGHTS
ALL WINDOWS AND DOORS SINGLE CLEAR ALUMINIUM OR BETTER IF
SELECTED.
SOUTHERN WINDOWS OVERSHADOWED BY HANGER

ENERGY COMMITMENTS

HOT WATER: ELECTRIC
COOLING SYSTEMS: AIR CON +CEILING FAN TO 1 LIVING AREA &
CEILING FANS TO BEDROOMS
WOOD HEATER AND AIR CON ACCEPTABLE TO LIVING AREA
BATHROOM NATURAL VENTILATION
KITCHEN TO HAVE INDIVIDUAL FAN DUCTED TO ROOF WITH MANUAL
ON/OFF SWITCH
LAUNDRY TO HAVE INDIVIDUAL FAN DUCTED TO ROOF WITH MANUAL
ON/OFF SWITCH
ARTIFICIAL LIGHTING: LED TO ALL AREAS HOWEVER IT IS NOT
REQUIRED TO BE DEDICATED LED.
GAS COOKTOP AND ELECTRIC OVEN
REFRIGERATOR SPACE TO BE WELL VENTILATED
OUTDOOR CLOTHES LINE

Client	P + S COLLETT	Site Address	3 MUSTANG ROAD (RYLSTONE AIR PARK) RYLSTONE NSW 2849	Plans drawn by Gicinta Browning		Chartered Member Number 1187-10
				Drawing	ENLARGED SITE PLAN	
				Date	04/08/22	
				LOT 11 DP270890	A.102/A	
<div><div><div>Habitat DESIGNS & DRAFTING</div><div>46 Market St * P O Box 826 Mudgee NSW 2850 * Ph 0428 254 037 ABN 61 989 364 458 gicinta@habitatdesigns.com.au</div></div><div><div>ddg ACCREDITED BUILDING DESIGNER</div></div></div>						



FLOOR PLAN

1:125

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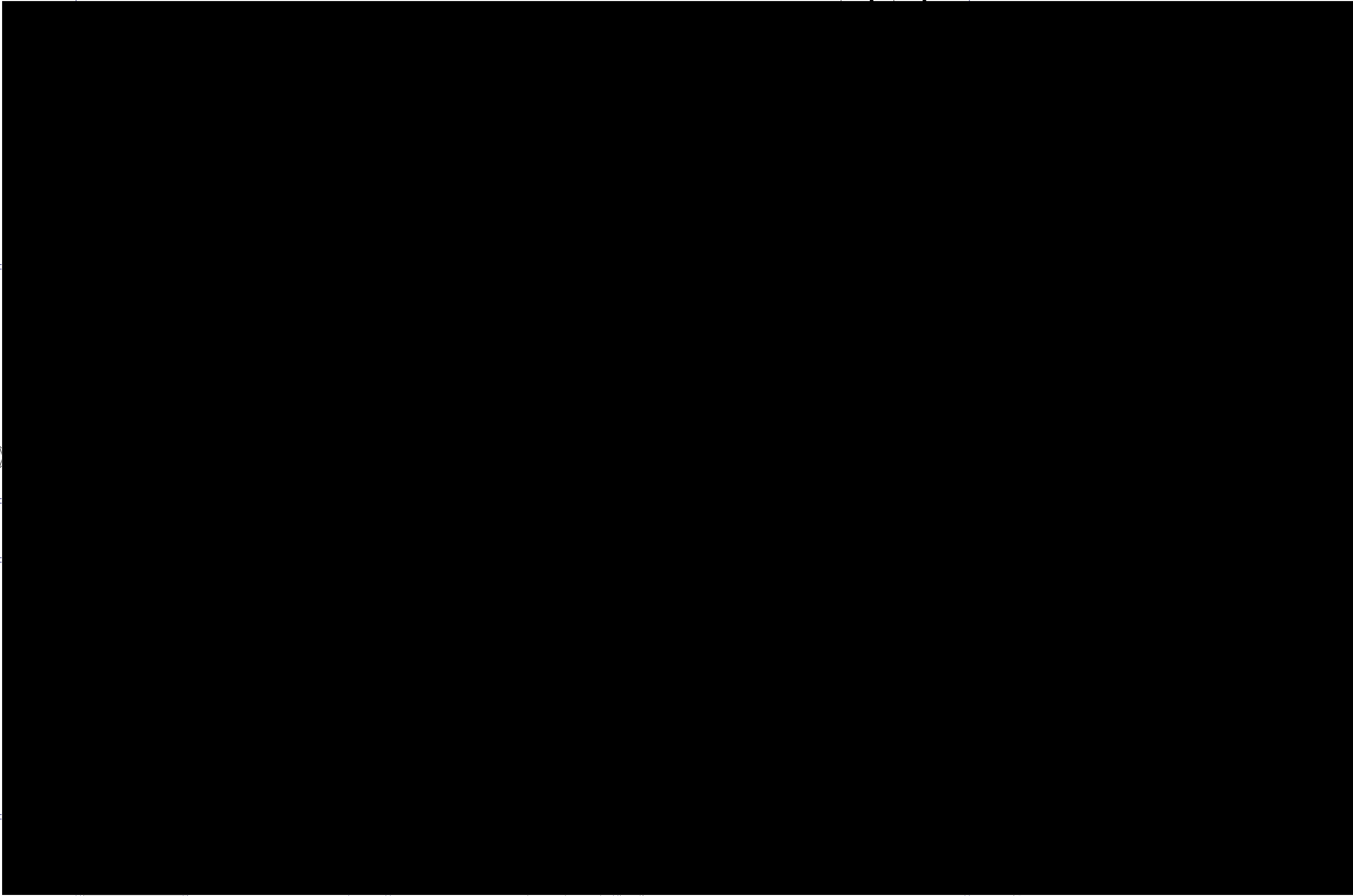
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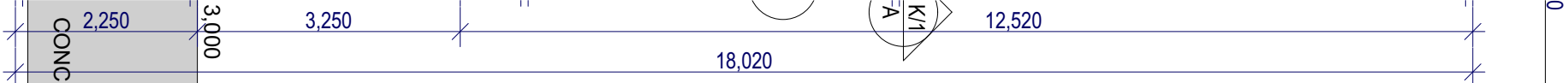
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Chartered Member
Number 1187-10

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Gicinta Browning

Client	P + S COLLETT	
	3 MUSTANG ROAD (RYLSTONE AIR PARK) RYLSTONE NSW 2849	
Site Address	Drawing	Sheet No.
LOT 11 DP270890	04/08/22	4
Date		Plan/Revision
04/08/22		A.105/A



KEY
ETE
ACCESS HATCH
ETE WITH OXIDE FINISH
T
IC TILE TO CEILING
SHER
AL TILE
EMENT SHEETING PAINT FINISH
WASTE
TER SERVICE
RBOARD PAINT FINISH
SE CYCLE AIR CONDITIONER
ATER TANK
ICAL METER BOARD
ALARM/DETECTOR
R
ROOF
FLOATING FLOOR
OOF
TLET
ST DUCTED -MANUAL SWITCH
NAL POWER OUTLET
FAN /HEATER



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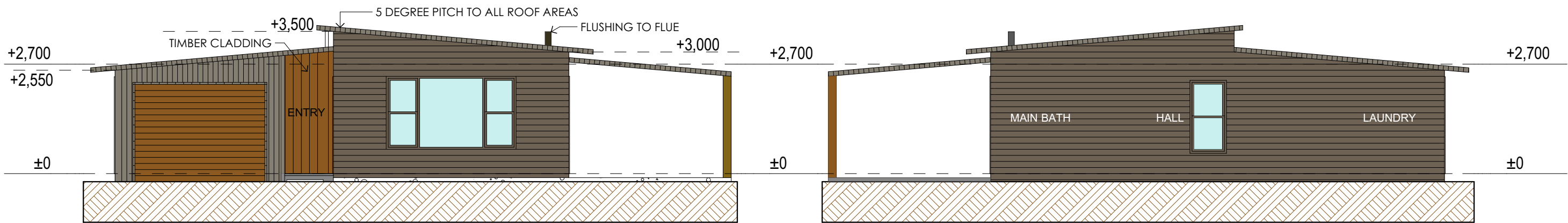


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	Site Address		Date	04/08/22	Sheet No.	5
		3 MUSTANG ROAD (RYLSTONE AIR PARK) RYLSTONE NSW 2849	LOT 11 DP270890	Plan/Revision		A.105.2/A

ELEVATIONS

1:100

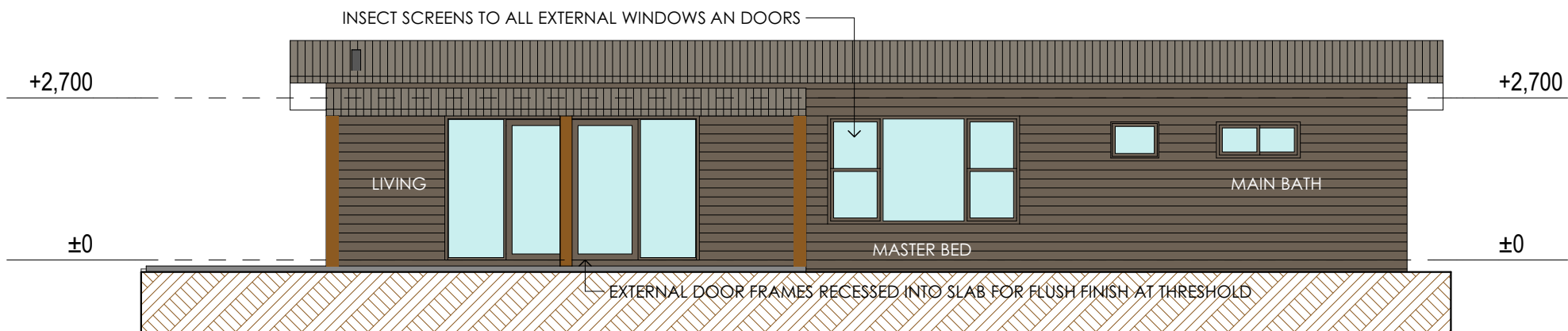


East

1:100

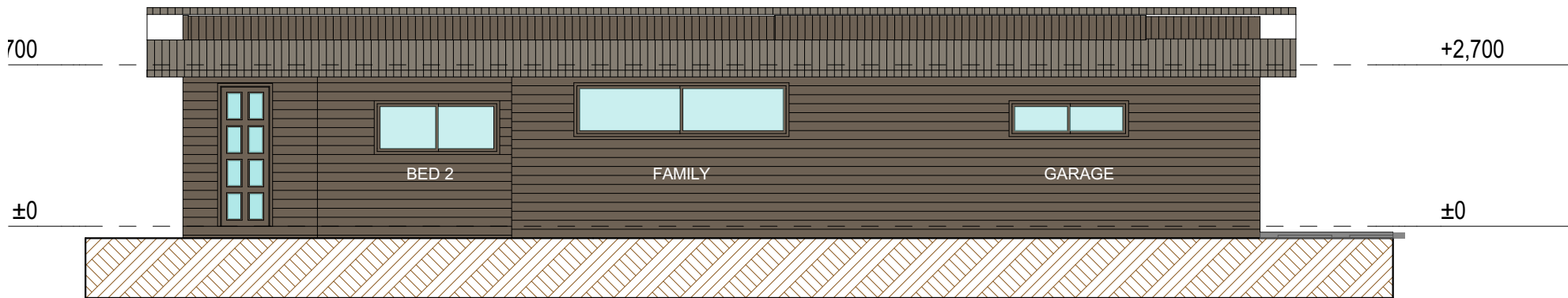
West

1:100



North

1:100



South

1:100

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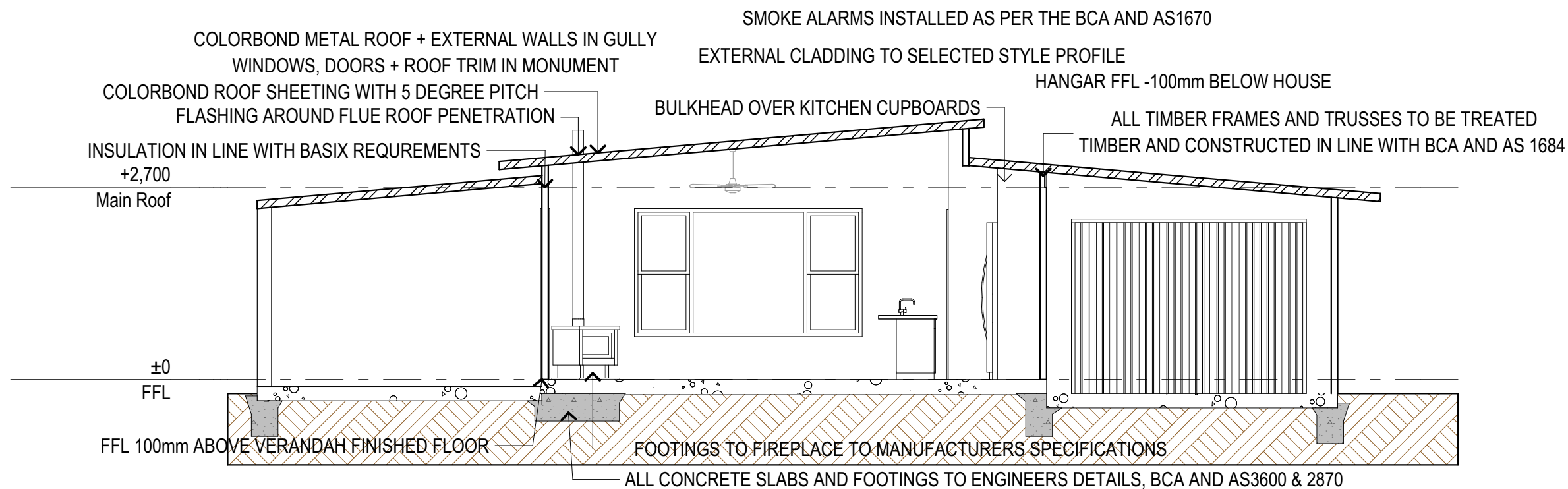
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1187-10

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Client	P + S COLLETT		Drawing		ELEVATIONS	
	Site Address 3 MUSTANG ROAD (RYLSTONE AIR PARK) RYLSTONE NSW 2849		Date	04/08/22	Sheet No.	6
			LOT 11 DP270890		Plan/Revision	A.201/A



SECTION A

1:70



BCA NOTES:

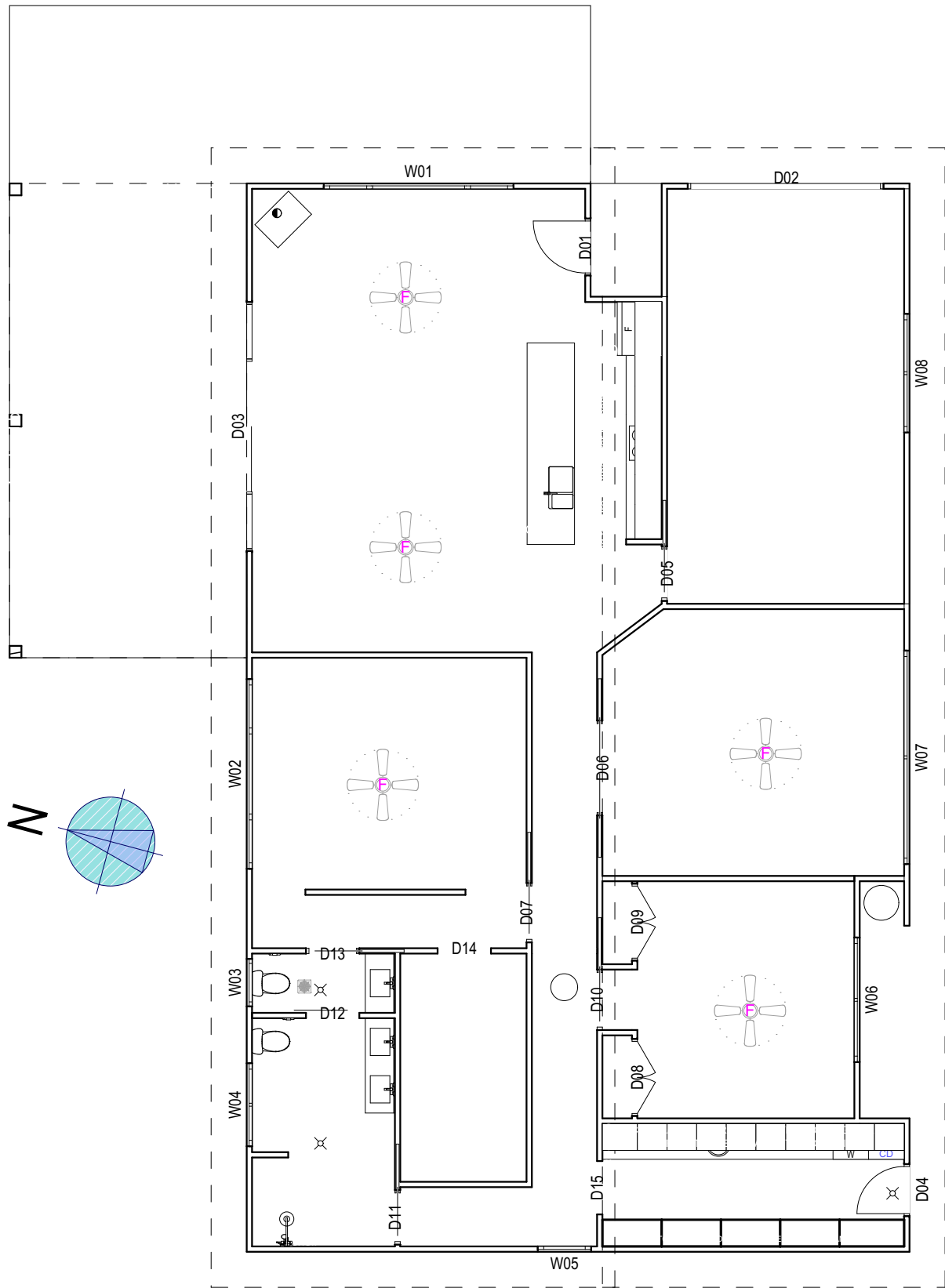
CLAUSE	REQUIREMENTS
B1.2	MATERIALS & FORMS OF CONSTRUCTION TO COMPLY WITH BCA B1.2
C1.12	NON COMBUSTIBLE MATERIALS TO COMPLY WITH BCA C.1.12
3.1.2	SITE DRAINAGE TO COMPLY WITH AS3500.3.2, AS3500.5 OR BCA3.1.2.1
3.1.3	TERMITE BARRIERS TO BE INSTALLED IN ACCORDANCE WITH AS3660.1
3.3.3	MASONRY ACCESSORIES TO COMPLY WITH AS3700 OR BCA 3.3.3
3.3.4	WEATHERPROOFING OF MASONRY TO COMPLY WITH AS3700 OR BCA 3.3.4
3.4.2	ANY STEEL FRAMING USED TO COMPLY WITH AS3623-1993, AS1170 & AS4600
3.5.1	ANY TIMBER FRAMING USED TO COMPLY WITH AS1684.2 & AS1684.4
3.5.2	WALL CLADDINGS & METAL ROOF CLADDINGS TO COMPLY WITH AS1562.1 OR BCA 3.5.2.1
3.5.2	GUTTERS AND DOWNPIPES TO COMPLY WITH AS3500.3.2 OR AS3500.5 OR BCA 3.5.2.1
3.5.3	WALL CLADDING TO COMPLY WITH BCA 3.5.3.2, 3.5.3.5 & 3.5.3.6
3.6	GLAZING TO COMPLY WITH AS2047, AS1248 & BCA 3.6
3.7.1.9	FIRE HAZARD PROPERTIES TO COMPLY WITH BCA 3.7.1.9
3.7.3.0	HEATING APPLIANCES TO COMPLY WITH STANDARDS SPECIFIED IN BCA 3.7.3.0
3.7.3.1	HEATING APPLIANCE INSTALLATION TO COMPLY WITH 3.7.3.1
3.7.3.5	FIREPLACE FLUE INSTALLATION TO COMPLY WITH 3.7.3.5
3.8.1	WET AREAS TO COMPLY WITH AS3470 BCA 3.8.1.1 & BCA F1.7
3.12.1.1	THERMAL INSULATION TO COMPLY WITH BCA3.12.1
3.12.2	GLAZING TO COMPLY WITH THE PROVISIONS OF THE BASIX CERTIFICATE
3.12.3	BUILDING SEALING TO BE IN ACCORDANCE WITH BCA 3.12.3
3.12.3.1	BUILDING SEALING TO BE IN ACCORDANCE WITH BCA 3.12.3.0-5
3.12.4	AIR MOVEMENT TO COMPLY WITH THE PROVISIONS OF THE BASIX CERTIFICATE
3.12.5	BUILDING SERVICES TO COMPLY WITH BCA 3.12.5 INCLUDING 3.12.5.0-3
F1.6	SARKING TO COMPLY WITH AS4200 PARTS 1 & 2
F1.9	DAMP PROOFING FLOORS TO COMPLY WITH AS2870
F2.5	SANITARY COMPARTMENT DOORS TO COMPLY WITH BCA F2.5

DESIGN NOTES

STEEL CLADDING TO EXTERNAL WALLS WITH INSULATION IN WALL CAVITIES AND BUILDING WRAP
 WALL HUNG VANITIES WITH WALL MOUNTED TAPS TO ALL BATHROOMS, ENSUITES AND WET AREAS
 MIRRORS OVER ALL VANITIES AND LIGHTING ABOVE
 RECESSED SHELVES OR FULL LENGTH 1.2m HIGH WALL WHERE SHOWN IN ALL SHOWER AREAS
 ALL INTERNAL DOORS 2340mm OR AS SELECTED

NON-SLIP FINISH TO ALL WET AREAS + EXTERNAL CONCRETE AREAS
 JOINERY TO CLIENTS SELECTION IN STUDY AND WARDROBES
 ALL FLOORING TO FALL IN WET AREAS TO DRAINS
 EXTERNAL SLABS AND HARD SURFACES TO FALL AWAY FROM RESIDENCE TO ALLOW FOR RUNOFF AWAY FROM BUILDING

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			Site Address 3 MUSTANG ROAD (RYLSTONE AIR PARK) RYLSTONE NSW 2849	Drawing SECTIONS	Sheet No. 7
			Plan/Revision A301/A		
Date 04/08/22		LOT 11 DP270890			



Window List								
ID	W01	W02	W03	W04	W05	W06	W07	W08
Height	1,800	1,800	600	600	1,800	900	900	600
Width	3,200	3,200	800	1,400	900	2,100	3,600	2,000
Surface Area	5.76	5.76	0.48	0.84	1.62	1.89	3.24	1.20

Door Schedule		
ID	Height	Width
D01	2,340	900
D02	2,400	3,200
D03	2,340	2,200
D04	2,340	820
D05	2,340	820
D06	2,340	1,500
D07	2,340	900
D08	2,340	1,240
D09	2,340	1,240
D10	2,340	920
D11	2,340	820
D12	2,040	900
D13	2,040	800
D14	2,040	900
D15	2,340	900

ROOM SCHEDULE		ROOM SCHEDULE	
Room Name	Measured Area	Room Name	Measured Area
ENTRY	2.29	LAUNDRY	10.54
BED 2	17.00	MAIN BATH	9.28
FAMILY	22.51	MASTER BED	22.69
GARAGE	28.00	VERANDAH	32.00
HALLWAYS	13.39	WC	2.41
KITCHEN/LIVING	51.13	WIR	8.18

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Plans drawn by
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Client	P + S COLLETT		Drawing		WINDOW + DOOR SCHEDULES	
	Site Address	3 MUSTANG ROAD (RYLSTONE AIR PARK) RYLSTONE NSW 2849	Date	04/08/22	Sheet No.	8
			LOT 11 DP270890		Plan/Revision	A.601/A



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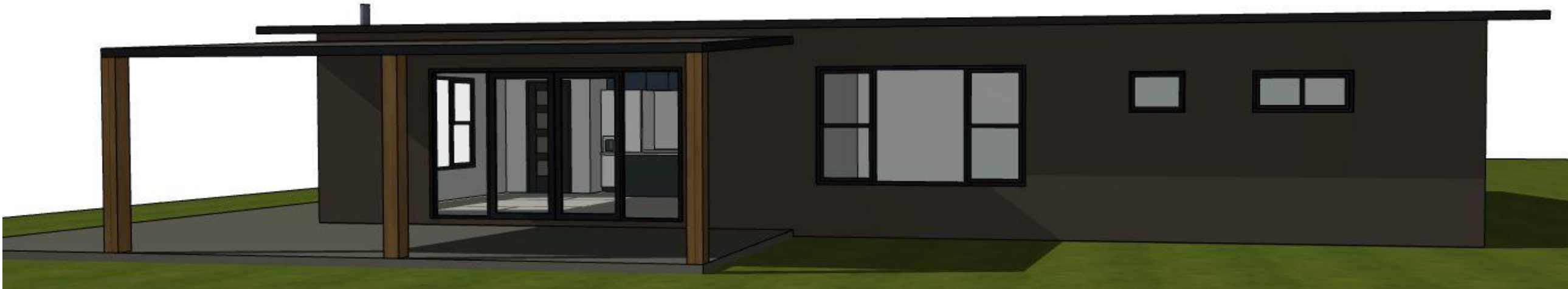
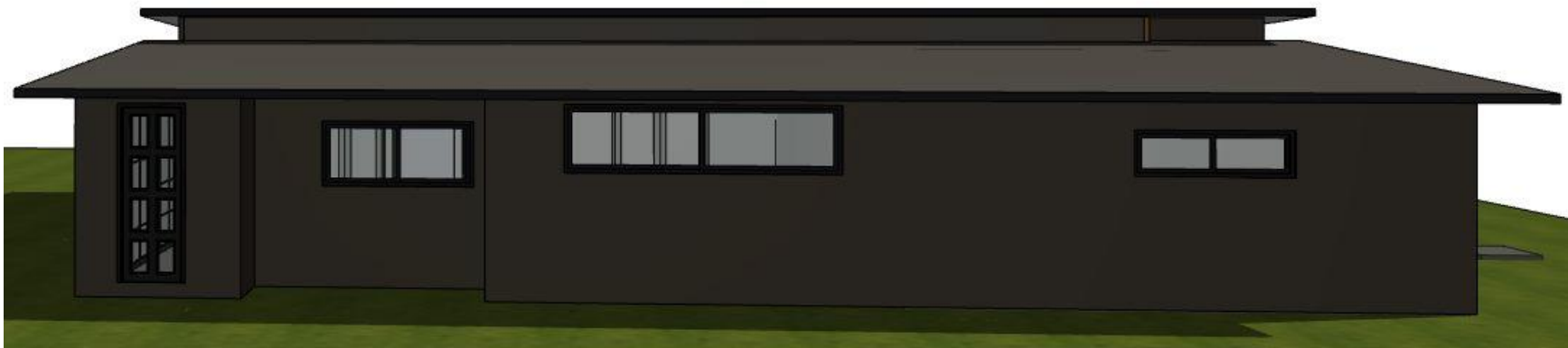


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LOT 11 DP270890	Plan/Revision A.113/A
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3D VIEWS



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	Site Address	3 MUSTANG ROAD (RYLSTONE AIR PARK) RYLSTONE NSW 2849	Date	04/08/22	Sheet No.	11
			LOT 11 DP270890		Plan/Revision	A.203/A