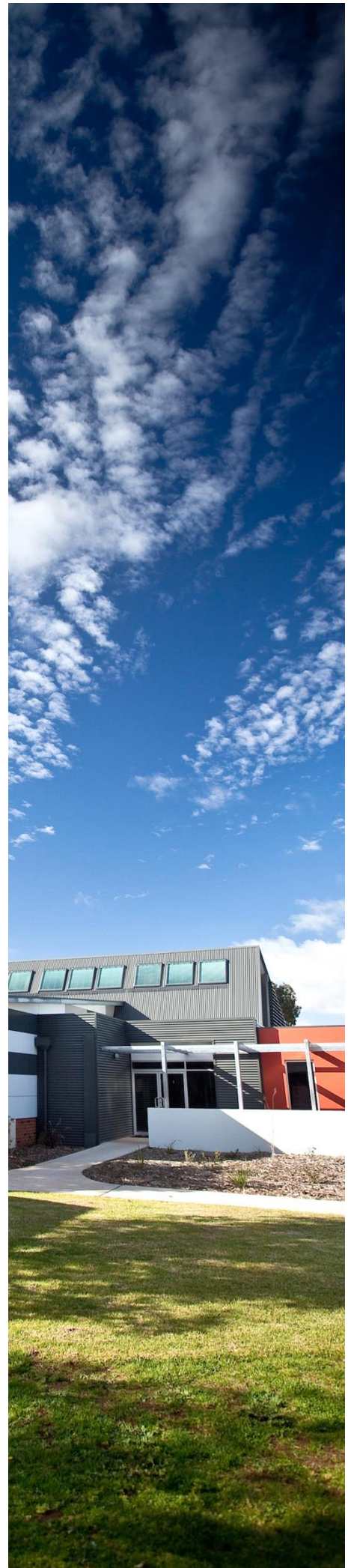




Statement of Environmental Effects

Eco-Tourist Facility
1141 Crudine Road
Crudine, NSW 2795


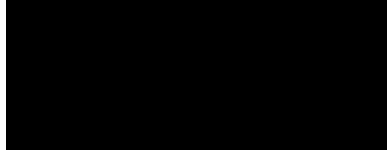
(Our Reference: 38794-PR01_B)
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Report Title:	Statement of Environmental Effects
Project Name:	Eco-Tourist Facility at 1141 Crudine Road, Crudine
Client:	Rashiru Totamuna
Project No.	38794
Report Reference	38794-PR01_B
Date:	27/07/2022
Revision:	Final

Prepared by:	Reviewed by:
	
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1 INTRODUCTION

1.1 Background

Barnson Pty Ltd has been engaged by Rashi Totamuna to prepare information in support of a Development Application (DA) for an eco-tourist facility at 1141 Crudine Road, Crudine NSW 2795.

The subject site is located approximately 40km south of Mudgee and has an area of approximately 64 hectares. The site is currently vacant land with established grasslands, scattered trees throughout the property and two existing dams.

The project will consist of the erection/positioning of three (3) semi-permanent glamping (upscaled camping) tents to be used as temporary accommodation and construction of a managers residence. The development is defined as an eco-tourist facility. The tents shall be serviced by gravity fed septic systems, solar panel electricity, water tanks for collections and reuse, and suitable access. The managers residence shall have the same infrastructure support, with the exception of connection to the electricity network.

The site is zoned RU1 Primary Production pursuant to the provisions under the *Mid-Western Regional Local Environmental Plan 2012*. The proposed development is defined as an 'eco-tourist facility', which is permissible with consent in the RU1 zone.

This application consists of:

- NSW Planning Portal DA submission forms; and
- PDF copy of this written statement, including plans and supporting documents.

1.2 Proponent

The proponent for the DA is Rashiru Totamuna.

1.3 Consultant

Barnson Pty Ltd

Jack Massey

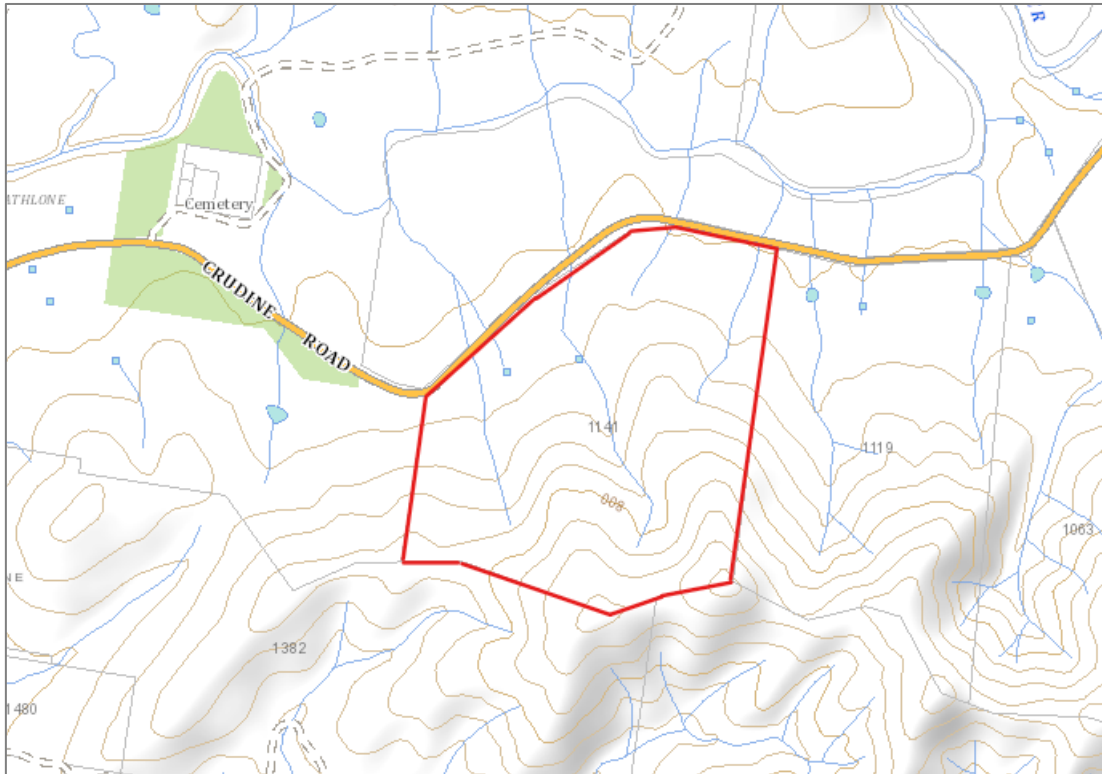
Unit 4 / 108-110 Market St

Mudgee NSW 2850

2 EXISTING ENVIRONMENT

2.1 Location and Title

The subject site of this application is Lot 1 DP 1241440, known as 1141 Crudine Road, Crudine. The site is located on the southern side of Crudine Road approximately 600m east of Crudine Cemetery as shown in **Figure 1** below.



Source: (NSW Government Spatial Services, 2022)

Figure 1 – Site Location

The site has an overall area of approximately 64 hectares (refer to Deposited Plan in **Appendix A** of this report) with direct frontage to Crudine Road.

The subject site contains grassland vegetation with scattered trees throughout the property as well as two existing dams. Refer to **Figure 2** for an aerial image of the site/locality and **Plates 1-*** for photos of the property and proposed sites for the development.



Source: (NSW Government Spatial Services, 2022)

Figure 2 – Site Aerial

2.2 Land Use

The subject site is located in a rural locality which is characterised by rural activities, scattered residential activities, some grazing/cropping in some surrounding sites. The site and general locality has high ecological and natural landscape characteristics.

2.3 Topography

The site contains varied topography throughout. From the entrance of the property, the site has a gradual upward slope, with the majority of the site sloping to that direction. There are undulations throughout the site, consistent with land situated on the side of a hill.

2.4 Flora and Fauna

The site is improved with scattered vegetation, including established trees, shrubs and grasslands. A species list obtained off the Bionet has been provided in **Appendix B** of this report. A summary of the dominant and endangered/protected flora and fauna species located on the site and general locality is provided in **Table 1** below.

Table 1 – Species on the property

Animal Species	Plant Species
Varied Sittella (V, P)	Small Purple-Pea (E1)
Scarlett Robin (V, P)	Acacia Meiantha (E1)
Koala (E1)	Eriochilus Petricola (P)
Brushtail Possum (P)	Microtis spp. (P)
Eastern Kangaroo (P)	Common Onion Orchid (P)
	White Box
	Blakley's Red Gum
	Red Stringybark
	Yellow Box

V = Vulnerable P = Protected E1 = Endangered

2.5 Noise Environment

The site is located within a rural area, characterised by scattered dwellings and agricultural activities. The largest noise influence in the locality would be from the minimal traffic experienced from Crudine Road, which is consistent with normal traffic levels along local rural roadways.

2.6 Natural Hazards

2.6.1 Flooding

The subject site is not mapped by the *Mid-Western Regional Local Environmental Plan 2012* or according to ePlanning Spatial Viewer as being subject to flooding.

2.6.2 Bush Fire

The subject site is mapped as Bush Fire Prone Land according to ePlanning Spatial Viewer.



Source: (NSW Government Spatial Services, 2022)

Figure 3 - Bushfire Mapping ePlanning Spatial Viewer

2.7 Visual Amenity

The subject land is located in a rural locality with no immediate neighbours. The undulating hills and vegetation afforded to the site and locality provide effective screening for properties in the locality.

2.8 Services

There are no services located on the property other than two dams located on the site.

2.9 Access and Traffic

The subject land is accessed via the South side of Crudine Road, an existing gravel/dirt road. There are existing internal roads that allow manoeuvrability throughout the site.

2.10 Heritage

The site is not identified as containing any heritage listed item under the NSW State Heritage Register of Schedule 5 of the *Wellington Local Environmental Plan 2012*. The Aboriginal Information Management System (AHIMS) was undertaken for the site and its immediate surrounds, and revealed no Aboriginal sites or significance recorded within 1km of the subject site. Refer to the AHIMS report in **Appendix C** of this report.

3 PROPOSED DEVELOPMENT

The proposed development is for the erection/siting of three (3) semi-permanent 'glamping' (upscaled camping) tents to be used as temporary accommodation for an eco-tourist facility and the construction of an associated managers residence on Lot 1 DP 1241440, known as 1141 Crudine Road, Crudine.

The eco-tourist facility provides a unique immersive experience with rolling hills, beautiful views and a sense of remoteness while enjoying comfort afforded by the upscaled glamping tents. It is the focus of Mid-Western LGA tourism to provide a variety of compelling tourism experiences and accommodation options, of which this proposed development aligns with this objective and contributes to competitive, diverse and attractive accommodation options in the locality.

The proposed development shall be established on a site that is afforded with significant ecological presence and significance. There are extensive varieties of flora and fauna located on the site (refer to species list provided in **Appendix B** of this report) some of which are endangered and protected. In this regard, the development intends to provide special tourist accommodation that will utilise the ecological presence of the site and locality. The predominant principles of the proposed development and its ongoing operations will be to ensure that the ecological presence of the site/locality is retained and preserved, whilst allowing tourists to explore and admire the natural landscape of the site and the wider region around the subject site.

The proposed development includes the following main attributes:

- Glamping Tents:
 - o Minimal installation processes other than the erection and construction of the glamping (upscaled camping) tents, internal fit out and minor fixtures and fittings;
 - o The tents are constructed with a proprietary polycarbonate dome structure erected on a timber structure connected to a kitchen area made of steel or timber posts, colorbond gutters, fascia and slat screening post and custom orb wall cladding erected on a concrete slab;
 - o The tents will comprise of an open living and sleeping area with a connecting ensuite and a separate kitchen area as well as a seating/dining area;
 - o The units shall be serviced by gravity fed septic systems, solar panel electricity, water tanks for collection and reuse, suitable road access;
 - o The tents shall be self-contained and include all relevant essential services and facilities for tourists and visitors;
 - o The tents shall be regularly serviced and will be cleaned/prepared intermediately depending on the length and stay by tourists and visitors;
 - o The tents shall be provided with linen, towels and associated necessities for accommodation purposes;

- The immediate vicinity of the buildings shall be provided with lawns and gardens that shall be managed/services weekly and where required; and
- All serving (above) shall be organised by the owners of the business.
- Managers Residence
 - Constructed on concrete slab and footings;
 - Constructed with steel wall framing and posts, boxed steel rafters, corrugated roof sheeting and TH40 roof battens, colorbond gutter and fascia, aluminium framed sliding doors and windows and horizontal cladding;
 - Building will comprise of three (3) bedrooms of which one is afforded a walk-in robe and ensuite, a bathroom with separate toilet, laundry, kitchen and open lounge/dining area;
 - A 60,000L rainwater tank (20,000L of which to be retained for firefighting purposes) will be provided on site for stormwater collection and reuse with reticulated gas and sewerage as well as electricity and telecommunications infrastructure afforded to the caretakers residence.

Refer to Development Plans provided in **Appendix D** and BASIX Certificate in **Appendix E** of this report.

4 LAND USE ZONING

The subject site is zoned RU1 Primary Production pursuant to *Mid-Western Regional Local Environmental Plan 2012* (LEP). The proposed development is for an 'eco-tourist facility', which is permissible with consent in the RU1 zone. It is considered that the proposed development is consistent with the eco-tourist facility definition, as follows:

eco-tourist facility means a building or place that—

- (a) provides temporary or short-term accommodation to visitors on a commercial basis, and
- (b) is located in or adjacent to an area with special ecological or cultural features, and
- (c) is sensitively designed and located so as to minimise bulk, scale and overall physical footprint and any ecological or visual impact.

It may include facilities that are used to provide information or education to visitors and to exhibit or display items.

Note—

See clause 5.13 for requirements in relation to the granting of development consent for eco-tourist facilities.

Eco-tourist facilities are not a type of tourist and visitor accommodation—see the definition of that term in this Dictionary.

The proposed development has minimal impact on the ecological and environmental value of the area, and instead aims to conserve and promote these values by providing a unique accommodation experience in the natural landscape.

The permissibility of the proposed development is assessed in terms of the heads of consideration in Section 4.15 of the *Environmental Planning & Assessment Act 1979*, which incorporates consideration of the LEP and the objectives and permissible uses outlined in the RU1 zone, as outlined in **Section 5** of this report.

5 PLANNING CONSIDERATIONS

5.1 Local Government Act 1993

5.1.1 Section 68 - Part A Structures or places of public entertainment

It is noted that the proposed 'glamping tents' would be considered as 'moveable dwellings', which are defined under the Local Government Act, as follows:

moveable dwelling means:

- (a) any tent, or any caravan or other van or other portable device (whether on wheels or not), used for human habitation, or
- (b) a manufactured home, or
- (c) any conveyance, structure or thing of a class or description prescribed by the regulations for the purposes of this definition.

Comment: Section 68 approvals for the proposed glamping tents are required following the approval of the development application. It is considered that the proposed structures are consistent with the above definition and fall within *Part A Structures of places of public entertainment*, of Section 68 of the *Local Government Act 1993*.

Separate Section 68 applications shall be lodged in accordance with the provisions under the *Local Government Act 1993* and *Local Government (Manufactured Home Estates, Caravan Parks, Camping Grounds and Moveable Dwellings) Regulation 2005*. Details for compliance with the requirements under Division 4 of the above Regulation shall be provided as part of the Section 68 applications.

5.1.2 Section 68 - Part B Water supply, sewerage and stormwater drainage work

Prior to the commencement of works, the developer shall seek approvals for the installation of On-Site Sewer Management (OSSM) systems in accordance with Section 68 of the *Local Government Act 1993*.

Details for the proposed systems and disposal areas shall be submitted as part of the Section 68 applications.

5.2 Biodiversity Conservation Act 2016

5.2.1 Is the development likely to significantly affect threatened species?

Clause 7.2 of the *Biodiversity Conservation Act 2016* (BC Act) identifies the following circumstances where a development is likely to significantly affect threatened species:

- (a) *it is likely to significantly affect threatened species or ecological communities, or their habitats, according to the test in section 7.3, or*
- (b) *the development exceeds the biodiversity offsets scheme threshold if the biodiversity offsets scheme applies to the impacts of the development on biodiversity values, or*
- (c) *it is carried out in a declared area of outstanding biodiversity value.*

Each of these is addressed below.

5.2.1.1 Section 7.3 Test

To determine whether a development is likely to significantly affect threatened species or ecological communities, or their habitats, the following is to be taken into account in accordance with Section 7.3 of the BC Act:

- (a) *in the case of a threatened species, whether the proposed development or activity is likely to have an adverse effect on the life cycle of the species such that a viable local population of the species is likely to be placed at risk of extinction,*
- (b) *in the case of an endangered ecological community or critically endangered ecological community, whether the proposed development or activity:*
 - (i) *is likely to have an adverse effect on the extent of the ecological community such that its local occurrence is likely to be placed at risk of extinction, or*
 - (ii) *is likely to substantially and adversely modify the composition of the ecological community such that its local occurrence is likely to be placed at risk of extinction,*
- (c) *in relation to the habitat of a threatened species or ecological community:*
 - (i) *the extent to which habitat is likely to be removed or modified as a result of the proposed development or activity, and*
 - (ii) *whether an area of habitat is likely to become fragmented or isolated from other areas of habitat as a result of the proposed development or activity, and*
 - (iii) *the importance of the habitat to be removed, modified, fragmented or isolated to the long-term survival of the species or ecological community in the locality,*
- (d) *whether the proposed development or activity is likely to have an adverse effect on any declared area of outstanding biodiversity value (either directly or indirectly),*
- (e) *whether the proposed development or activity is or is part of a key threatening process or is likely to increase the impact of a key threatening process.*

Comment: The proposed development consists of semi-temporary tents of which require minimal development activity making it highly unlikely to significantly effect any ecological communities or their habitats. The proposed development does not significantly modify the composition of the local environment and habitats and does not fragment or isolate any ecological environments.

Therefore, the proposed development is not likely to significantly affect threatened species or ecological communities, or their habitats.

5.2.1.2 Section 7.4 Test

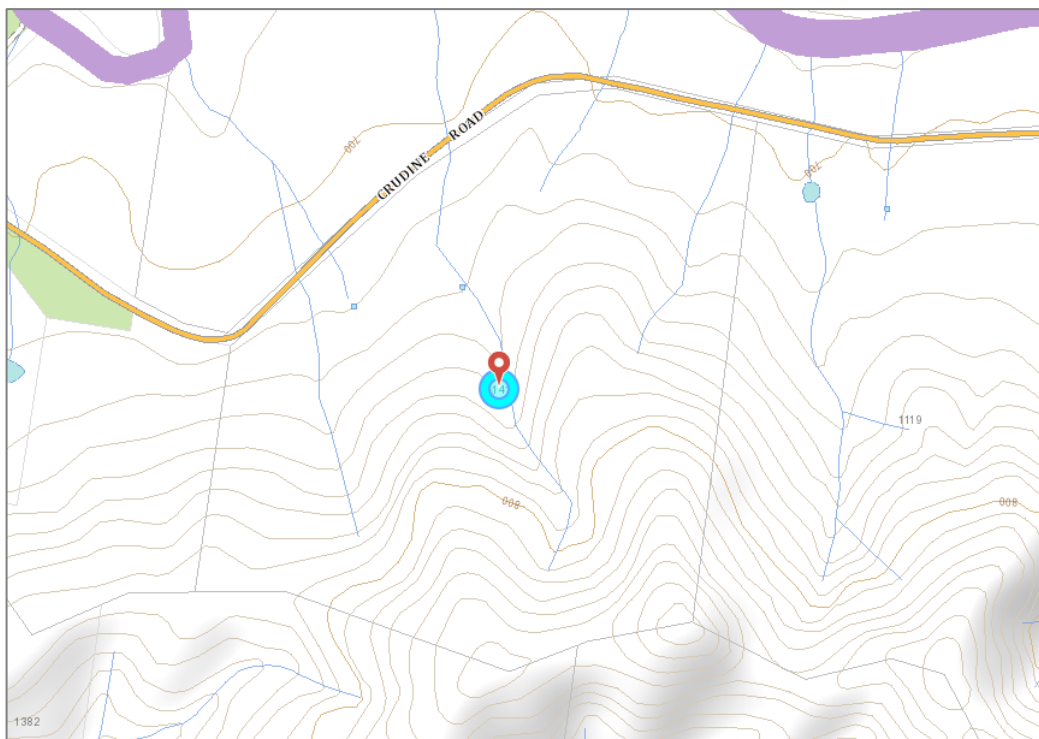
Section 7.4 of the BC Act states:

- (1) *Proposed development exceeds the biodiversity offsets scheme threshold for the purposes of this Part if it is development of an extent or kind that the regulations declare to be development that exceeds the threshold.*
- (2) *In determining whether proposed development exceeds the biodiversity offsets threshold for the purposes of this Part, any part of the proposed development that involves the clearing of native vegetation on category 1-exempt land (within the meaning of Part 5A of the Local Land Services Act 2013) is to be disregarded.*

Comment: A Biodiversity Values Map (BMAT) Report was conducted for the subject site which revealed the site area does not trigger a BDAR. The proposed development does not exceed the biodiversity offsets threshold for the purposes of this part

5.2.1.3 Declared Area of Outstanding Biodiversity Value

The site is not mapped on the Biodiversity Value Map as being land with a high biodiversity value as defined by the BC Act.



Source: (NSW Government, 2022)

Figure 4 – Biodiversity Value Map

5.2.2 Biodiversity Development Assessment Report

As outlined in **Section 5.2**, the proposed development is not likely to significantly affect threatened species as defined by Section 7.2 of the BC Act. Therefore, a Biodiversity Development Assessment Report is not required to accompany the application for development consent.

5.3 Environmental Planning & Assessment Act 1979

5.3.1 Application of Biodiversity Conservation Act 2016 & Fisheries Management Act 1994

Section 1.7 of the *Environmental Planning & Assessment Act 1979* (EP&A Act) identifies that Part 7 of the BC Act relates to the operation of the EP&A Act in relation to the terrestrial environment. This Act is addressed in **Section** Error! Reference source not found. of this report.

5.3.2 Development on Bush Fire Prone Land

Section 4.14 of the EP&A Act requires that Development Consent cannot be granted for the carrying out of development (other than subdivision and SFPP development) on bush fire prone land unless the consent authority:

- (a) *is satisfied that the development conforms to the specifications and requirements of the version (as prescribed by the regulations) of the document entitled Planning for Bush Fire Protection prepared by the NSW Rural Fire Service in co-operation with the Department (or, if another document is prescribed by the regulations for the purposes of this paragraph, that document) that are relevant to the development (the relevant specifications and requirements), or*
- (b) *has been provided with a certificate by a person who is recognised by the NSW Rural Fire Service as a qualified consultant in bush fire risk assessment stating that the development conforms to the relevant specifications and requirements.*

The subject site is identified as being bush fire prone on ePlanning Spatial Viewer. A Bush Fire Assessment Report has been prepared for the development and is provided in **Appendix F**. The report demonstrates the development is provided with appropriate protection from a bushfire in accordance with the RFS' *Planning for Bush Fire Protection Guidelines* (NSW Rural Fire Service, 2006).

5.3.3 Evaluation

Section 4.15 of the EP&A Act (as amended) requires the Council to consider various matters in regard to the determination of the Development Application.

In determining a development application, a consent authority is to take into consideration such of the following matters as are of relevance to the development the subject of the development application:

- (a) *The provisions of:*
- (i) *any environmental planning instrument, and*
 - (ii) *any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Secretary has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved), and*
 - (iii) *any development control plan, and*
 - (iiia) *any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4, and*
 - (v) *the regulations (to the extent that they prescribe matters for the purposes of this paragraph), and*
 - (v) *any coastal zone management plan (within the meaning of the Coastal Protection Act 1979), that apply to the land to which the development application relates,*
- (b) *The likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality;*
- (c) *The suitability of the site for the development,*
- (d) *Any submissions made in accordance with this act or the regulations,*
- (e) *The public interest.*

The proposed development has been designed with consideration to the following matters, as outlined below.

5.3.4 Integrated Development

Development that requires both development consent and another approval listed under Section 4.46 of the EP&A Act is 'Integrated Development'. The proposed development is considered integrated development as follows:

- Authorisation under Section 100B of the *Rural Fires Act 1997* (RF Act) for the development of land for a special fire protection purpose. Refer to Bush Fire Assessment Report in **Appendix F** of this report.

5.4 Environmental Planning Instruments

5.4.1 SEPP (Biodiversity and Conservation) 2021

Whilst the subject site is located within the Mid-Western Regional LGA, it is not considered to comprise potential koala habitat as defined by *State Environmental Planning Policy (Koala Habitat Protection) 2020*. The proposed development does not include significant clearing of vegetation or erection/construction of any buildings or structures. The proposed development does not significantly impact negatively upon any local foreshore or watercourse. Therefore SEPP (Biodiversity and Conservation) 2021 does not require any further consideration.

5.4.2 SEPP (Resilience and Hazards) 2021

Clause 4.6 of *State Environmental Planning Policy (Resilience and Hazards)* requires Council to consider the following before granting consent to a DA:

- (a) *it has considered whether the land is contaminated, and*
- (b) *if the land is contaminated, it is satisfied that the land is suitable in its contaminated state (or will be suitable, after remediation) for the purpose for which the development is proposed to be carried out, and*
- (c) *if the land requires remediation to be made suitable for the purpose for which the development is proposed to be carried out, it is satisfied that the land will be remediated before the land is used for that purpose.*

Comment: There are no known historical contaminating activities or land uses that have been historically carried out on the subject site or within proximity. Therefore, no further consideration of this SEPP is required and it is assumed that the site is suitable for the proposed subdivision and residential future land use. SEPP (Transport and Infrastructure) 2021

5.4.3 Mid-Western Regional Local Environmental Plan 2012

5.4.3.1 Land Use Table

The subject site is zoned RU1 Primary Production pursuant to *Mid-Western Regional Local Environmental Plan 2012* (LEP). The objectives of the RU1 zone are:

- *To encourage sustainable primary industry production by maintaining and enhancing the natural resource base.*
- *To encourage diversity in primary industry enterprises and systems appropriate for the area.*
- *To minimise the fragmentation and alienation of resource lands.*
- *To minimise conflict between land uses within this zone and land uses within adjoining zones.*
- *To maintain the visual amenity and landscape quality of Mid-Western Regional by preserving the area's open rural landscapes and environmental and cultural heritage values.*
- *To promote the unique rural character of Mid-Western Regional and facilitate a variety of tourist land uses.*

Comment: The proposed development is defined as 'eco-tourist facility', which is considered to be consistent with the zone objectives as it provides for a tourism-related use that supports and is compatible with agricultural uses. It is permissible with consent in the RU1 zone.

5.4.3.2 Eco-tourist facilities

Clause 5.13 'Eco-tourist facilities' states that Council must be satisfied that:

- (a) *there is a demonstrated connection between the development and the ecological, environmental and cultural values of the site or area, and*

Comment: The ecological presence of the subject site is provided in **Table 1** and in **Appendix B** of this report. The locality contains significant ecological value through the presence of diverse established vegetation and numerous animal habitat. **Figure 4** below shows that there are expanses of vegetated areas located throughout the subject site, generally consisting of scattered established trees and grasslands. These vegetated areas and scattered tracts of vegetation throughout the site serve as habitat for local flora and fauna.



Figure 4 – Aerial view of vegetation located on the site

The intent of the proposed development is to provide tourist accommodation in an area that has significant ecological value and presence. The accommodation will rely on the presence of this significant flora and fauna on the site to provide a unique accommodation experience for travellers and visitors staying within the Mid-Western region. No vegetation (other than managed grasslands) will be removed from the development sites and the flora on the site shall be protected and retained to ensure that the intent of the proposed development and its operations is implemented. The connection between the accommodation and the ecological, environmental and cultural values of the site and its locality are essential for the viability of the business by providing accommodation in a unique location, promoting the Australian natural landscape.

(b) the development will be located, constructed, managed and maintained so as to minimise any impact on, and to conserve, the natural environment, and

Comment: The proposed development intends to utilise the natural landscape by providing a unique accommodation experience for Crudine. There shall be minimal vegetation removed other than managed grasslands. All flora and fauna on the site shall be protected and retained during the construction and ongoing operations of the proposed development.

(c) the development will enhance an appreciation of the environmental and cultural values of the site or area, and

Comment: The intent of the proposed development is to conserve and promote these values by way of providing accommodation that provides a unique experience in the natural landscape. The accommodation encourages tourists to appreciate the environmental value of the site, its cultural and historical significance and value through its setting and character reflecting the local flora, fauna, topography, and environment and how they interact with one another.

(d) the development will promote positive environmental outcomes and any impact on watercourses, soil quality, heritage and native flora and fauna will be minimal, and

Comment: The proposed development not only has minimal impact on the ecological and environmental value of the area, but also aims to conserve and promote these values as mentioned above. There is very limited vegetation removal proposed other than managed grasslands on the development sites. There are no significantly impacted watercourses and soil quality would not change. Any items of heritage significance discovered will be reported to the relevant authorities. It is anticipated that the proposed development would have minimal impact on flora and fauna on the site and surrounding area.

(e) the site will be maintained (or regenerated where necessary) to ensure the continued protection of natural resources and enhancement of the natural environment, and

Comment: Property maintenance shall be undertaken as part of the future businesses' general operations. The natural environment will be one of the main attractions for the development. In this regard, preserving the natural landscape is a necessity and will continually be monitored throughout the life of the development.

(f) waste generation during construction and operation will be avoided and that any waste will be appropriately removed, and

Comment: The glamping tents are primarily constructed off-site and only incur minimal installation on-site, such as the internal fit out, completion of final fixtures and fittings and installation of associated services (solar, water tank and onsite sewer management). Any waste produced on the site will be appropriately managed and transferred to the nearest council landfill facility. Ongoing waste is generally consistent with domestic waste, and each structure will be improved with suitable waste management mechanisms.

(g) the development will be located to avoid visibility above ridgelines and against escarpments and from watercourses and that any visual intrusion will be minimised through the choice of design, colours, materials and landscaping with local native flora, and

Comment: The proposed eco structures have been strategically placed in order to avoid projection above ridgelines and ensure that neighbouring properties have minimal line of sight once they are constructed. Visual intrusion has been considered both for neighbouring properties and potential future eco structures. The design of the eco structures are natural coloured, minimal in bulk and scale and located in order to blend into surrounding environments. The experience of the guests having a private space and immersed in the natural environment without exposure to surrounding neighbours is also a significant aspect for attraction of the proposed development.

(h) any infrastructure services to the site will be provided without significant modification to the environment, and

Comment: Infrastructure for each structure includes; rainwater tank for collection and reuse, gravity fed on-site sewerage management system, and solar panel electricity. This infrastructure shall be eco-friendly, containing high energy efficient systems. The on-site sewerage management systems shall be subject to separate Section 68 applications. In this regard, it is considered that the infrastructure associated with the developments would not impact on the environment.

(i) any power and water to the site will, where possible, be provided through the use of passive heating and cooling, renewable energy sources and water efficient design, and

Comment: Solar energy electricity shall be provided to each structure. The solar systems shall support minimal electricity use as windows and expansive sliding doors will provide passive heating and cooling. Each structure will be connected to a rainwater tank for collection and reuse.

(j) the development will not adversely affect the agricultural productivity of adjoining land, and

Comment: The locality consists of varied topography and scattered vegetation throughout. There are scattered residential dwellings and primary production operations. The area does not contain high agricultural value as the land is difficult for productive farming operations and the varied topography and hilly environment make it hard for land management. In this regard, it is considered that the site is best used for tourist accommodation, providing accommodation in a special ecological area. The development would not affect any significant agricultural productivity in the area as these type of land uses are not present.

(k) the following matters are addressed or provided for in a management strategy for minimising any impact on the natural environment—

- (i) measures to remove any threat of serious or irreversible environmental damage,*
- (ii) the maintenance (or regeneration where necessary) of habitats,*
- (iii) efficient and minimal energy and water use and waste output,*
- (iv) mechanisms for monitoring and reviewing the effect of the development on the natural environment,*
- (v) maintaining improvements on an on-going basis in accordance with relevant ISO 14000 standards relating to management and quality control.*

Comment: The proposed development complies with (k) of this clause as follows;

- Minimal vegetation is proposed to be removed, thus minimising the environmental impact that the development would have;
- The development sites shall be revegetated with similar grasses and vegetation once the development proceeds;
- Each structures is afforded with self-contained water, electricity and sewerage management systems. The infrastructure shall be frequently monitored to ensure output is minimised;
- The management of the structures and tourist accommodation business allows for frequent review of environmental impacts. The intent of the development is to provide accommodation that is contributing to the natural landscape, thus any implications that could occur as a result of the development shall be addressed and mitigated appropriately;
- A business management plan shall be established prior to the commencement of the business. The business management plan will outline all procedural operations along with the maintenance of the structures and quality control.

5.4.3.3 Earthworks

Clause 6.3 'Earthworks' applies to the subject application as minor earthworks are included as part of development works. The property has varied topography throughout. The proposed developments shall be constructed on pier footings, with the managers residence on a concrete slab, resulting in minimal earthworks. There shall be no disruption or detrimental effect on existing drainage patterns, soil stability or any cultural heritage items or features surrounding the subject site. Appropriate erosion and sediment controls will be undertaken on the site during development works to prevent or reduce any soil erosion that could occur on the site.

5.4.3.4 Terrestrial biodiversity

Clause 6.5 'Terrestrial biodiversity' applies as the site is mapped as containing 'High Biodiversity Sensitivity'. The development sites have been strategically chosen to ensure that limited vegetation is required to be removed. The only vegetation being removed would be managed grassland vegetation. The intent of the tourist accommodation is to provide accommodation in a rural setting that highlights the natural landscape. In this regard, the ecological value of the site shall be retained and protected, and it is considered that the development would not affect any ecological processes of native fauna and flora or their habitats. Rather, the development would contribute to the ecological significance of the site, providing tourist accommodation in a special rural setting.

5.4.3.5 Groundwater Vulnerability

Clause 6.4 ‘Groundwater Vulnerability’ applies as the site is mapped as containing potentially vulnerable groundwater. The subject site only has a portion of the site mapped as groundwater across the centre of the subject site from west to east, of which there are no significant clearing proposed, nor any earthworks or development that would significantly impact the groundwater area. In this regard, the proposed development will not have any significant negative impact on the condition, ecological value, fragmentation or disruption to the ecological environment of the site, specifically the groundwater identified on the subject site.

5.4.3.6 Essential Services

Clause 6.9 ‘Essential services’ states that:

Development consent must not be granted to development unless the consent authority is satisfied that any of the following services that are essential for the proposed development are available or that adequate arrangements have been made to make them available when required:

- (a) the supply of water,
- (b) the supply of electricity,
- (c) the disposal and management of sewage,
- (d) stormwater drainage or on-site conservation,
- (e) suitable road access.

Comment: In relation to (a) and (d) the tents shall be afforded with a rainwater tank for collection and reuse (subject to a separate Section 68 approval). All stormwater shall be directed into the rainwater tank. In relation to (b) the tent developments will be connected to the proposed solar electricity system. In relation to (c) a gravity fed onsite sewerage management system shall be established (subject to a separate Section 68 approval). In relation to (e) the site has suitable road access.

The managers residence will also be afforded a rainwater tank for collection and reuse, as well as reticulated sewerage, electricity and telecommunications infrastructure. The residence shall have suitable road access.

5.5 Draft Environmental Planning Instruments

No draft Environmental Planning Instruments are applicable to the subject site or development.

5.6 Development Control Plans

The *Mid-Western Regional Council Development Control Plan 2014* (The DCP) applies to the proposed development. Relevant provisions of the DCP have been addressed in **Table 2** below:

Table 2 – DCP Requirements	
Requirement	Comment

Section 5.1 – Car Parking	
Tourist and Visitor Accommodation	<p>The proposed development does not necessarily fall under the ‘tourist & visitor accommodation’ definition under the LEP, however, there is a residential component with the development and the provisions under this part should apply.</p> <p>Pursuant to the parking provisions in this part, the required amount of carparking spaces for the proposal is as follows:</p> <ul style="list-style-type: none"> - 1 space per unit, plus 2 spaces per 3 employees. <p>One space per unit is to be provided and there is ample room on the site for employee parking. The managers residence provides ample parking opportunities around the residence.</p>
Section 5.4 – Environmental Controls	
Protection of Aboriginal Archaeological items	<p>The Aboriginal Heritage Information Management System search provided in Appendix C shows that there are no items of Aboriginal heritage located on the site or within proximity. Nevertheless, care shall be undertaken as part of development works for the protection of any Aboriginal archaeological items. Should any items be found during construction, the developer shall immediately cease operation and contact the relevant authorities.</p>
Bushfire Management	<p>A Bush Fire Assessment Report (BFAR) was conducted for the proposed development and attached in Appendix F of this report. It demonstrates the bush Fire management required and proposed for the development.</p> <p>The main findings/recommendations of the BFAR are detailed below in Section 5.8.9.1</p>
Riparian drainage line environments	<p>There are three watercourses mapped on the subject site. Each glamping tent and the caretakers residence are strategically located away from drainage lines and watercourses to minimize any impact on the drainage lines/watercourses.</p>
Pollution and Waste management	<p>The proposed development shall only generate domestic waste and will not generate any hazardous waste such as trade, liquid, chemical, solid or medical. Suitable waste management bins (general and recyclable) will be provided to manage waste generated by the proposed use of the apartment.</p>
Threatened species and vegetation management	<p>The sites are located within a cleared, disturbed area that do not contain any native flora or fauna. Existing trees within proximity to the sites shall be retained.</p>
Building in Saline environments	<p>It is considered that the subject site and locality does not contain any high levels of saline environments.</p>

Section 6.1 - Dwellings	
Primary Production small lots	Not Applicable
Dwellings on rural lots within the former Rylstone LGA	Not Applicable
Services	Not Applicable (not R1 or R2 zoning)
Dwellings adjacent to village zones	Not Applicable
Setbacks	<p>Pursuant to the setback provision of this part, the required setback distances for the proposed developments are as follows:</p> <p>Street frontage – 60m</p> <p>Side/Rear – 20m</p> <p>The glamping tent sites are centrally located on the property and comply with the above setback provisions.</p> <p>The managers residence is set back approximately 70m from the frontage and approximately 150m from the side/rear boundaries, also complying with the above setback provisions.</p>
Outbuildings and farm buildings	No proposed outbuildings or farm buildings as part of the development.
Section 6.4 – Tourist and Visitor Accommodation	
Definition	The proposed development does not necessarily fall under the ‘tourist & visitor accommodation’ definition under the LEP, however, there is a residential component with the development and the provisions under this part should apply
Location	<p>The proposed site contains split zoning, with a portion of the north edge of the existing lot having a MLS of 100ha, and majority of the existing lot (across the middle and southern edge of the lot) experiences a MLS of 40ha.</p> <p>The subject site is approximately 60ha (which is considered to be compliant with the MLS mapping afforded to the site) and ‘dwelling houses’ as well as ‘eco-tourist facilities’ developments are both permissible with consent in the RU1 zone as per the LEP 2012.</p>
Design and Layout	The property contains a variety of ecological characteristics in a rural setting. The development proposed to utilise the character of the site and locality by providing tourist accommodation in a special and visually

	appealing area. No significant vegetation shall be removed other than managed grassland to allow the developments to proceed.
Water Cycle Management	Not applicable - A Water Cycle Management Plan is not required in this instance.
Electricity	The proposed glamping tents shall be serviced by solar panel systems to provide electricity. The caretakers cottage will be afforded gas and electricity connections from available infrastructure.
Advertising and Signage	Not Applicable to proposed development

5.7 Any Planning Agreement entered into

No Planning Agreements entered into are known to exist in relation to the development or site.

5.8 Any Matters Prescribed by the Regulations

For the purposes of Section 4.15(1)(a)(iv) of the EP&A Act, Clause 61 of the *Environmental Planning and Assessment Regulations 2021* (EP&A Regulations) specifies the additional matters a consent authority must take into consideration when determining a DA. None of which apply to the proposed development.

5.9 Any Likely Impacts of the Development

5.9.1 Context & Setting

The subject site is located in a rural locality which is characterized by primary production and scattered residential activities. The property contains high ecological and natural landscape characteristics. The proposed development is considered to be consistent with the existing area and would not impact on the context or setting in the locality.

5.9.2 Access, Transport & Traffic

Access to the site is gained via an existing entrance off Crudine Road along the northeast corner of the subject site. Existing farm tracks and internal roads allow manoeuvrability throughout the subject site, but some additional internal roads shall be established for safe passage to each accommodation structure, following the existing topography and along cleared grasslands so that no significant clearing or significant adverse impacts shall arise. The internal roads shall consist of gravel material and will be frequently upgraded/maintained to ensure that each tent has suitable 2WD access off Crudine Road and to the development sites.

5.9.3 Utilities

The proposed tent developments shall be afforded with a rainwater tank for collection and reuse. All stormwater shall be directed into the rainwater tanks. The proposed tent developments will be connected to the proposed solar electricity system and proposed gravity fed onsite sewerage management system shall be established (subject to a separate Section 68 applications).

The managers residence will also be afforded a rainwater tank for collection and reuse, as well as reticulated sewerage, electricity, gas and telecommunications infrastructure.

The proposed developments all have suitable road access off Crudine Road.

5.9.4 Heritage

There are no items of heritage significance known to be located on the site or within proximity. An Aboriginal Heritage Information Management System search has been provided in **Appendix C**. There are no other known items of heritage significance located on the site or within proximity.

5.9.5 Air & Microclimate

The proposed construction works will generate some air pollution, primarily from the extra vehicles on the site and some dust pollution. The incidence of air pollution can be reduced by using appropriate equipment; employing good work practice and utilising a water spray, especially in conditions where dust is likely to be a nuisance.

5.9.6 Flora & Fauna

The Species List provided in **Appendix B** of this report shows that there is a diversity of flora and fauna located on the site. The species list provided is not limited as there are many other species that inhabit the site and locality.

The intent of the proposed development is to provide tourist accommodation in an area that has significant ecological value and presence. The accommodation will rely on the presence of flora and fauna on the site, providing a unique accommodation experience for travellers or visitors staying within the Wellington region. In this regard, no vegetation (other than managed grassland) will be removed from the development sites. Furthermore, the flora and fauna on the site shall be protected and retained to ensure that the intent of the proposed development and its operations is implemented. Flora and fauna would not be impacted as part of the development, rather, it is considered that the development would protect flora and fauna on the site, rejuvenating the ecology of the site and promoting the ecological significance of the locality and region.

5.9.7 Noise

The proposed construction works will generate some noise impact. The likelihood of noise becoming offensive can be minimised by adopting good work practice and adhering to normal construction hours.

5.9.8 Natural Hazards

5.9.8.1 Bush Fire

A Bush Fire Assessment Report (BFAR) was conducted for the proposed development and is attached in **Appendix F** of this report. The recommendations for the BFAR are as follows; The following provides a summary of the BFPs that must be incorporated into the development to ensure it best protects the development from the effects of bushfire in accordance with the requirements of PBP and other best practice guidelines.

- Asset Projection Zone/Defendable Space:
 - o It is recommended that an Asset Protection Zone of 55m is established around the proposed caretakes building.
 - o The Asset Protection Zone is to be managed in accordance with Appendix 4 of PBP;
 - o The Asset Protection Zone should be registered on title and ongoing management should occur in perpetuity and prior to an occupation certification
- Landscaping:
 - o Landscaping shall be established and maintained in accordance with Appendix 4 of PBP and the applicable Asset Protection Zone Standards;
 - o There shall be no branches overhanging the roof of any proposed structures and new plantings shall be established to ensure that there are no continuous tree canopies;
 - o Any proposed fencing shall be constructed in accordance with Section 7.6 of PBP.
- Construction Standards:
 - o The proposed caretakers building is to be constructed to a BAL-12.5 standard and in accordance with PBP/AS 3959:2009.
- Access
 - o Access to water hydrants shall be kept clear at all times;
 - o Turning areas as shall be established in accordance with Appendix 3 of PBP;
 - o The access roads shall be constructed to be capable of carrying a fully loaded firefighting vehicle up to 23 tonnes;
 - o All internal roads are to be at least 3.5m in width and no bridges or causeways are to be constructed, however if required, shall be constructed and maintained in accordance with PBP provisions.

- No tree plantings or obstructions shall occur on either side of the access roads that would prohibit access to and from the site in the event of fire.
- A management zone should be established around each of the access points and regular slashing in accordance with an adopted Plan of Management should be executed.
- Services
 - Water:
 - A 10,000L tank should be provided at each of the tents and 60,000L at the caretakers building.
 - Hardened driveways are to be provided to these access points/hydrants;
 - All aboveground water service pipes including taps etc shall be constructed of metal material.
 - Electricity and Gas:
 - It is recommended that any new powerlines are to be constructed underground;
 - Vegetation around existing/new transmission lines are to be maintained in accordance with the specifications in ISSC3 Guideline for Managing Vegetation Near Powerlines;
 - Any proposed gas bottles shall be installed and maintained in accordance with AS/NZS 1596:2004 with metal piping used;
 - All fixed cylinders are to be kept clear of flammable materials to a distance of 10m (or appropriately shielded);
 - All connections are to be of metal construction.
 - Bushfire Danger Period:
 - Before the commencement of the Bushfire Danger Period, a review of the vegetation on the site and applied BFPMs is recommended to be undertaken. Fuel reduction measures are recommended throughout the site.
 - Emergency Evacuation Plans:
 - Preparation of a Bush Fire Emergency Management and Evacuation Plan, in accordance with RFS requirements;
 - An Emergency Planning Committee is required to be established for the facility in accordance with PBP requirements;

A Fire Management Plan (FMP) should be prepared for the property that is reviewed and updated annually

5.9.9 Social and Economic Impacts in the Locality

The proposal will significantly contribute to the local economy by providing a new unique and affordable accommodation option in a locality where tourist accommodation is not currently prominent. It is considered that the proposed development will create a positive economic impact, increase economic activity in the area, contribute to recreation

opportunities and promote improved diversity within the Crudine locality, having a positive impact on the local economy and locality.

5.9.10 Other Impacts

There are no other issues such as flooding which would significantly impact upon the development.

5.10 Suitability of the Site for the Proposed Development

The suitability of the site for the proposed development has been addressed in the above sections of this report. There are no prohibitive constraints posed by adjacent developments. There does not appear to be any zoning, planning or environmental matters that should hinder the proposed development of the site. In this regard, it can be concluded that the proposal fits into the locality and the site attributes are conducive for the development.

5.11 The Public Interest

The proposed development is considered to be in the public interest as it provides a unique accommodation option, adding to the attraction of economic activity to the local area and contributes to additional recreation opportunities. The proposed development promotes improved diversity and healthy accommodation competition resulting in potential increase in other local services and facilities. As outlined throughout this report the development is not expected to have any adverse off-site impacts.

6 CONCLUSION

It is recommended that the proposed eco-tourist facility on Lot 1 DP 1241440, known as 1141 Crudine Road, Crudine be supported on the following grounds:

- The proposal is considered acceptable in terms of the provisions of Section 4.15 of the *Environmental Planning and Assessment Act 1979*;
- The proposal is permissible with consent and consistent with the relevant development standards and provisions of the *Mid-Western Regional Local Environmental Plan 2012*;
- The proposal complies with the relevant provisions of the *Mid-Western Regional Council Development Control Plan 2012*;
- The proposed development is not anticipated to generate any adverse impacts in the locality; and
- The proposed development is considered suitable for the site and its surrounds.

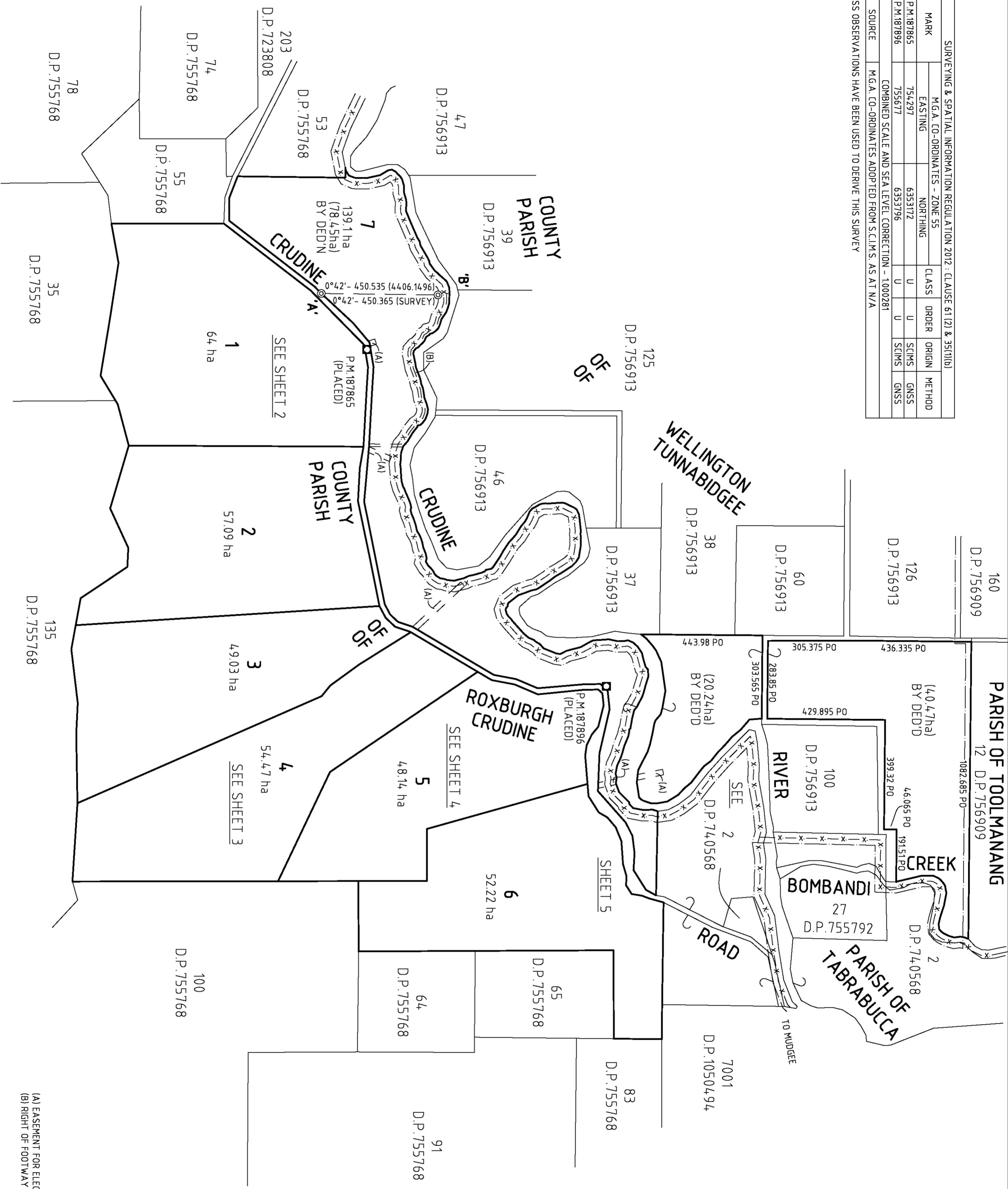
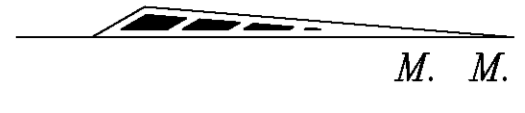
7 REFERENCES

- NSW Government. (2022, June 30). *Biodiversity Value Map*. Retrieved from <https://www.lmbc.nsw.gov.au/Maps/index.html?viewer=BVMap>
- NSW Government Spatial Services. (2022, June 30). *Six Maps*. Retrieved from <http://maps.six.nsw.gov.au/>
- NSW Rural Fire Service. (2006). *Planning for Bush Fire Protection: A Guide for Council's, Planners, Fire Authorities and Developers*. Sydney: NSW RFS.

Appendix A - Deposited Plan

SURVEYING & SPATIAL INFORMATION REGULATION 2012 - CLAUSE 61 (2) & 35 (1)(b)					
MARK	M.G.A. CO-ORDINATES - ZONE 55	CLASS	ORDER	ORIGIN	METHOD
P.M.187865	EASTING 754297	NORTHING 6353172	U	U	GNSS
P.M.187896	EASTING 755677	NORTHING 6353796	U	U	GNSS
COMBINED SCALE AND SEA LEVEL CORRECTION - 1.000281					
SOURCE M.G.A. CO-ORDINATES ADOPTED FROM S.C.I.M.S. AS AT N/A					

*GNSS OBSERVATIONS HAVE BEEN USED TO DERIVE THIS SURVEY



(A) EASEMENT FOR ELECTRICITY PURPOSES 20 WIDE
 (B) RIGHT OF FOOTWAY 10 WIDE (AF451453)

CONNECTION
 PM187865 TO PM187896
 55°45'03" - 1513.84

Surveyor: JASON WILLIAM LANDERS
 Date of Survey: 31 AUGUST 2017
 Surveyor's Reference: 7390

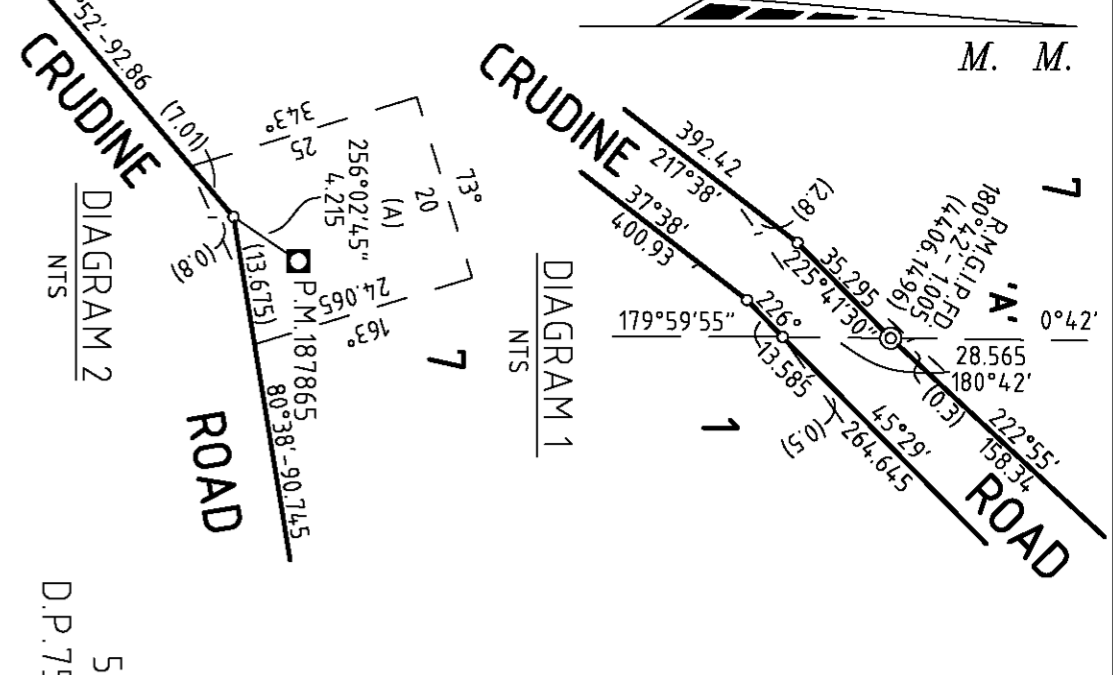
PLAN OF SUBDIVISION OF LOTS 5, 19, 31, 36, 40, 60, 76, 89, 99 AND 161 D.P. 755768, LOTS 53 AND 127 D.P. 756913, LOTS 7 TO 12 D.P. 705353, AND LOTS 1 AND 2 D.P. 1228592

LGA: MID-WESTERN REGIONAL
 Locality: CRUDINE
 Subdivision No: SC039/2018
 Lengths are in metres. Reduction Ratio: 1:10000

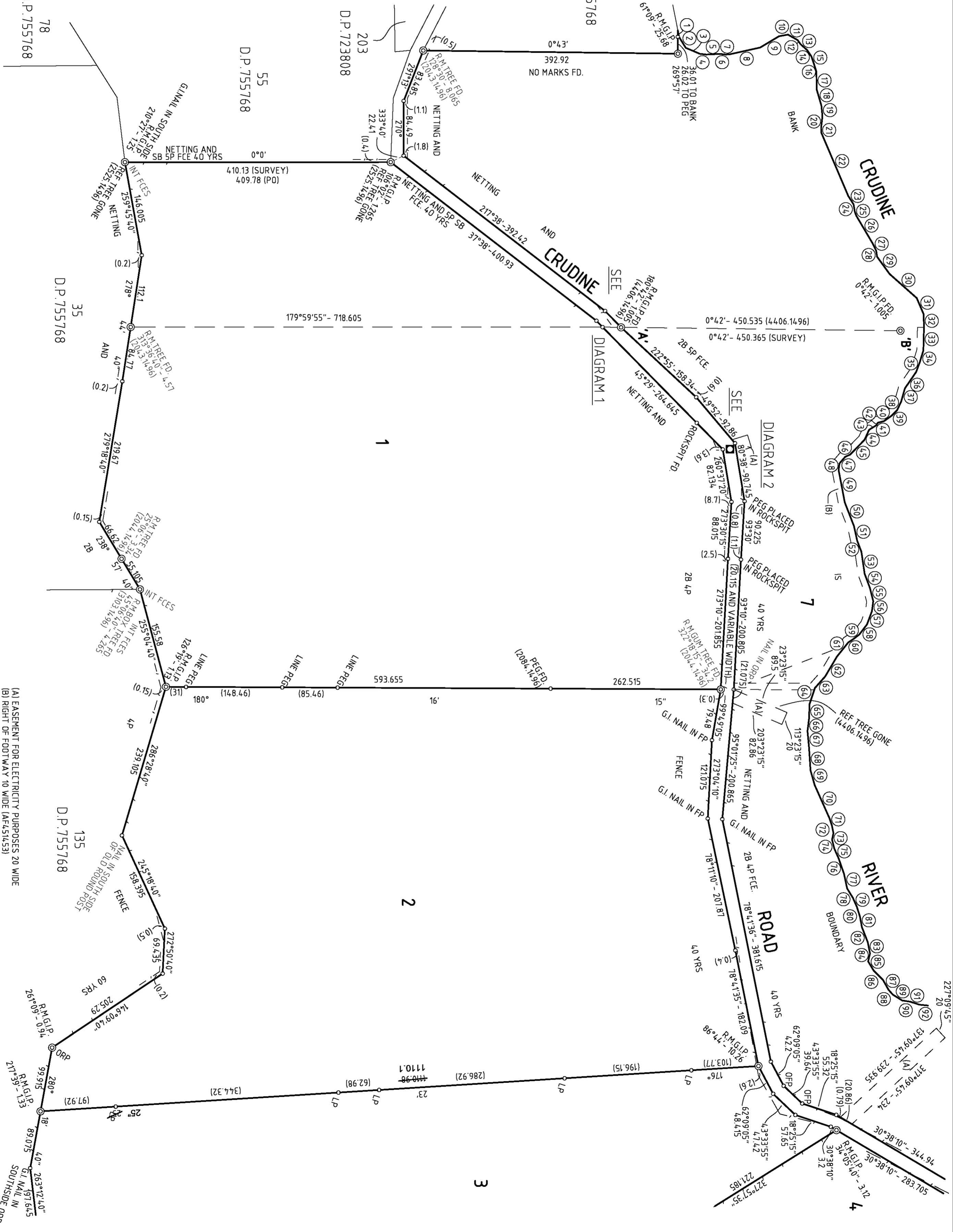
Registered
 23.5.2018

DP1241440

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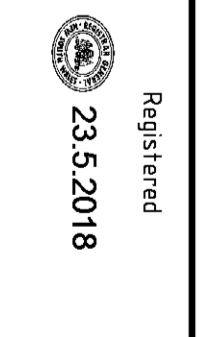
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1	79°24'00"	10.355	47	130°46'50"	13.620
2	58°25'50"	19.670	48	97°25'00"	10.275
3	23°00'30"	23.665	49	79°12'00"	50.805
4	6°25'50"	9.875	50	68°47'10"	39.380
5	357°34'30"	21.895	51	77°39'00"	23.045
6	6°49'40"	8.430	52	69°04'00"	18.210
7	355°37'10"	6.085	53	81°41'30"	34.260
8	347°30'50"	4.8030	54	69°32'30"	23.350
9	329°04'50"	33.905	55	76°02'00"	21.215
10	349°35'00"	14.070	56	97°26'00"	15.505
11	29°28'30"	17.210	57	110°27'20"	21.735
12	55°16'20"	7.305	58	127°21'10"	19.685
13	42°04'50"	14.045	59	142°52'50"	10.765
14	56°10'50"	12.195	60	146°17'50"	10.075
15	71°15'50"	11.465	61	128°35'10"	28.090
16	72°37'00"	13.155	62	120°40'00"	35.785
17	89°22'00"	21.000	63	131°37'50"	23.670
18	73°42'40"	26.295	64	108°26'20"	26.415
19	84°19'00"	16.255	65	91°42'40"	21.485
20	96°30'30"	18.265	66	96°57'30"	20.080
21	88°42'50"	7.035	67	84°38'10"	26.220
22	66°55'10"	106.55	68	86°19'50"	34.390
23	57°38'20"	15.305	69	74°09'30"	23.800
24	80°37'00"	11.655	70	65°58'50"	56.350
25	69°02'00"	6.645	71	71°27'30"	11.030
26	59°26'30"	4.9655	72	78°25'10"	12.445
27	64°24'10"	12.415	73	102°13'40"	10.310
28	81°31'00"	9.275	74	76°06'10"	13.750
29	54°00'30"	32.840	75	66°04'50"	16.845
30	41°36'10"	55.955	76	70°51'30"	25.215
31	66°42'50"	27.015	77	77°50'40"	23.245
32	88°36'40"	20.640	78	58°31'20"	17.070
33	91°23'40"	35.320	79	66°06'00"	14.910
34	106°52'10"	19.255	80	72°26'30"	15.755
35	110°44'20"	16.055	81	79°19'30"	16.800
36	124°24'30"	30.635	82	68°45'10"	24.835
37	105°44'50"	20.830	83	78°42'50"	17.795
38	115°03'10"	15.005	84	103°28'40"	12.500
39	135°19'20"	12.580	85	59°05'40"	16.300
40	144°37'30"	13.840	86	45°11'50"	20.585
41	165°40'00"	9.885	87	60°28'40"	17.660
42	121°13'00"	4.810	88	48°42'40"	9.730
43	148°12'40"	12.765	89	32°07'40"	17.250
44	144°37'30"	17.170	90	8°15'10"	12.260
45	134°18'00"	31.855	91	17°51'00"	15.235
46	156°18'10"	8.170	92	5°43'30"	23.580



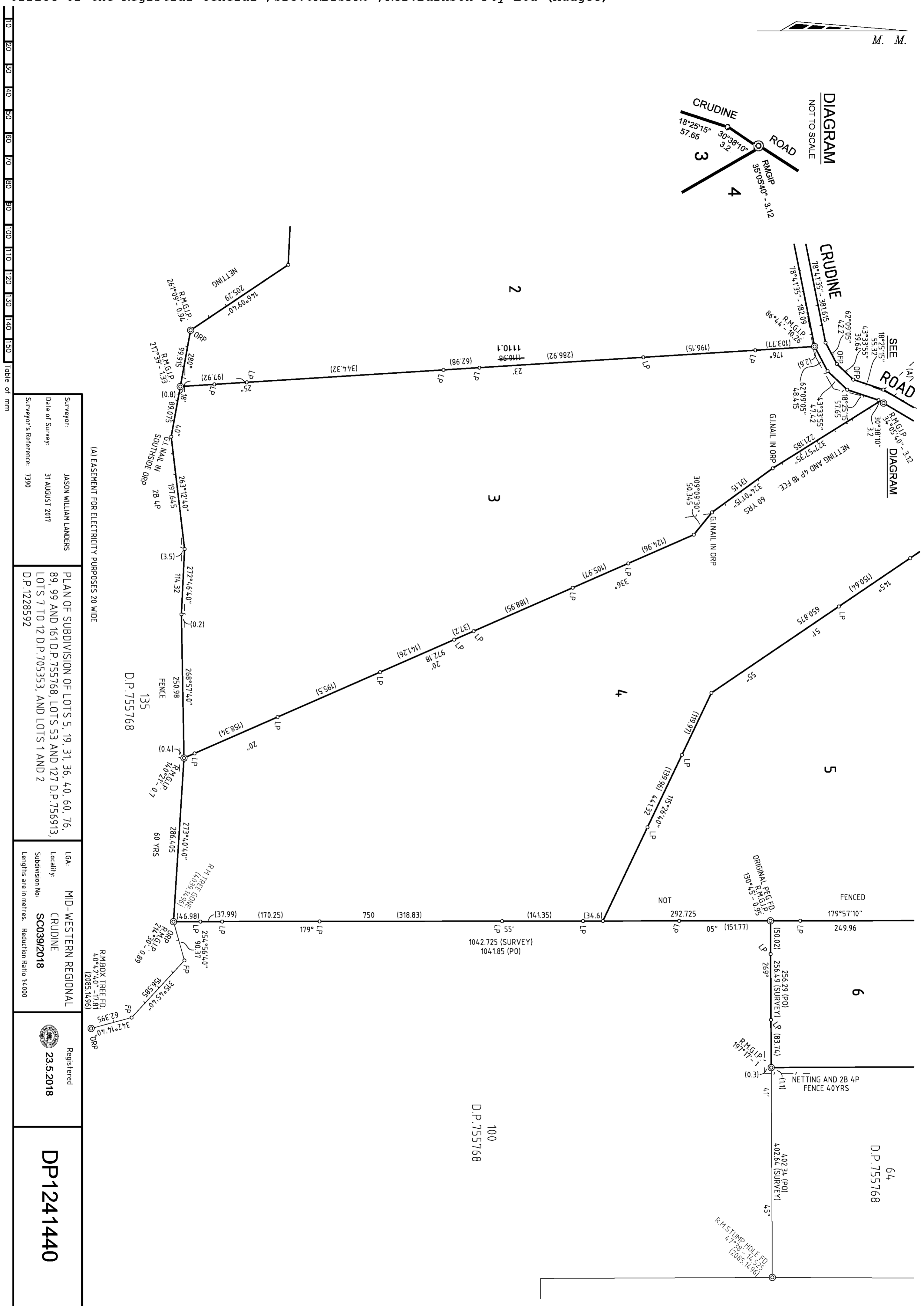
Surveyor: JASON WILLIAM LANDERS
 Date of Survey: 31 AUGUST 2017
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PLAN OF SUBDIVISION OF LOTS 5, 19, 31, 36, 40, 60, 76, 89, 99 AND 161 D.P. 755768, LOTS 53 AND 127 D.P. 756913, LOTS 7 TO 12 D.P. 705353, AND LOTS 1 AND 2 D.P. 1228592

LGA: MID-WESTERN REGIONAL
 Locality: CRUDINE
 Subdivision No: SC039/2018
 Lengths are in metres. Reduction Ratio: 1:4000



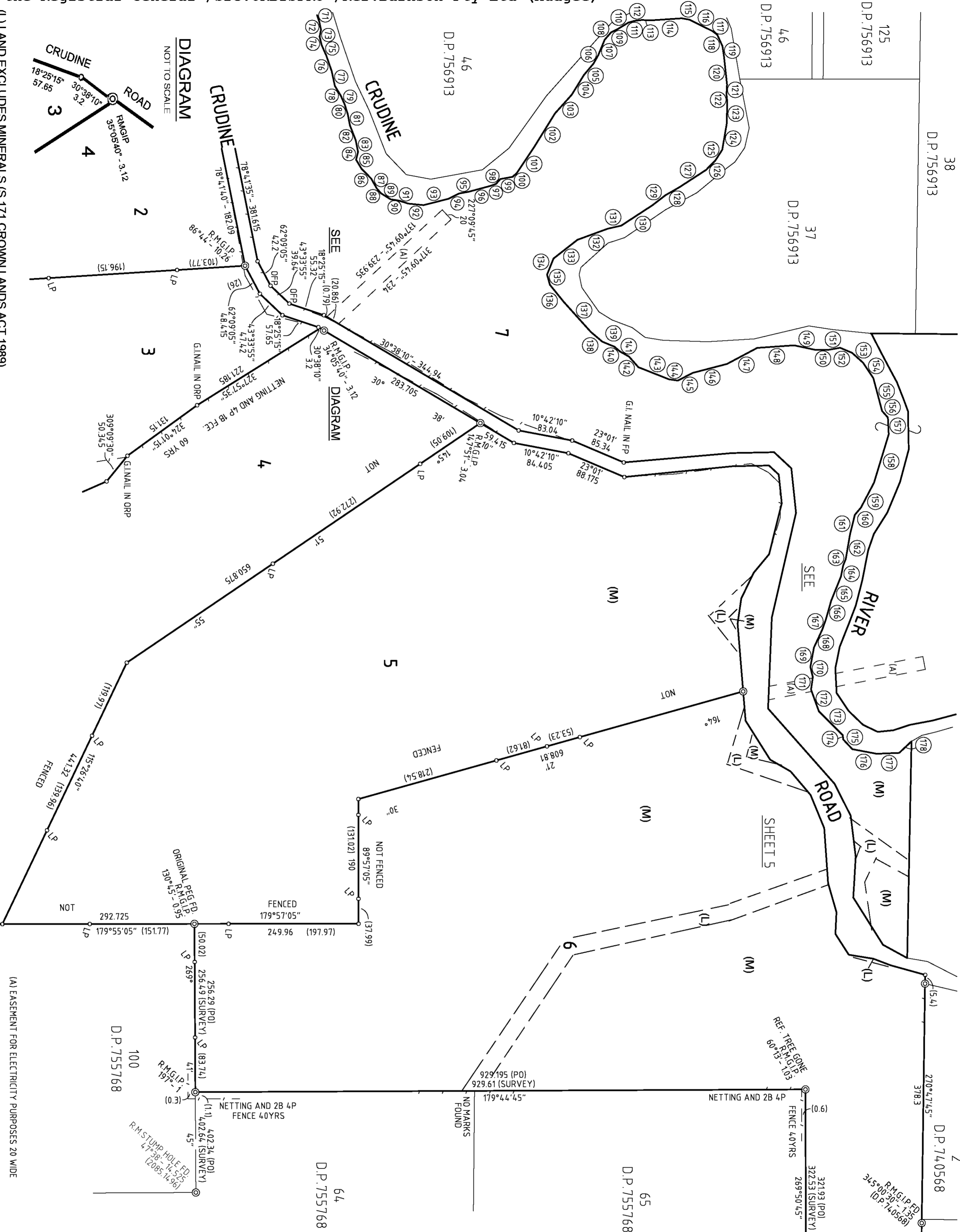
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(A) EASEMENT FOR ELECTRICITY PURPOSES 20 WIDE

Surveyor: Date of Survey: Surveyor's Reference:	JASON WILLIAM LANDERS 31 AUGUST 2017 7390	PLAN OF SUBDIVISION OF LOTS 5, 19, 31, 36, 40, 60, 76, 89, 99 AND 161 D.P. 755768, LOTS 53 AND 127 D.P. 756913, LOTS 7 TO 12 D.P. 705353, AND LOTS 1 AND 2 D.P. 1228592	LGA: Locality: Subdivision No.:	MID-WESTERN REGIONAL CRUDINE SC039/2018	Registered 23.5.2018	DP1241440
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SHORT LINE TABLE

LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
71	71°27'30"	11.030	125	122°39'30"	19.390
72	78°25'10"	12.445	126	134°30'10"	20.205
73	102°13'40"	10.310	127	146°58'40"	4.8535
74	76°06'10"	13.750	128	150°13'50"	24.400
75	66°04'50"	16.845	129	142°20'00"	25.060
76	70°51'30"	25.215	130	146°50'20"	20.650
77	77°50'40"	23.245	131	167°28'20"	20.650
78	58°31'20"	17.070	132	159°52'40"	4.9310
79	66°06'00"	14.910	133	141°57'20"	4.6420
80	72°26'30"	15.755	134	111°53'10"	26.350
81	79°19'30"	16.800	135	74°27'00"	16.115
82	68°45'10"	24.835	136	51°02'10"	33.155
83	78°42'50"	17.795	137	48°01'30"	62.025
84	103°28'40"	12.500	138	40°19'00"	22.985
85	59°05'40"	16.300	139	22°25'40"	19.950
86	45°11'50"	20.585	140	40°39'00"	11.480
87	60°28'40"	17.660	141	29°35'00"	15.660
88	48°42'40"	9.730	142	48°34'40"	21.445
89	32°01'40"	17.250	143	21°35'40"	50.285
90	8°15'10"	12.260	144	8°01'20"	13.555
91	17°51'00"	15.235	145	33°23'50"	25.510
92	5°43'30"	23.580	146	34°52'40"	53.965
93	34°5'44.30"	39.025	147	331°59'30"	52.155
94	333°4'14.0"	18.350	148	356°01'20"	56.270
95	349°37'30"	14.725	149	172°04'00"	33.585
96	344°56'20"	34.020	150	358°57'10"	20.855
97	340°28'10"	9.430	151	350°07'00"	16.760
98	311°33'00"	9.875	152	22°52'20"	19.680
99	349°44'50"	19.190	153	41°52'40"	22.715
100	315°57'30"	9.330	154	56°30'50"	28.285
101	303°39'30"	4.7425	155	75°05'40"	13.675
102	301°44'50"	5.9570	156	48°32'20"	13.340
103	311°54'30"	38.205	157	87°10'10"	25.560
104	301°39'10"	35.140	158	106°54'20"	77.215
105	309°54'00"	23.150	159	117°41'20"	42.795
106	299°23'50"	14.380	160	103°52'10"	30.270
107	292°35'50"	25.600	161	103°52'10"	30.270
108	310°45'20"	14.675	162	99°47'40"	38.250
109	332°58'50"	12.525	163	111°32'30"	10.865
110	328°42'50"	17.935	164	101°29'40"	17.545
111	343°22'40"	8.880	165	112°04'10"	39.110
112	353°01'20"	12.150	166	105°51'10"	30.315
113	2°32'10"	13.370	167	109°35'50"	16.335
114	356°12'00"	4.7825	168	114°54'20"	29.945
115	10°28'40"	11.550	169	100°26'50"	30.215
116	26°16'30"	39.345	170	76°02'00"	15.850
117	37°40'20"	9.175	171	98°15'40"	19.285
118	65°30'00"	19.035	172	70°03'00"	35.340
119	81°34'20"	15.590	173	44°55'50"	51.450
120	83°49'40"	4.3345	174	85°02'00"	6.280
121	93°15'20"	14.520	175	46°46'40"	20.465
122	84°36'40"	12.645	176	10°42'00"	37.685
123	91°37'50"	33.330	177	357°42'40"	34.340
124	99°44'10"	39.535	178	316°49'20"	25.710

(L) LAND EXCLUDES MINERALS (S.171 CROWN LANDS ACT, 1989).
 (M) LAND EXCLUDES MINERALS & IS SUBJECT TO RESERVATIONS & CONDITIONS IN FAVOUR OF THE CROWN - SEE CROWN GRANT.
 (A) EASEMENT FOR ELECTRICITY PURPOSES 20 WIDE

Surveyor: JASON WILLIAM LANDERS
 Date of Survey: 31 AUGUST 2017
 Surveyor's Reference: 7390

PLAN OF SUBDIVISION OF LOTS 5, 19, 31, 36, 40, 60, 76, 89, 99 AND 161 D.P. 755768, LOTS 53 AND 127 D.P. 756913, LOTS 7 TO 12 D.P. 705353, AND LOTS 1 AND 2 D.P. 1228592

LGA: MID-WESTERN REGIONAL
 Locality: CRUDINE
 Subdivision No: SC039/2018
 Lengths are in metres. Reduction Ratio: 1:4000

Registered 23.5.2018

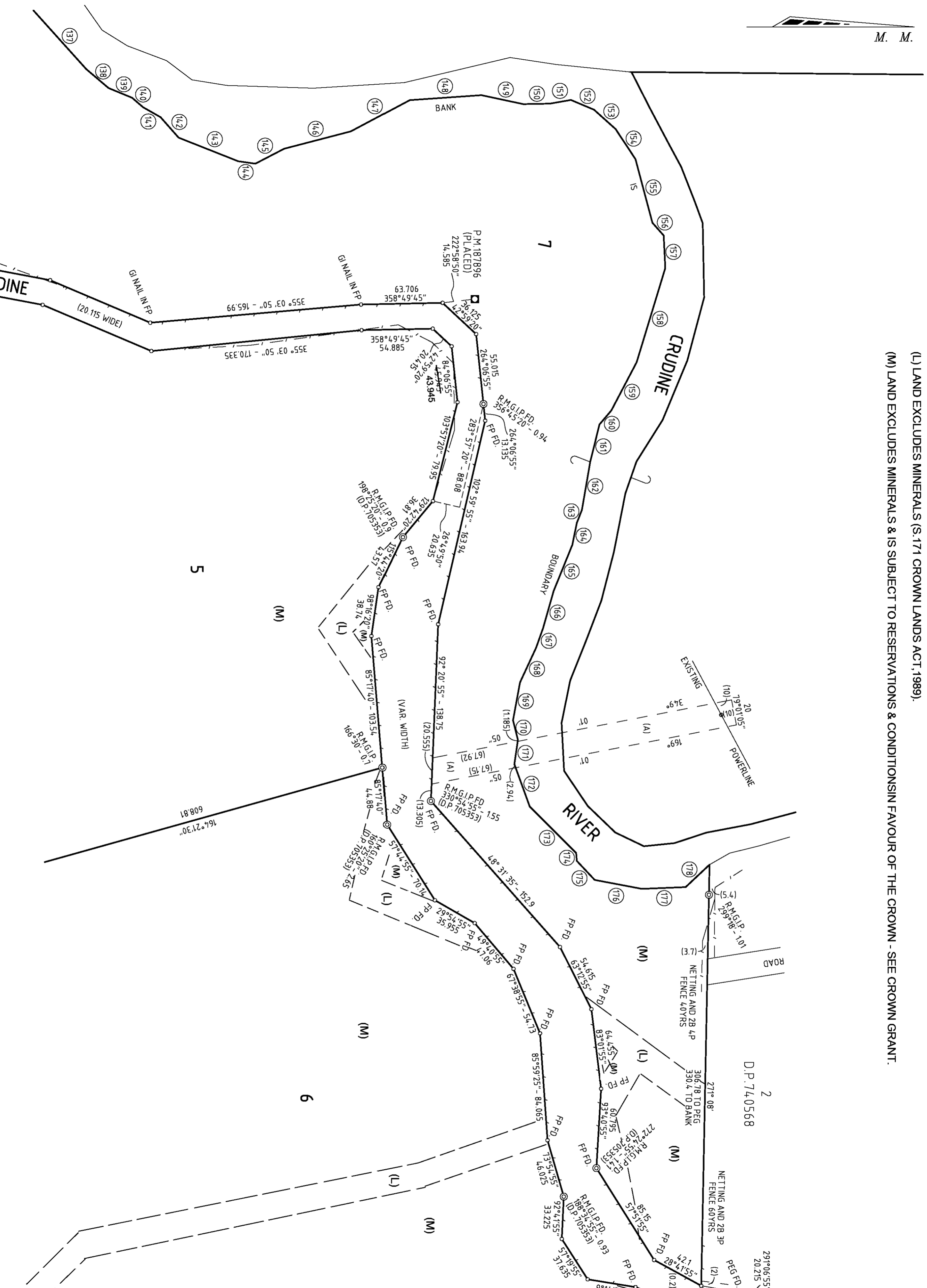
DP1241440

DIAGRAM ADDED VIDE 2018-949 13.9.2018

Table of mm

10	20	30	40	50	60	70	80	90	100	110	120	130	140	150
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(L) LAND EXCLUDES MINERALS (S. 171 CROWN LANDS ACT, 1989).
 (M) LAND EXCLUDES MINERALS & IS SUBJECT TO RESERVATIONS & CONDITIONS IN FAVOUR OF THE CROWN - SEE CROWN GRANT.



SHORT LINE TABLE

LINE	BEARING	DISTANCE
137	48°01'20"	62.025
138	4.0°19'00"	22.985
139	22°25'4.0"	19.950
140	4.0°39'00"	11.480
141	29°35'00"	15.660
142	4.8°34'4.0"	21.445
143	21°35'4.0"	50.285
144	8°01'20"	13.555
145	332°35'50"	25.510
146	345°24'00"	53.965
147	331°59'30"	52.155
148	356°01'20"	56.270
149	12°04'00"	33.585
150	358°57'10"	20.855
151	350°07'00"	16.760
152	22°52'20"	19.880
153	41°52'4.0"	22.715
154	56°30'50"	28.285
155	75°05'4.0"	51.675
156	4.8°32'20"	13.340
157	87°10'10"	25.560
158	106°54'20"	77.215
159	117°41'20"	42.795
160	130°20'4.0"	14.355
161	103°52'10"	30.270
162	99°47'4.0"	38.250
163	111°32'30"	10.865
164	101°29'4.0"	17.545
165	112°04'10"	39.110
166	105°51'10"	30.315
167	109°35'50"	16.335
168	114°54'20"	29.945
169	100°26'50"	30.215
170	76°02'00"	15.850
171	98°15'4.0"	19.295
172	70°03'00"	35.340
173	44°59'50"	51.450
174	85°02'00"	6.280
175	46°46'4.0"	20.465
176	10°42'00"	37.685
177	357°42'4.0"	34.340
178	316°49'20"	25.710

Surveyor: JASON WILLIAM LANDERS
 Date of Survey: 31 AUGUST 2017
 Surveyor's Reference: 7390

PLAN OF SUBDIVISION OF LOTS 5, 19, 31, 36, 40, 60, 76, 89, 99 AND 161 D.P. 755768, LOTS 53 AND 127 D.P. 756913, LOTS 7 TO 12 D.P. 705353, AND LOTS 1 AND 2 D.P. 1228592

LGA: MID-WESTERN REGIONAL
 Locality: CRUDINE
 Subdivision No: SC039/2018
 Lengths are in metres. Reduction Ratio: 1:2000


Registered
 23.5.2018

DP1241440

10 20 30 40 50 60 70 80 90 100 110 120 130 140 150 Table of mm

DEPOSITED PLAN ADMINISTRATION SHEET

Sheet 1 of 2 sheet(s)

Registered:  23.5.2018 Office Use Only	Office Use Only
Title System: TORRENS	DP1241440
Purpose: SUBDIVISION	

PLAN OF SUBDIVISION OF LOTS 5, 19, 31, 36, 40, 60, 76, 89, 99 & 161 D.P.755768, LOTS 53 & 127 D.P.756913, LOTS 7 TO 12 D.P.705353, & LOTS 1 & 2 D.P.1228592.	LGA: MID-WESTERN REGIONAL Locality: CRUDINE Parish: CRUDINE/TUNNABIDGEE County: ROXBURGH/WELLINGTON
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Crown Lands NSW/Western Lands Office Approval I, (Authorised Officer) in approving this plan certify that all necessary approvals in regard to the allocation of the land shown herein have been given. Signature: Date: File Number: Office:	Survey Certificate JASON WILLIAM LANDERS of de Witt Consulting, 87 HERBERT STREET, GULGONG 2852 a surveyor registered under the Surveying and Spatial Information Act 2002, certify that : *(a) The land shown in the plan was surveyed in accordance with the Surveying and Spatial Information Regulation 2012, is accurate and the survey was completed on *(b) The part of the land shown in the plan (*being/*excluding ^..... LOTS 1 TO 6 AND PART OF LOT 7) was surveyed in accordance with the Surveying and Spatial Information Regulation 2012, is accurate and the survey was completed on <u>3/18/2017</u> , the part not surveyed was compiled in accordance with that Regulation . *(c) The land shown in this plan was compiled in accordance with the Surveying and Spatial Information Regulation 2012.
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Subdivision Certificate I, <u>LINDSAY DUNSTAN</u> *Authorised Person/*General Manager/*Accredited Certifier, certify that the provisions of s.109J of the Environmental Planning and Assessment Act 1979 have been satisfied in relation to the proposed subdivision, new road or reserve set out in Signature: Accreditation number: Consent Authority: <u>MID-WESTERN REGIONAL COUNCIL</u> Date of endorsement: <u>28 FEBRUARY 2018</u> Subdivision Certificate number: <u>50039/2018</u> File number: <u>PA0261/2016</u> *Strike through if inapplicable.	Signature: Dated: <u>2/2/2018</u> Surveyor ID: <u>8533</u> Datum Line:..... 'A' - 'B' Type: *Urban/*Rural The terrain is Level - Undulating *Steep - Mountainous * Strike through if inapplicable ^ Specify the land actually surveyed or specify any land shown in the plan that is not the subject of the survey.
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Statements of intention to dedicate public roads, public reserves and drainage reserves.	Plans used in the preparation of survey/compilation <table style="width:100%; border: none;"> <tr> <td>285.1496</td> <td>2085.1496</td> <td>2604.2091</td> </tr> <tr> <td>598.1496</td> <td>2525.1496</td> <td>1354.1603</td> </tr> <tr> <td>1334.1496</td> <td>2565.1496</td> <td>D.P.740568</td> </tr> <tr> <td>1338.1496</td> <td>2976.1496</td> <td>D.P.705353</td> </tr> <tr> <td>1507.1496</td> <td>3104.1496</td> <td>D.P.1228592</td> </tr> <tr> <td>1672.1496</td> <td>3103.1496</td> <td></td> </tr> <tr> <td>2043.1496</td> <td>4406.1496</td> <td></td> </tr> <tr> <td>2044.1496</td> <td>4049.1496</td> <td></td> </tr> <tr> <td>2084.1496</td> <td>1632.2091</td> <td></td> </tr> </table> <p style="text-align: center;">If space is insufficient continue on PLAN FORM 6A</p>	285.1496	2085.1496	2604.2091	598.1496	2525.1496	1354.1603	1334.1496	2565.1496	D.P.740568	1338.1496	2976.1496	D.P.705353	1507.1496	3104.1496	D.P.1228592	1672.1496	3103.1496		2043.1496	4406.1496		2044.1496	4049.1496		2084.1496	1632.2091	
285.1496	2085.1496	2604.2091																										
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2043.1496	4406.1496																											
2044.1496	4049.1496																											
2084.1496	1632.2091																											

Signatures seals and Section 88B Statements should appear on PLAN FORM 6A	Surveyor's Reference: 7390
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DEPOSITED PLAN ADMINISTRATION SHEET

Sheet 2 of 2 sheet(s)

<p style="text-align: right;">Office Use Only</p> <p>Registered 23.5.2018</p> <p>PLAN OF SUBDIVISION OF LOTS 5, 19, 31, 36, 40, 60, 76, 89, 99 & 161 D.P.755768, LOTS 53 & 127 D.P.756913, LOTS 7 TO 12 D.P.705353, & LOTS 1 & 2 D.P.1228592.</p> <p>Subdivision Certificate number : <u>SC039/2018</u> Date of Endorsement : <u>28 FEBRUARY 2018</u></p>	<p style="text-align: right;">Office Use Only</p> <p style="font-size: 2em; text-align: center;">DP1241440</p> <p>This sheet is for the provision of the following information as required:</p> <ul style="list-style-type: none"> • A schedule of lots and addresses - See 60(c) SSI Regulation 2012 • <i>Statements of intention to create and release affecting interests in accordance with section 88B Conveyancing Act 1919</i> • <i>Signatures and seals see 195D Conveyancing Act 1919</i> • <i>Any information which cannot fit in the appropriate panel of sheet 1 of the administration sheets.</i>
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PURSUANT TO SECTION 88B OF THE CONVEYANCING ACT, 1919, AS AMENDED, IT IS INTENDED TO CREATE:-

1. EASEMENT FOR ELECTRICITY PURPOSES 20 WIDE (A)
2. POSITIVE COVENANT
2. POSITIVE COVENANT

LOT	STREET No.	STREET NAME	STREET TYPE	LOCALITY
1	1141	CRUDINE	ROAD	CRUDINE
2	1119	CRUDINE	ROAD	CRUDINE
3	1063	CRUDINE	ROAD	CRUDINE
4	1061	CRUDINE	ROAD	CRUDINE
5	1025	CRUDINE	ROAD	CRUDINE
6	945	CRUDINE	ROAD	CRUDINE
7	986	CRUDINE	ROAD	CRUDINE

DEON GILES MOORE

IAN DOUGLAS MOORE

FAY MOORE

If space is insufficient use additional annexure sheet

Appendix B - Species List Boinet Search

Data from the BioNet Atlas website, which holds records from a number of custodians. The data are only indicative and cannot be considered a comprehensive inventory, and may contain errors and omissions. Species listed under the Sensitive Species Data Policy may have their locations denatured (^ rounded to 0.1°C; ^^ rounded to 0.01°C. Copyright the State of NSW through the Department of Planning, Industry and Environment. Search criteria : Public Report of all Valid Records of Entities in selected area [North: -32.87 West: 149.67 East: 149.79 South: -32.97] returned a total of 1,005 records of 207 species.

Report generated on 12/07/2022 7:27 PM

Kingdom	Class	Family	Species Code	Scientific Name	Exotic	Common Name	NSW Comm. status	Records	Info	
Animalia	Aves	Neosittidae	0549	<i>Daphoenositta chrysoptera</i>		Varied Sittella	V,P	2		
Animalia	Aves	Petroicidae	0380	<i>Petroica boodang</i>		Scarlet Robin	V,P	4		
Animalia	Mammalia	Phascolarctidae	1162	<i>Phascolarctos cinereus</i>		Koala	E1,P	E	2	
Animalia	Mammalia	Phalangeridae	T082	<i>Trichosurus sp.</i>		brush-tail possum	P	1		
Animalia	Mammalia	Macropodidae	1265	<i>Macropus giganteus</i>		Eastern Grey Kangaroo	P	1		
Animalia	Mammalia	Canidae	1532	<i>Vulpes vulpes</i>	*	Fox		2		
Animalia	Mammalia	Felidae	1536	<i>Felis catus</i>	*	Cat		1		
Plantae	Flora	Anthericaceae	3518	<i>Arthropodium minus</i>		Small Vanilla Lily		1		
Plantae	Flora	Anthericaceae	7355	<i>Tricoryne elatior</i>		Yellow Autumn-lily		1		
Plantae	Flora	Apiaceae	1109	<i>Daucus glochidiatus</i>		Native Carrot		1		
Plantae	Flora	Apiaceae	10681	<i>Eryngium ovinum</i>		Blue Devil		1		
Plantae	Flora	Apiaceae	1128	<i>Hydrocotyle laxiflora</i>		Stinking Pennywort		6		
Plantae	Flora	Apiaceae	HYDR	<i>Hydrocotyle spp.</i>				1		
Plantae	Flora	Asteraceae	1263	<i>Ammobium alatum</i>				1		
Plantae	Flora	Asteraceae	7265	<i>Brachyscome stuartii</i>		Stuart's Daisy		1		
Plantae	Flora	Asteraceae	1330	<i>Calocephalus citreus</i>		Lemon Beauty-heads		2		
Plantae	Flora	Asteraceae	1358	<i>Carthamus lanatus</i>	*	Saffron Thistle		4		
Plantae	Flora	Asteraceae	1370	<i>Cassinia quinquefaria</i>				2		
Plantae	Flora	Asteraceae	14946	<i>Cassinia sifton</i>				4		
Plantae	Flora	Asteraceae	1391	<i>Chondrilla juncea</i>	*	Skeleton Weed		2		
Plantae	Flora	Asteraceae	1397	<i>Cichorium intybus</i>	*	Chicory		1		
Plantae	Flora	Asteraceae	1400	<i>Cirsium vulgare</i>	*	Spear Thistle		8		
Plantae	Flora	Asteraceae	1404	<i>Conyza bonariensis</i>	*	Flaxleaf Fleabane		6		
Plantae	Flora	Asteraceae	CONY	<i>Conyza spp.</i>	*			2		
Plantae	Flora	Asteraceae	1426	<i>Cymbonotus lawsonianus</i>		Bear's Ear		7		
Plantae	Flora	Asteraceae	9690	<i>Euchiton sphaericus</i>		Star Cudweed		11		
Plantae	Flora	Asteraceae	EUCH	<i>Euchiton spp.</i>				1		
Plantae	Flora	Asteraceae	1540	<i>Hypochaeris glabra</i>	*	Smooth Catsear		2		

Plantae	Flora	Asteraceae	8788	<i>Hypochaeris radicata</i> *	Catsear	12
Plantae	Flora	Asteraceae	1550	<i>Lactuca serriola</i> *	Prickly Lettuce	1
Plantae	Flora	Asteraceae	11959	<i>Lagenophora gracilis</i>	Slender Lagenophora	2
Plantae	Flora	Asteraceae	11960	<i>Lagenophora stipitata</i>	Common Lagenophora	3
Plantae	Flora	Asteraceae	11831	<i>Leptorhynchos squamatus subsp. squamatus</i>		1
Plantae	Flora	Asteraceae	1665	<i>Senecio jacobaea</i> *	Ragwort	3
Plantae	Flora	Asteraceae	1675	<i>Senecio quadridentatus</i>	Cotton Fireweed	4
Plantae	Flora	Asteraceae	SENE	<i>Senecio spp.</i>	Groundsel, Fireweed	1
Plantae	Flora	Asteraceae	7454	<i>Solenogyne dominii</i>		1
Plantae	Flora	Asteraceae	14049	<i>Tolpis barbata</i> *	Yellow Hawkweed	6
Plantae	Flora	Asteraceae	VITT	<i>Vittadinia spp.</i>	Fuzzweed	1
Plantae	Flora	Bignoniaceae	10485	<i>Pandorea pandorana subsp. pandorana</i>	Wonga Wonga Vine	1
Plantae	Flora	Boraginaceae	1751	<i>Echium plantagineum</i> *	Patterson's Curse	1
Plantae	Flora	Brassicaceae	1815	<i>Lepidium africanum</i> *	Common Peppergrass	1
Plantae	Flora	Brassicaceae	1841	<i>Rapistrum rugosum</i> *	Turnip Weed	1
Plantae	Flora	Brassicaceae	1854	<i>Sisymbrium officinale</i> *	Hedge Mustard	1
Plantae	Flora	Campanulaceae	1929	<i>Wahlenbergia communis</i>	Tufted Bluebell	1
Plantae	Flora	Campanulaceae	7314	<i>Wahlenbergia luteola</i>	Bluebell	1
Plantae	Flora	Campanulaceae	WAHL	<i>Wahlenbergia spp.</i>	Bluebell	7
Plantae	Flora	Campanulaceae	1938	<i>Wahlenbergia stricta</i>	Tall Bluebell	2
Plantae	Flora	Caryophyllaceae	1960	<i>Cerastium glomeratum</i> *	Mouse-ear Chickweed	1
Plantae	Flora	Caryophyllaceae	1974	<i>Paronychia brasiliensis</i> *	Chilean Whitlow Wort, Brazilian Whitlow	7
Plantae	Flora	Caryophyllaceae	PARO	<i>Paronychia spp.</i> *		1
Plantae	Flora	Caryophyllaceae	13845	<i>Petrorhagia dubia</i> *		1
Plantae	Flora	Caryophyllaceae	7584	<i>Petrorhagia nanteuilii</i> *	Proliferous Pink	4
Plantae	Flora	Caryophyllaceae	PETR	<i>Petrorhagia spp.</i> *		2
Plantae	Flora	Caryophyllaceae	1983	<i>Saponaria officinalis</i> *	Soapwort	1
Plantae	Flora	Caryophyllaceae	2008	<i>Stellaria pungens</i>	Prickly Starwort	1
Plantae	Flora	Chenopodiaceae	4529	<i>Dysphania pumilio</i>	Small Crumbweed	1

Plantae	Flora	Chenopodiaceae	2110	<i>Einadia hastata</i>	Berry Saltbush				1
Plantae	Flora	Chenopodiaceae	2112	<i>Einadia polygonoides</i>	Knotweed Goosefoot				1
Plantae	Flora	Chenopodiaceae	2113	<i>Einadia trigonos</i>	Fishweed				2
Plantae	Flora	Clusiaceae	7240	<i>Hypericum gramineum</i>	Small St John's Wort				7
Plantae	Flora	Clusiaceae	2203	<i>Hypericum japonicum</i>					2
Plantae	Flora	Clusiaceae	2204	<i>Hypericum perforatum</i>	St. Johns Wort			*	4
Plantae	Flora	Cyperaceae	2310	<i>Carex appressa</i>	Tall Sedge				2
Plantae	Flora	Cyperaceae	2321	<i>Carex fascicularis</i>	Tassel Sedge				1
Plantae	Flora	Cyperaceae	2327	<i>Carex inversa</i>	Knob Sedge				2
Plantae	Flora	Cyperaceae	6402	<i>Lepidosperma laterale</i>	Variable Sword-sedge				1
Plantae	Flora	Cyperaceae	2491	<i>Schoenus apogon</i>	Fluke Bogrush				4
Plantae	Flora	Dilleniaceae	2526	<i>Hibbertia acicularis</i>					1
Plantae	Flora	Dilleniaceae	2542	<i>Hibbertia obtusifolia</i>	Hoary Guinea Flower				4
Plantae	Flora	Ericaceae	2642	<i>Lissanthe strigosa</i>	Peach Heath				7
Plantae	Flora	Ericaceae	2646	<i>Melichrus urceolatus</i>	Urn Heath				2
Plantae	Flora	Fabaceae (Faboideae)	2786	<i>Bossiaea prostrata</i>					2
Plantae	Flora	Fabaceae (Faboideae)	6621	<i>Desmodium gunnii</i>	Slender Tick-trefoil				1
Plantae	Flora	Fabaceae (Faboideae)	2840	<i>Desmodium varians</i>	Slender Tick-trefoil				6
Plantae	Flora	Fabaceae (Faboideae)	2860	<i>Glycine clandestina</i>	Twining glycine				1
Plantae	Flora	Fabaceae (Faboideae)	2861	<i>Glycine tabacina</i>	Variable Glycine				3
Plantae	Flora	Fabaceae (Faboideae)	2882	<i>Indigofera australis</i>	Australian Indigo				1
Plantae	Flora	Fabaceae (Faboideae)	MEDI	<i>Medicago spp.</i>				*	2
Plantae	Flora	Fabaceae (Faboideae)	3003	<i>Pultenaea microphylla</i>					4
Plantae	Flora	Fabaceae (Faboideae)	3012	<i>Pultenaea procumbens</i>					1
Plantae	Flora	Fabaceae (Faboideae)	PULT	<i>Pultenaea spp.</i>					1
Plantae	Flora	Fabaceae (Faboideae)	3056	<i>Swainsona recta</i>	Small Purple-pea	E1	E		6
Plantae	Flora	Fabaceae (Faboideae)	3072	<i>Trifolium angustifolium</i>	Narrow-leaved Clover			*	2
Plantae	Flora	Fabaceae (Faboideae)	3073	<i>Trifolium arvense</i>	Haresfoot Clover			*	3
Plantae	Flora	Fabaceae (Faboideae)	3074	<i>Trifolium campestre</i>	Hop Clover			*	1
Plantae	Flora	Fabaceae (Faboideae)	3076	<i>Trifolium dubium</i>	Yellow Suckling Clover			*	4



Plantae	Flora	Fabaceae (Faboideae)	3079	<i>Trifolium glomeratum</i> *	Clustered Clover			1
Plantae	Flora	Fabaceae (Faboideae)	3085	<i>Trifolium repens</i> *	White Clover			1
Plantae	Flora	Fabaceae (Faboideae)	TRIF	<i>Trifolium spp.</i> *				3
Plantae	Flora	Fabaceae (Faboideae)	3098	<i>Vicia tetrasperma</i> *	Slender Vetch			1
Plantae	Flora	Fabaceae (Mimosoideae)	3727	<i>Acacia buxifolia</i>	Box-leaved Wattle			3
Plantae	Flora	Fabaceae (Mimosoideae)	3758	<i>Acacia dealbata</i>	Silver Wattle			3
Plantae	Flora	Fabaceae (Mimosoideae)	3761	<i>Acacia decora</i>	Western Silver Wattle			1
Plantae	Flora	Fabaceae (Mimosoideae)	8973	<i>Acacia meiantha</i>		E1	E	470
Plantae	Flora	Fabaceae (Mimosoideae)	3884	<i>Acacia subulata</i>	Awl-leaved Wattle			2
Plantae	Flora	Gentianaceae	CENA	<i>Centaurium spp.</i> *				7
Plantae	Flora	Geraniaceae	10093	<i>Geranium molle</i> * <i>subsp. molle</i>	Cranesbill Geranium			1
Plantae	Flora	Geraniaceae	3154	<i>Geranium retrorsum</i>	Cranesbill Geranium			1
Plantae	Flora	Geraniaceae	3156	<i>Geranium solanderi</i>	Native Geranium			3
Plantae	Flora	Geraniaceae	GERA	<i>Geranium spp.</i>				3
Plantae	Flora	Goodeniaceae	9279	<i>Goodenia hederacea</i> <i>subsp. hederacea</i>				6
Plantae	Flora	Haloragaceae	3240	<i>Gonocarpus elatus</i>				1
Plantae	Flora	Haloragaceae	3243	<i>Gonocarpus micranthus</i>				1
Plantae	Flora	Haloragaceae	3247	<i>Gonocarpus tetragynus</i>	Poverty Raspwort			4
Plantae	Flora	Haloragaceae	3252	<i>Haloragis heterophylla</i>	Variable Raspwort			4
Plantae	Flora	Juncaceae	3333	<i>Juncus homalocaulis</i>				1
Plantae	Flora	Juncaceae	JUNC	<i>Juncus spp.</i>				2
Plantae	Flora	Juncaceae	3350	<i>Juncus usitatus</i>				5
Plantae	Flora	Lamiaceae	3381	<i>Marrubium vulgare</i> *	White Horehound			1
Plantae	Flora	Linaceae	3584	<i>Linum trigynum</i> *	French Flax			1
Plantae	Flora	Lomandraceae	6302	<i>Lomandra filiformis</i>	Wattle Matt-rush			2
Plantae	Flora	Lomandraceae	6511	<i>Lomandra filiformis</i> <i>subsp. coriacea</i>	Wattle Matt-rush			2
Plantae	Flora	Lomandraceae	7931	<i>Lomandra filiformis</i> <i>subsp. filiformis</i>				1



Plantae	Flora	Lomandraceae	8802	<i>Lomandra multiflora</i> <i>subsp. multiflora</i>	Many-flowered Mat-rush		1
Plantae	Flora	Lomandraceae	LOMA	<i>Lomandra spp.</i>	Mat-rush		2
Plantae	Flora	Loranthaceae	6394	<i>Amyema miquelii</i>	Box Mistletoe		1
Plantae	Flora	Malaceae	5616	<i>Crataegus monogyna</i> *	Hawthorn		1
Plantae	Flora	Malvaceae	6128	<i>Brachychiton populneus</i>	Kurrajong		1
Plantae	Flora	Myoporaceae	8602	<i>Eremophila debilis</i>	Amulla		1
Plantae	Flora	Myrtaceae	4039	<i>Eucalyptus albens</i>	White Box		9
Plantae	Flora	Myrtaceae	4057	<i>Eucalyptus blakelyi</i>	Blakely's Red Gum		6
Plantae	Flora	Myrtaceae	4099	<i>Eucalyptus goniocalyx</i>	Bundy		4
Plantae	Flora	Myrtaceae	4120	<i>Eucalyptus macrorhyncha</i>	Red Stringybark		21
Plantae	Flora	Myrtaceae	4125	<i>Eucalyptus melliodora</i>	Yellow Box		6
Plantae	Flora	Myrtaceae	4158	<i>Eucalyptus polyanthemos</i>	Red Box		3
Plantae	Flora	Onagraceae	7952	<i>Epilobium billardierianum</i> <i>subsp. cinereum</i>			1
Plantae	Flora	Orchidaceae	13759	<i>Eriochilus petricola</i>		P	1
Plantae	Flora	Orchidaceae	MICO	<i>Microtis spp.</i>		P	1
Plantae	Flora	Orchidaceae	4473	<i>Microtis unifolia</i>	Common Onion Orchid	P	2
Plantae	Flora	Oxalidaceae	4615	<i>Oxalis exilis</i>			3
Plantae	Flora	Oxalidaceae	4621	<i>Oxalis perennans</i>			2
Plantae	Flora	Oxalidaceae	OXAL	<i>Oxalis spp.</i>			3
Plantae	Flora	Phormiaceae	7783	<i>Dianella longifolia</i>	Blueberry Lily		1
Plantae	Flora	Phyllanthaceae	7395	<i>Poranthera microphylla</i>	Small Poranthera		2
Plantae	Flora	Phytolaccaceae	4658	<i>Phytolacca octandra</i> *	Inkweed		1
Plantae	Flora	Pittosporaceae	4674	<i>Bursaria spinosa</i>	Native Blackthorn		1
Plantae	Flora	Pittosporaceae	11018	<i>Bursaria spinosa</i> <i>subsp. spinosa</i>	Native Blackthorn		1
Plantae	Flora	Pittosporaceae	11929	<i>Cheiranthra linearis</i>	Finger Flower		1
Plantae	Flora	Plantaginaceae	4691	<i>Plantago debilis</i>	Shade Plantain		1
Plantae	Flora	Plantaginaceae	4694	<i>Plantago gaudichaudii</i>	Narrow Plantain		1
Plantae	Flora	Plantaginaceae	4699	<i>Plantago lanceolata</i> *	Lamb's Tongues		3
Plantae	Flora	Plantaginaceae	4705	<i>Plantago varia</i>			1
Plantae	Flora	Plantaginaceae	6009	<i>Veronica plebeia</i>	Trailing Speedwell		2

Plantae	Flora	Poaceae	4731	<i>Aira cupaniana</i>	*	Silvery Hairgrass	2
Plantae	Flora	Poaceae	14896	<i>Anthosachne scabra</i>		Wheatgrass, Common Wheatgrass	3
Plantae	Flora	Poaceae	4770	<i>Aristida ramosa</i>		Purple Wiregrass	1
Plantae	Flora	Poaceae	ARIS	<i>Aristida spp.</i>			5
Plantae	Flora	Poaceae	10377	<i>Austrostipa scabra</i>		Speargrass	4
Plantae	Flora	Poaceae	AUSO	<i>Austrostipa spp.</i>			1
Plantae	Flora	Poaceae	7559	<i>Bothriochloa decipiens</i> var. <i>decipiens</i>		Pitted Bluegrass	3
Plantae	Flora	Poaceae	4790	<i>Bothriochloa macra</i>		Red Grass	5
Plantae	Flora	Poaceae	BOTH	<i>Bothriochloa spp.</i>		Redgrass, Bluegrass	2
Plantae	Flora	Poaceae	4801	<i>Briza minor</i>	*	Shivery Grass	3
Plantae	Flora	Poaceae	7813	<i>Bromus catharticus</i>	*	Praire Grass	2
Plantae	Flora	Poaceae	4806	<i>Bromus diandrus</i>	*	Great Brome	1
Plantae	Flora	Poaceae	BROM	<i>Bromus spp.</i>			4
Plantae	Flora	Poaceae	4833	<i>Chloris truncata</i>		Windmill Grass	2
Plantae	Flora	Poaceae	4846	<i>Dactylis glomerata</i>	*	Cocksfoot	1
Plantae	Flora	Poaceae	4898	<i>Dichelachne micrantha</i>		Shorthair Plumegrass	5
Plantae	Flora	Poaceae	6857	<i>Digitaria brownii</i>		Cotton Panic Grass	1
Plantae	Flora	Poaceae	6937	<i>Digitaria sanguinalis</i>	*	Crab Grass	1
Plantae	Flora	Poaceae	7196	<i>Eleusine indica</i>	*	Crowsfoot Grass	1
Plantae	Flora	Poaceae	4940	<i>Eleusine tristachya</i>	*	Goose Grass	3
Plantae	Flora	Poaceae	4960	<i>Eragrostis leptostachya</i>		Paddock Lovegrass	1
Plantae	Flora	Poaceae	4967	<i>Eragrostis parviflora</i>		Weeping Lovegrass	4
Plantae	Flora	Poaceae	ERAG	<i>Eragrostis spp.</i>			3
Plantae	Flora	Poaceae	8745	<i>Festuca elatior</i>	*	Tall Fescue	1
Plantae	Flora	Poaceae	5005	<i>Holcus lanatus</i>	*	Yorkshire Fog	2
Plantae	Flora	Poaceae	5037	<i>Microlaena stipoides</i>		Weeping Grass	10
Plantae	Flora	Poaceae	PANI	<i>Panicum spp.</i>		Panicum	6
Plantae	Flora	Poaceae	PASA	<i>Paspalidium spp.</i>			1
Plantae	Flora	Poaceae	5086	<i>Paspalum dilatatum</i>	*	Paspalum	1
Plantae	Flora	Poaceae	5106	<i>Phalaris aquatica</i>	*	Phalaris	2
Plantae	Flora	Poaceae	11196	<i>Poa labillardierei</i> var. <i>labillardierei</i>		Tussock	4
Plantae	Flora	Poaceae	8742	<i>Poa sieberiana</i> var. <i>sieberiana</i>		Snowgrass	4
Plantae	Flora	Poaceae	POA	<i>Poa spp.</i>			1
Plantae	Flora	Poaceae	14305	<i>Rytidosperma caespitosum</i>		Ringed Wallaby Grass	2
Plantae	Flora	Poaceae	14311	<i>Rytidosperma laeve</i>		Wallaby Grass	1
Plantae	Flora	Poaceae	14314	<i>Rytidosperma pallidum</i>		Redanther Wallaby Grass; Silvertop Wallaby Grass	1
Plantae	Flora	Poaceae	14315	<i>Rytidosperma penicillatum</i>		Slender Wallaby Grass	2

Plantae	Flora	Poaceae	14317	<i>Rytidosperma racemosum</i>	Wallaby Grass	1
Plantae	Flora	Poaceae	5179	<i>Sporobolus creber</i>	Slender Rat's Tail Grass	6
Plantae	Flora	Poaceae	7770	<i>Themeda triandra</i>		8
Plantae	Flora	Poaceae	5242	<i>Vulpia myuros</i>	* Rat's Tail Fescue	3
Plantae	Flora	Poaceae	VULP	<i>Vulpia spp.</i>	* Rat's-tail Fescue	1
Plantae	Flora	Polygonaceae	5265	<i>Acetosella vulgaris</i>	* Sheep Sorrel	4
Plantae	Flora	Polygonaceae	5288	<i>Polygonum aviculare</i>	* Wireweed	2
Plantae	Flora	Polygonaceae	5296	<i>Rumex brownii</i>	Swamp Dock	8
Plantae	Flora	Primulaceae	14614	<i>Lysimachia arvensis</i>	* Scarlet Pimpernel	3
Plantae	Flora	Primulaceae	11953	<i>Myrsine variabilis</i>		1
Plantae	Flora	Pteridaceae	10439	<i>Cheilanthes sieberi</i>	Rock Fern	1
Plantae	Flora	Pteridaceae	8007	<i>Cheilanthes sieberi subsp. sieberi</i>	Rock Fern	6
Plantae	Flora	Rosaceae	5603	<i>Acaena echinata</i>	Sheep's Burr	1
Plantae	Flora	Rosaceae	5605	<i>Acaena ovina</i>	Acaena	2
Plantae	Flora	Rosaceae	ACAE	<i>Acaena spp.</i>	Sheep's Burr	2
Plantae	Flora	Rosaceae	5635	<i>Rosa rubiginosa</i>	* Sweet Briar	3
Plantae	Flora	Rosaceae	11733	<i>Rubus anglocandicans</i>	* Blackberry	1
Plantae	Flora	Rosaceae	11303	<i>Rubus fruticosus sp. agg.</i>	* Blackberry complex	1
Plantae	Flora	Rubiaceae	5653	<i>Asperula conferta</i>	Common Woodruff	2
Plantae	Flora	Rubiaceae	5688	<i>Galium propinquum</i>	Maori Bedstraw	1
Plantae	Flora	Rubiaceae	5698	<i>Opercularia diphylla</i>	Stinkweed	1
Plantae	Flora	Rubiaceae	5713	<i>Richardia stellaris</i>	*	1
Plantae	Flora	Sapindaceae	5875	<i>Alectryon subcinereus</i>	Wild Quince	1
Plantae	Flora	Solanaceae	6072	<i>Solanum cinereum</i>	Narrawa Burr	2
Plantae	Flora	Solanaceae	6091	<i>Solanum nigrum</i>	* Black-berry Nightshade	4
Plantae	Flora	Verbenaceae	6256	<i>Verbena bonariensis</i>	* Purpletop	1

Appendix C - AHIMS Search

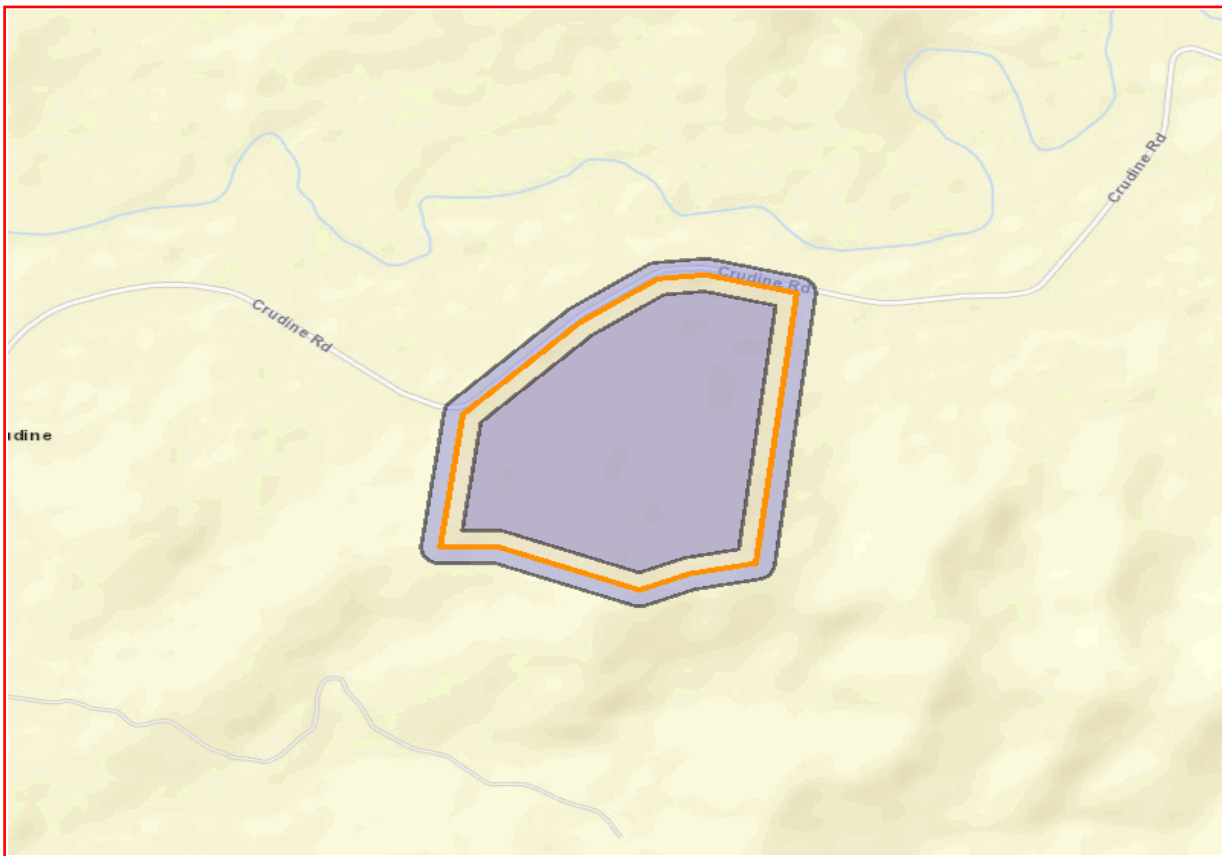
Barnson
Suite 6 11 White Street
Tamworth New South Wales 2340
Attention: Jack Massey
Email: jmassey@barnson.com.au

Date: 13 June 2022

Dear Sir or Madam:

AHIMS Web Service search for the following area at Lot : 1, DP:DP1241440, Section : - with a Buffer of 50 meters, conducted by Jack Massey on 13 June 2022.

The context area of your search is shown in the map below. Please note that the map does not accurately display the exact boundaries of the search as defined in the paragraph above. The map is to be used for general reference purposes only.



A search of Heritage NSW AHIMS Web Services (Aboriginal Heritage Information Management System) has shown that:

0	Aboriginal sites are recorded in or near the above location.
0	Aboriginal places have been declared in or near the above location. *

If your search shows Aboriginal sites or places what should you do?

- You must do an extensive search if AHIMS has shown that there are Aboriginal sites or places recorded in the search area.
- If you are checking AHIMS as a part of your due diligence, refer to the next steps of the Due Diligence Code of practice.
- You can get further information about Aboriginal places by looking at the gazettal notice that declared it. Aboriginal places gazetted after 2001 are available on the [NSW Government Gazette \(https://www.legislation.nsw.gov.au/gazette\)](https://www.legislation.nsw.gov.au/gazette) website. Gazettal notices published prior to 2001 can be obtained from Heritage NSW upon request

Important information about your AHIMS search

- The information derived from the AHIMS search is only to be used for the purpose for which it was requested. It is not to be made available to the public.
- AHIMS records information about Aboriginal sites that have been provided to Heritage NSW and Aboriginal places that have been declared by the Minister;
- Information recorded on AHIMS may vary in its accuracy and may not be up to date. Location details are recorded as grid references and it is important to note that there may be errors or omissions in these recordings,
- Some parts of New South Wales have not been investigated in detail and there may be fewer records of Aboriginal sites in those areas. These areas may contain Aboriginal sites which are not recorded on AHIMS.
- Aboriginal objects are protected under the National Parks and Wildlife Act 1974 even if they are not recorded as a site on AHIMS.
- This search can form part of your due diligence and remains valid for 12 months.

Appendix D - Development Plans

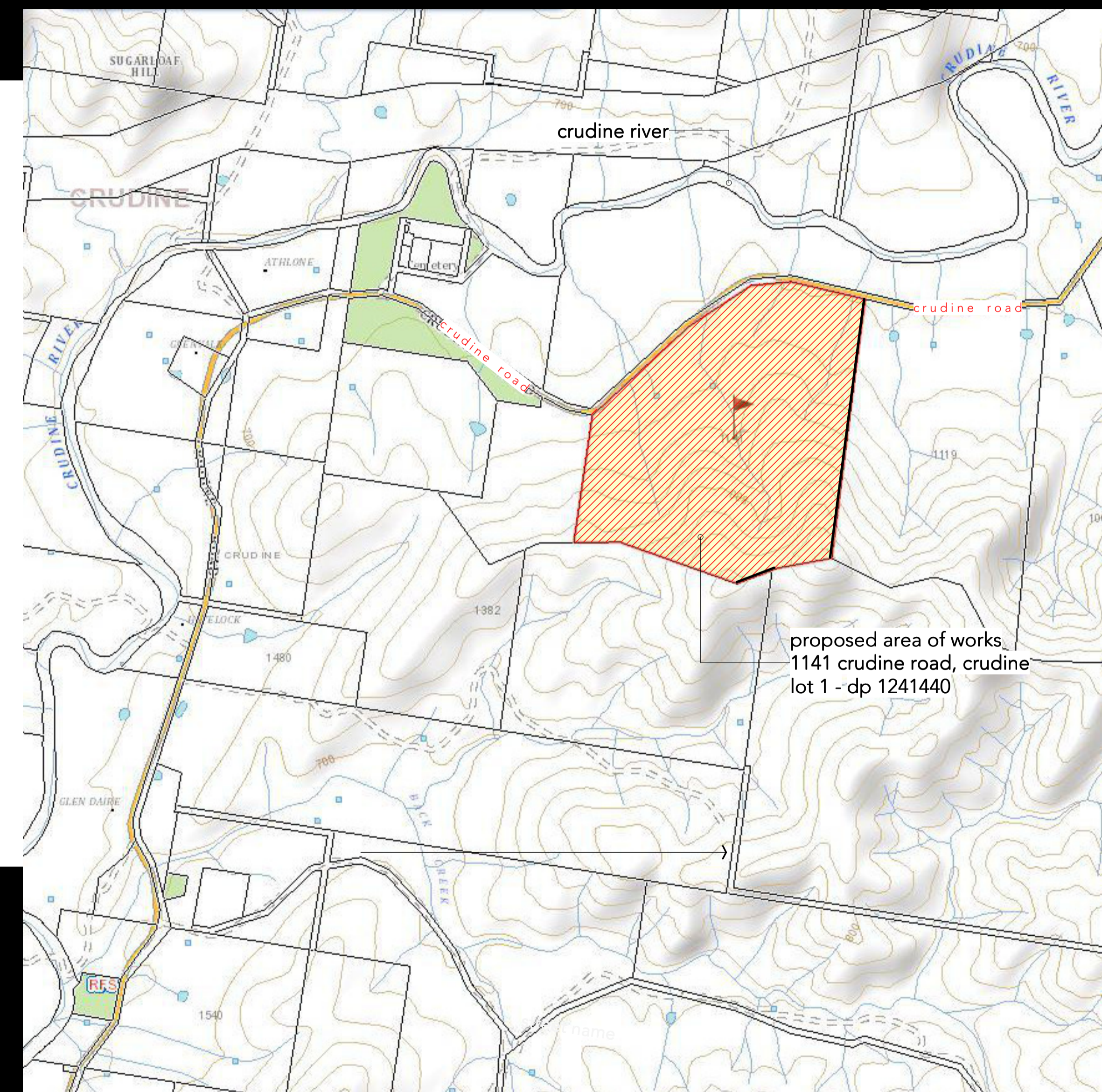


In addition to the National Construction Code series, Building Code of Australia Vol. 2, 2019, the Plumbing Code of Australia, 2019 & the building regulations applicable to the state of New South Wales, the following applicable Australian Standards & codes of practice are to be adhered to throughout the documentation & construction works:

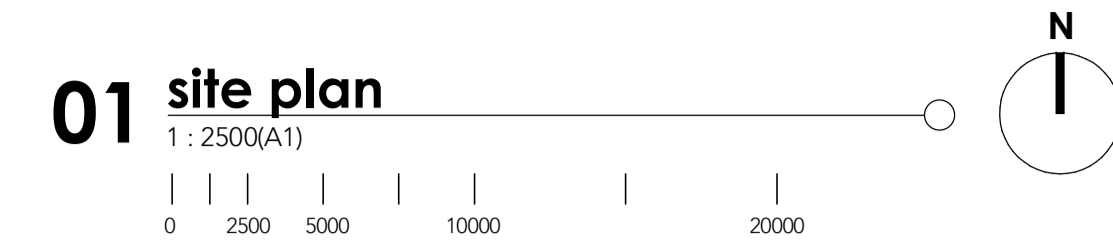
AS3000 Electrical installations; buildings, structures & premises (known as the saa wiring rules)

These drawings shall be read in conjunction with all architectural & other consultants drawings & specifications & with such other written instructions as may be issued during the course of the contract. All discrepancies shall be referred to 'Barnson Pty Ltd' for a decision before proceeding with the work.

All dimensions are in millimetres unless stated otherwise & levels are expressed in metres. Figure dimensions are to be taken in preference to scaled dimensions unless otherwise stated. All dimensions are nominal, and those relevant to setting out & off-site work shall be verified by the contractor before construction & fabrication.



proposed area of works
1141 crudine road, crudine
lot 1 - dp 1241440



note: final levels to be confirmed on site in consultation with client.

site notes:

general
This plan is prepared from a combination of field survey & existing records for the purpose of designing new constructions on the land & should not be used for any other purpose. The title boundaries as shown hereon were not marked at the time of survey & have been determined by plan dimensions only & not by field survey.

Services shown hereon have been located where possible by field survey. If not able to be so located services have been plotted from the records of relevant authorities where available & have been noted accordingly on this plan. Where such records either do not exist or are inadequate a notation has been made hereon.

Contractors must verify all dimensions & existing levels on site prior to commencement of work.

Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services & detailed locations of all services, including:

- notify A.G.L
- obtain telstra's "duty of care" document regarding working in the vicinity of telstra plant.
- verify co-axial/optic fibre cable location

Subsequent registered or other surveys in this area may affect the boundary definition shown on this plan. Any differences so caused to the boundary definition shown on this plan are beyond the control of Barnson Pty Ltd who can accept no responsibility for such differences.

All work to be undertaken in accordance with the details shown on the drawings, the specifications & the directions of the superintendent. Contractors must verify all dimensions & existing levels on site prior to commencement of work.

Where new works about existing the contractor shall ensure that a smooth even profile free from abrupt changes is obtained.

The contractor shall arrange all survey setout to be carried out by a registered surveyor.

drainage

Surface water drainage must be prevented from entering the building with fgl sloping 50mm over the first 1m away from the building & the finished slab height at a minimum ffl 150mm above fgl or minimum 100mm above fgl in sandy, well drained areas of low rainfall intensity (Q20 125mm), or 50mm above impermeable paved or concreted areas all in accordance with the NCC, Vol. 2, 3.1.2.3

Site drainage is to be constructed according to AS/NZS 3500.3 - Stormwater drainage or AS/NZS 3500.5 - Domestic installations & the NCC, Vol. 2, 3.1.2.0.

The contractor shall provide all temporary diversion drains & mounds to ensure that at all time exposed surfaces are free draining & where necessary excavate sumps & provide pumping equipment to drain exposed areas.

DA ISSUE



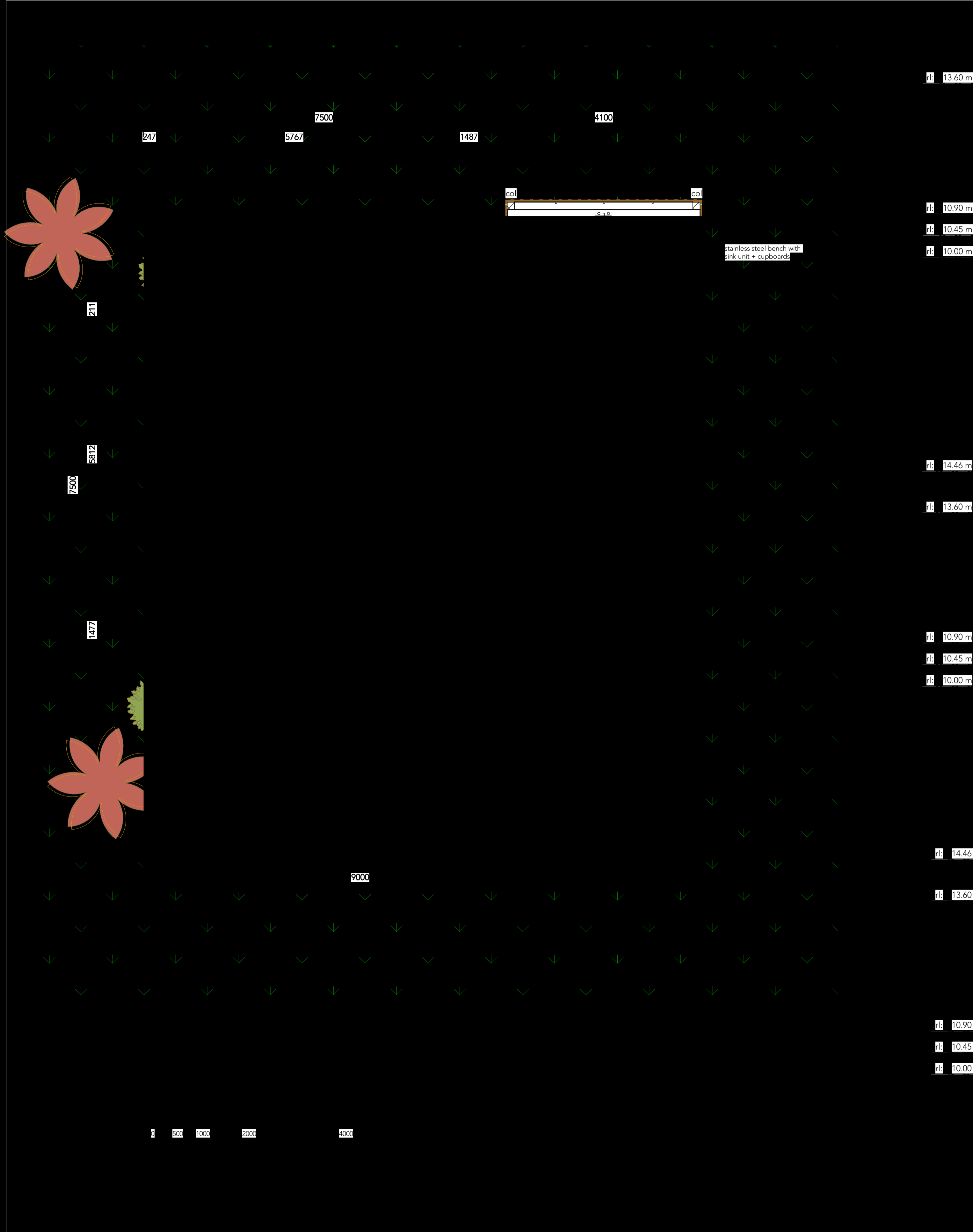
BARNSON PTY LTD
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Tamworth NSW 2340
Contact Us
t 1300 BARNSON (1300 227 676)
e generalenquiry@barnson.com.au
w www.barnson.com.au
Bathurst | Coffs Harbour | Dubbo | Mudgee | Orange | Sydney | Tamworth

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH GENERAL BUILDING DRAWINGS, SPECIFICATIONS & OTHER CONSULTANTS DRAWINGS APPLICABLE TO THIS PROJECT. ALL DIMENSIONS IN MILLIMETRES. DO NOT SCALE. DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCEMENT OF WORK. REPORT DISCREPANCIES TO BARNSON PTY LTD. NO PART OF THIS DRAWING MAY BE REPRODUCED IN ANY WAY WITHOUT THE WRITTEN PERMISSION OF BARNSON PTY LTD.

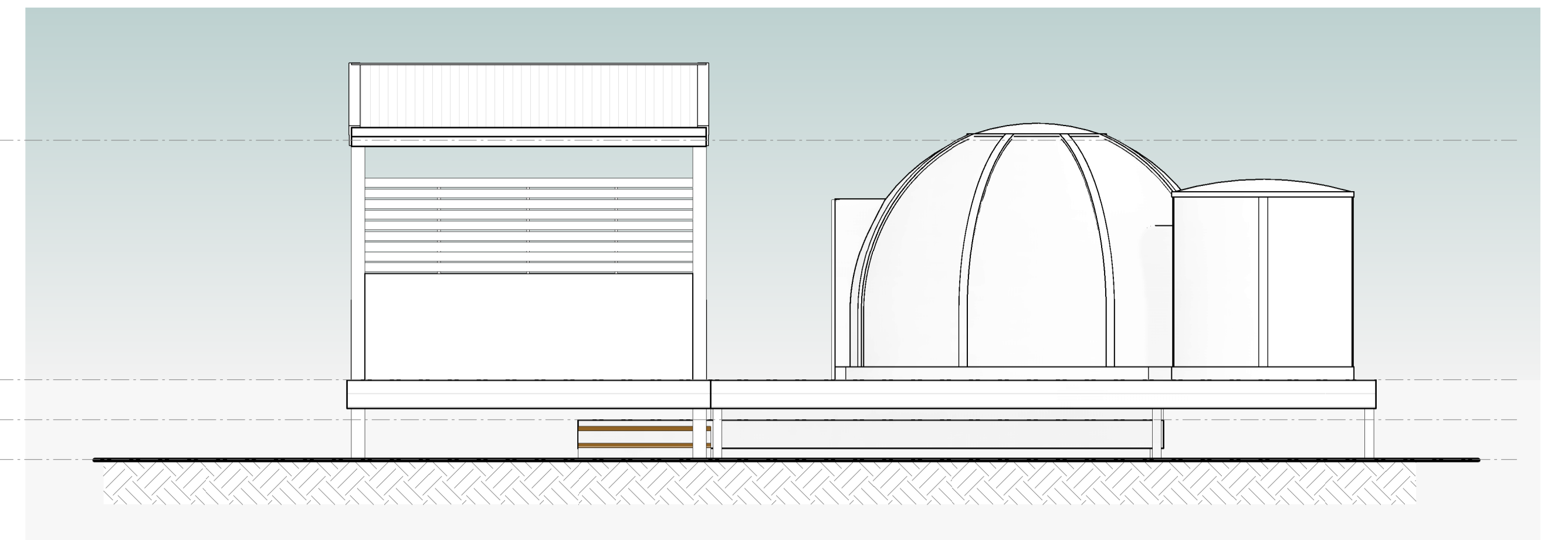
Client: **MR RASHI TOTAMUNA**
Project: **PROPOSED GLAMPING TENT TOURIST FACILITY @ 1141 CRUDINE ROAD, CRUDINE NSW 2795**
Drawing Title: **SITE PLAN**

Rev	Date	Amendment
A	31.05.2022	CONCEPTS FOR REVIEW
B	20.06.2022	ISSUE FOR DA

Design	Drawn	Check
LO	AJ	KG
Sheet 02 of 03		
Drawing Number		Revision
38794- A02		B

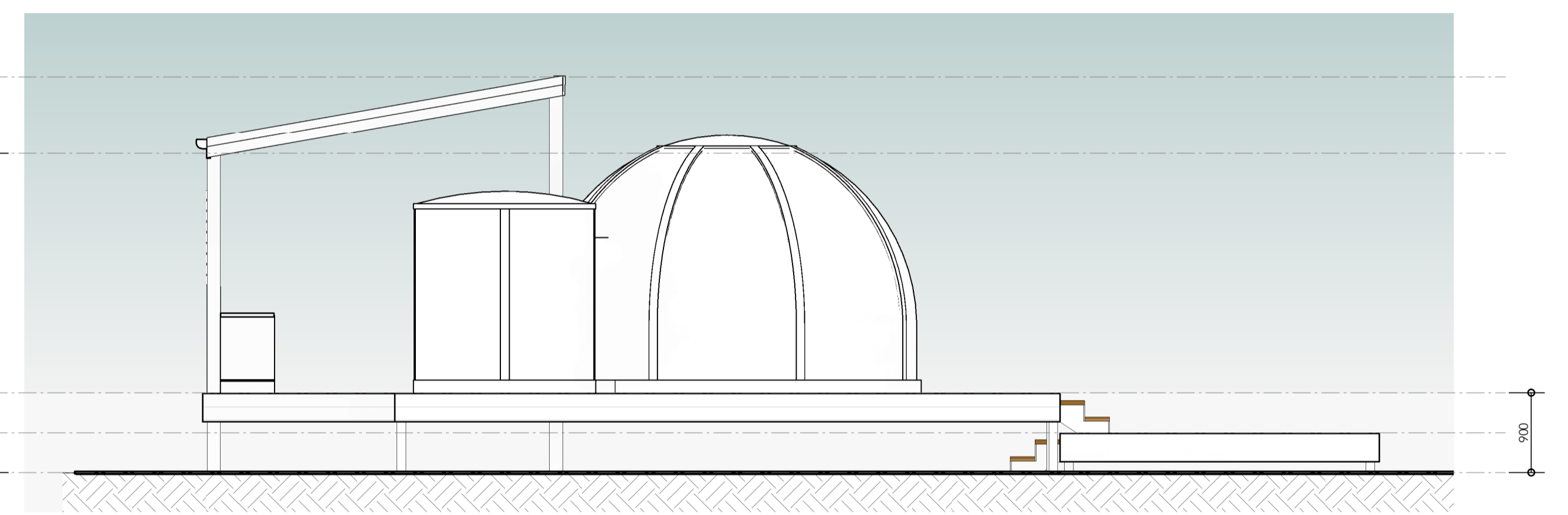


- 13.60 m level 2
- 10.90 m tent / deck level
- 10.45 m seating area level
- 10.00 m camp kitchen level



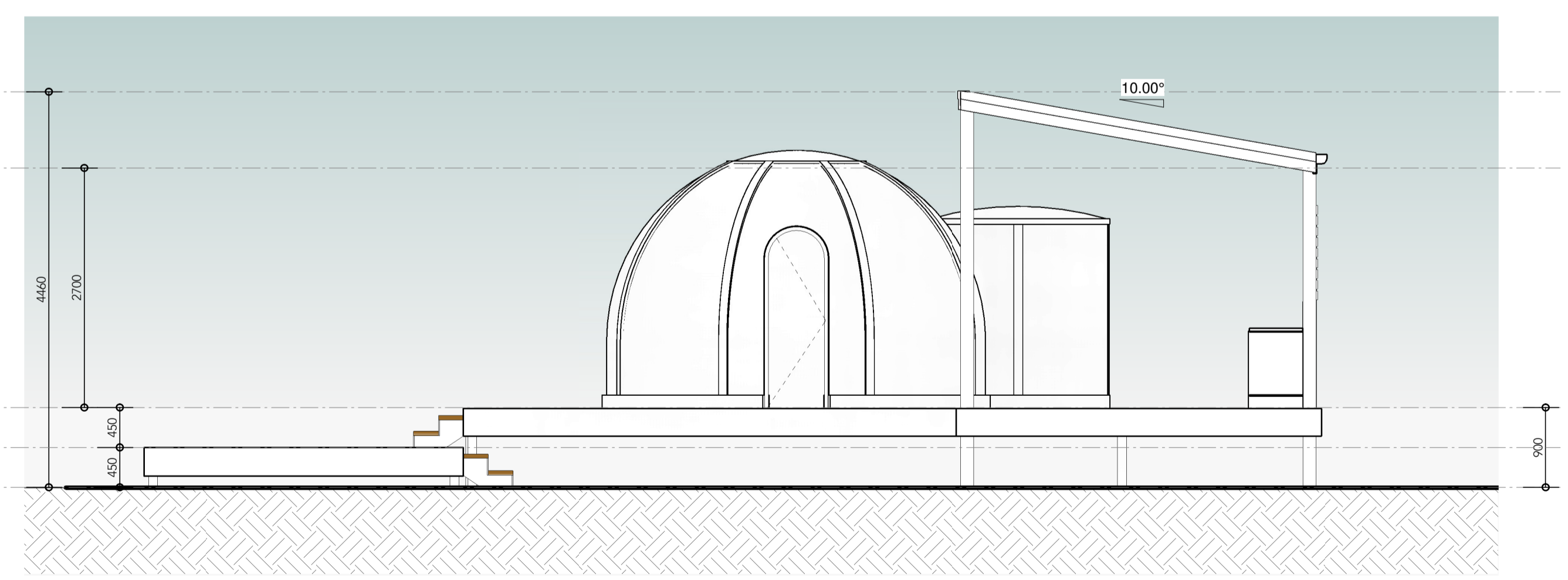
03 elevation: north facade
1 : 50 (A1)

- 14.46 m max height
- 13.60 m level 2
- 10.90 m tent / deck level
- 10.45 m seating area level
- 10.00 m camp kitchen level



04 elevation: west facade
1 : 50 (A1)

- 14.46 m max height
- 13.60 m level 2
- 10.90 m tent / deck level
- 10.45 m seating area level
- 10.00 m camp kitchen level



05 elevation: east facade
1 : 50 (A1)



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Client:
Project:
Drawing Title:

Rev	Date	Amendment	Design	Drawn	Check

Sheet of
Drawing Number Revision

DA ISSUE

GENERAL NOTES:

These documents show the general arrangement of the building and include some items not supplied by Steelx Pty Ltd. Refer to the quotation provided by Steelx Pty Ltd. for nomination of all items to be provided by Steelx Pty Ltd. All items not nominated therein shall be supplied and installed by others.

These Plans are provided to assist with erection of your steel building. All Plans are not to Scale.

Any person constructing the building needs to be competent in general construction processes. You will require a licence to construct the building (consult your state building authority). You should also ensure that relevant insurance has been taken out.

(A) ENGINEERING AND CONSTRUCTION

The building is fully engineered and must be built in accordance with the plans and the bill of materials (BOM) for the engineering to be valid. This includes the proper use of construction bracing, fixing of all screws and bolts.

WARNING: Construction Bracing is essential to ensure the site and building are safe during the construction process. The building is not designed to withstand erection forces, nor to stand up by itself when it is partially complete. Consequently, construction bracing is critical. DO NOT REMOVE CONSTRUCTION BRACING UNTIL THE BUILDING IS COMPLETE.

Construction plans are required to be the latest plans provided by Steelx Pty Ltd. Earlier plans may have become outdated due to engineering changes and should not be used. The plans and drawings are extensive and give all the information needed for a competent person to erect the building.

(B) DELIVERY AND COMPONENTS

The owner has been requested to check off the BOM after the building delivery. You should check that you are able to locate all materials nominated in the BOM. You should also confirm length, size and thickness, nominated in the BOM is what has been provided. Any missing items are the responsibility of the client once correct delivery has been confirmed as per terms and conditions.

(C) DESIGN CRITERIA

These standard buildings plans have been prepared to comply with the following criteria: Design Wind Classification as noted in the engineer's letter.

(D) DOCUMENTATION SUPPLIED BY STEELX PTY LTD.

All documentation provided is the intellectual property of Steelx Pty Ltd, for the exclusive use of Steelx customer nominated. No other persons is authorised to use or replicate any information or designs shown. Plans including floor plans, elevations, section and bracing elevations, structural engineer's certification for the building.

(E) ADDITIONAL DOCUMENTATION TO BE SUPPLIED BY PURCHASER/OWNER

The Purchaser/Owner is responsible for:

- (i) Provision of Soils Report for the site and in the building are on which the building is to be erected
- (ii) Provision of the Site Plan showing the Real Property Description of the site, levels and contours, easements, site services, site features including vegetation, proposed sewerage and stormwater drainage, proposed pad levels, extent of cut and fill, locations and orientation of the building, driveways, retaining walls etc.
- (iii) Nomination of termite risk management procedures to be undertaken in compliance with NCC 2019
- (iv) Compliance with specific site constraints e.g.:
 - local estate covenants, building envelopes, plan of development etc.
 - bushfire management requirements (NCC 2019)
 - shadow diagrams etc.
- (v) Energy efficiency assessment and compliance with all conditions thereof
- (vi) Any additional documentation required by Local Authority for approval purchase not otherwise provided by Steelx Pty Ltd. as scheduled in class (B) above
- (vii) Supply of window and doors to suit plans and frames supplied

(F) BUILDING CONSTRUCTION REQUIREMENTS

The Purchaser/Owner is to be ensured that all building construction complies with: Workplace Health and Safety requirements for the particular State or Territory NCC 2019 and all subsequent amendments and standards contained therein, including:

- All roofing and wall cladding to comply with NCC 2019
- All glazing to comply with NCC 2019
- All stairs and balustrades to comply with NCC 2019
- Stairs are provided by owner and designed by others

(G) MOISTURE MANAGEMENT

It is the responsibility of the Builder to ensure Moisture Management is provided during framed wall construction through effective use of flashings, sealants and vapour permeable membrane such as vapour permeable sarking, building wraps, vapour retarders and damp-proof course. Before installing cladding, all wall openings, penetrations, intersection, connections, window sills, head and jambs must incorporate appropriate flashing and water proofing materials. Components and their installation that are used to manage moisture in framed wall construction must, at a minimum, comply with the requirements of relevant standards, building codes and manufacturer's specification.

(H) EXTERIOR CLADDING

Selected wall cladding to have a max allowance of 15 kilograms per square metre.

(I) SMOKE DETECTORS

Smoke alarms (consumer mains power) to be installed in accordance with NCC 2019 and must comply with AS3786 and relevant state legislative requirement.

(J) TOILET ACCESS

Provide lift off hinges to all toilet doors with internal length of 1900mm or less

(K) SLAB AND FOOTING

- All slab and footings have been designed to AS2870. Soil classifications covered by this design include A, S, M for all designs, raft slab designs include H1 and H2 designs.
- P, E, H1 and H2 including H1-D and H2-D are not covered by the strip footing design. Specially engineered footing designs are required for all soil types not explicitly mentioned.
- Slab and footings are designed to be formed on natural soil with a minimum bearing capacity of 100 kPa.

* Refer to 6.0 Slab and Foundation Notes for detailed information about Slab and Foundation construction

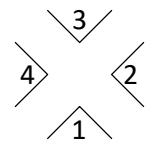
Drawings Index

Page	Drawings
1.0	General Notes
2.0	Floor Plan
3.0	Elevations
4.0	Section
5.0	Connection Details
6.0	Slab and Foundation Notes
7.0	Slab Layout
8.0	Concrete Beam Details

*Supplier and Engineered drawings supplied with construction plans only

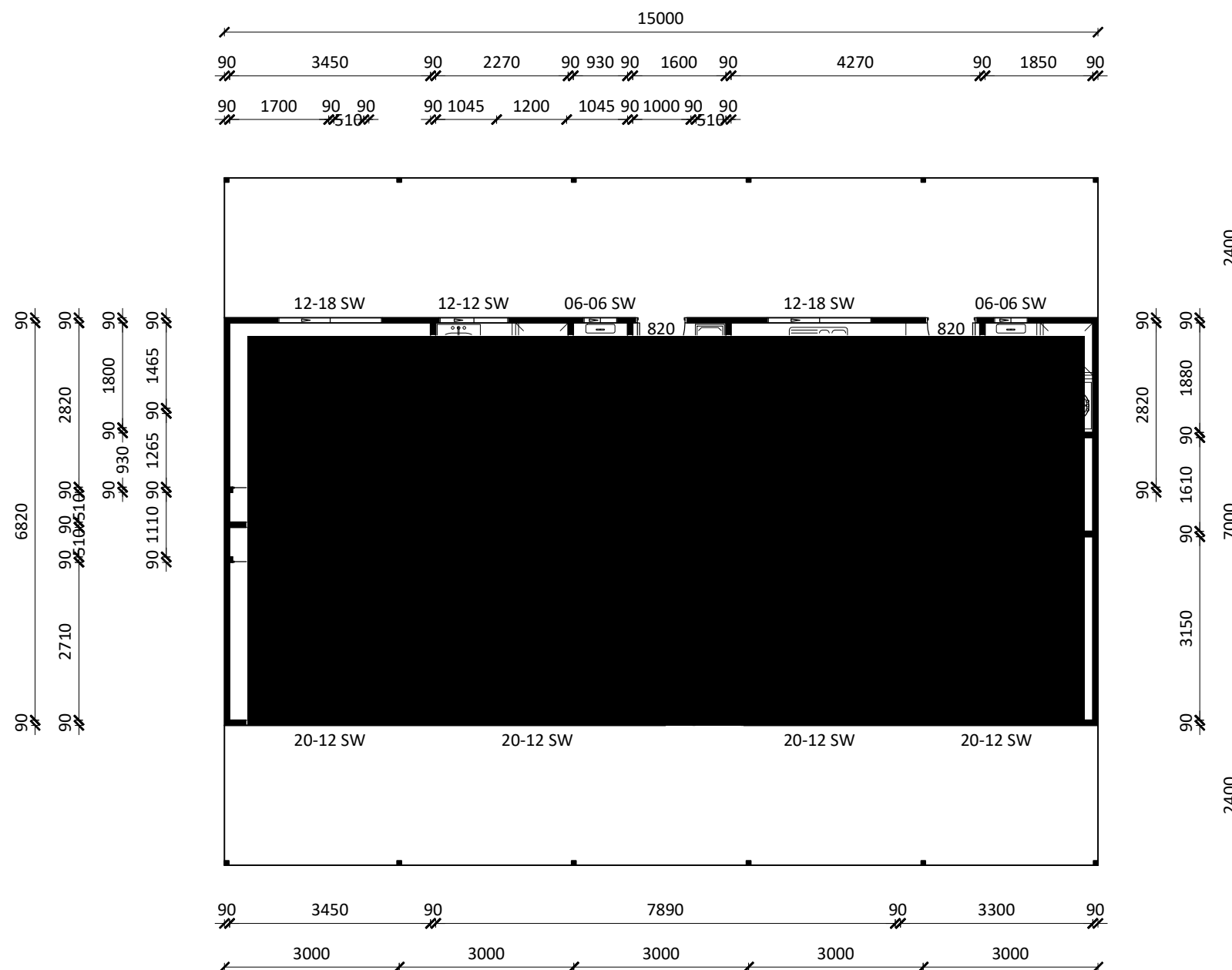
1.0 GENERAL NOTES

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ELEVATIONS

FLOOR AREA	105.00 sqm
VERANDAH	72.00 sqm
TOTAL	177.00 sqm



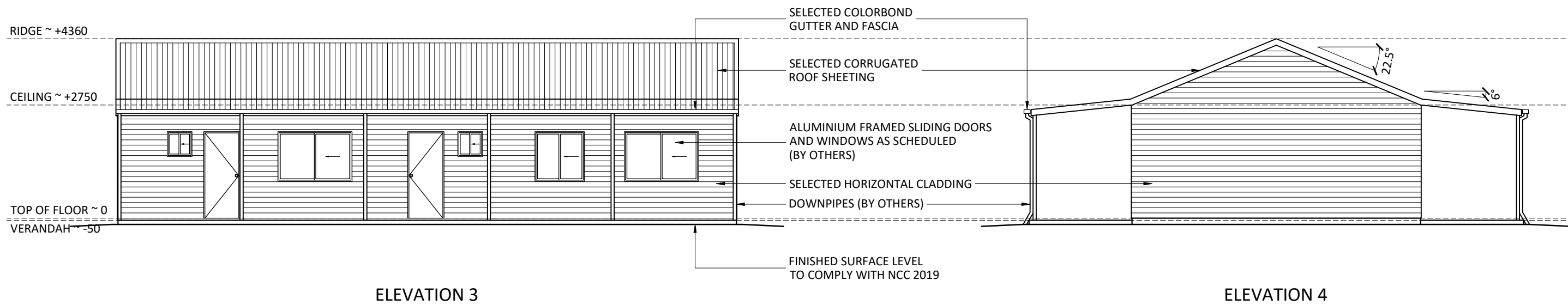
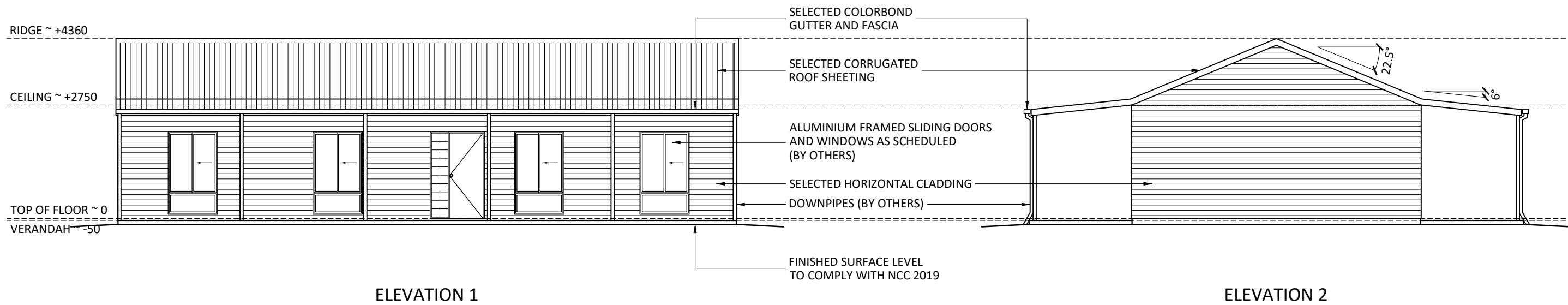
2.0 FLOOR PLAN

NOTE: Amenities and Furnishing shown are illustrative only



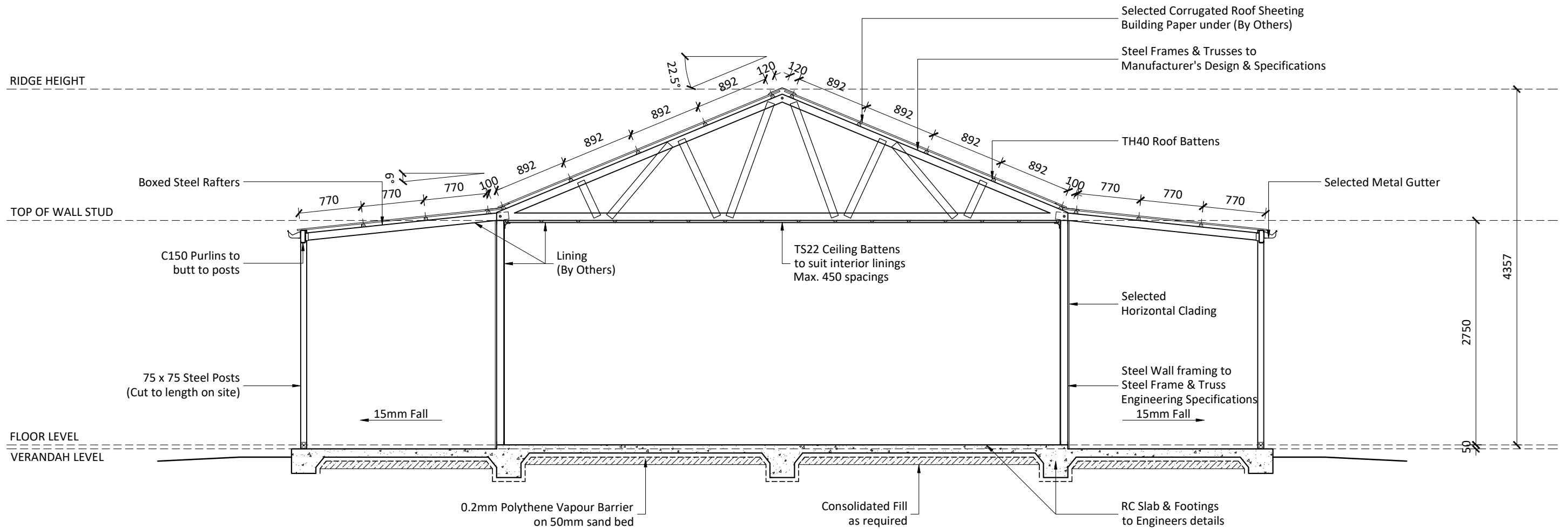
DENOTES SMOKE ALARM LOCATION

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3.0 ELEVATIONS

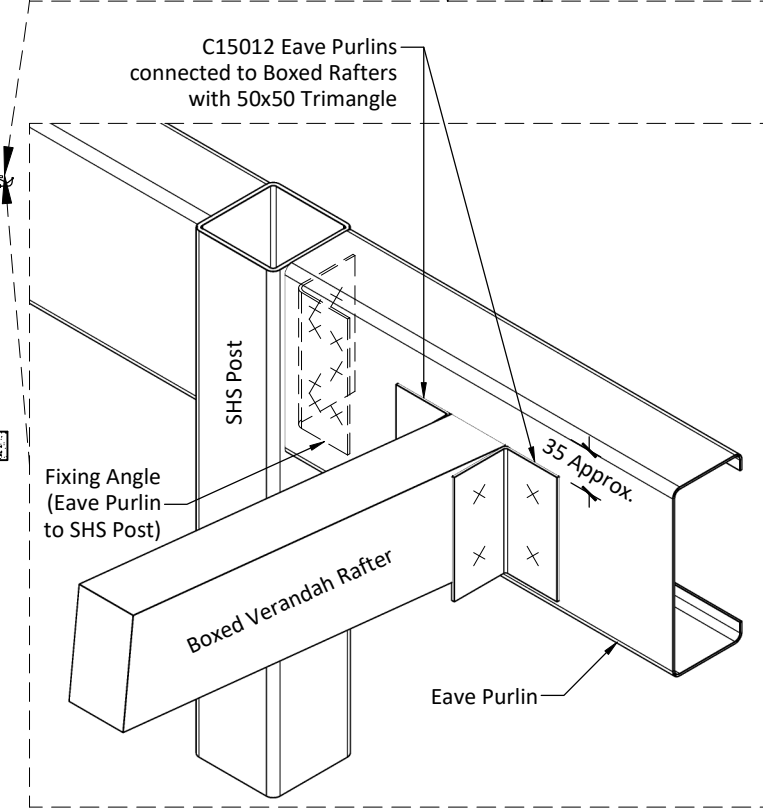
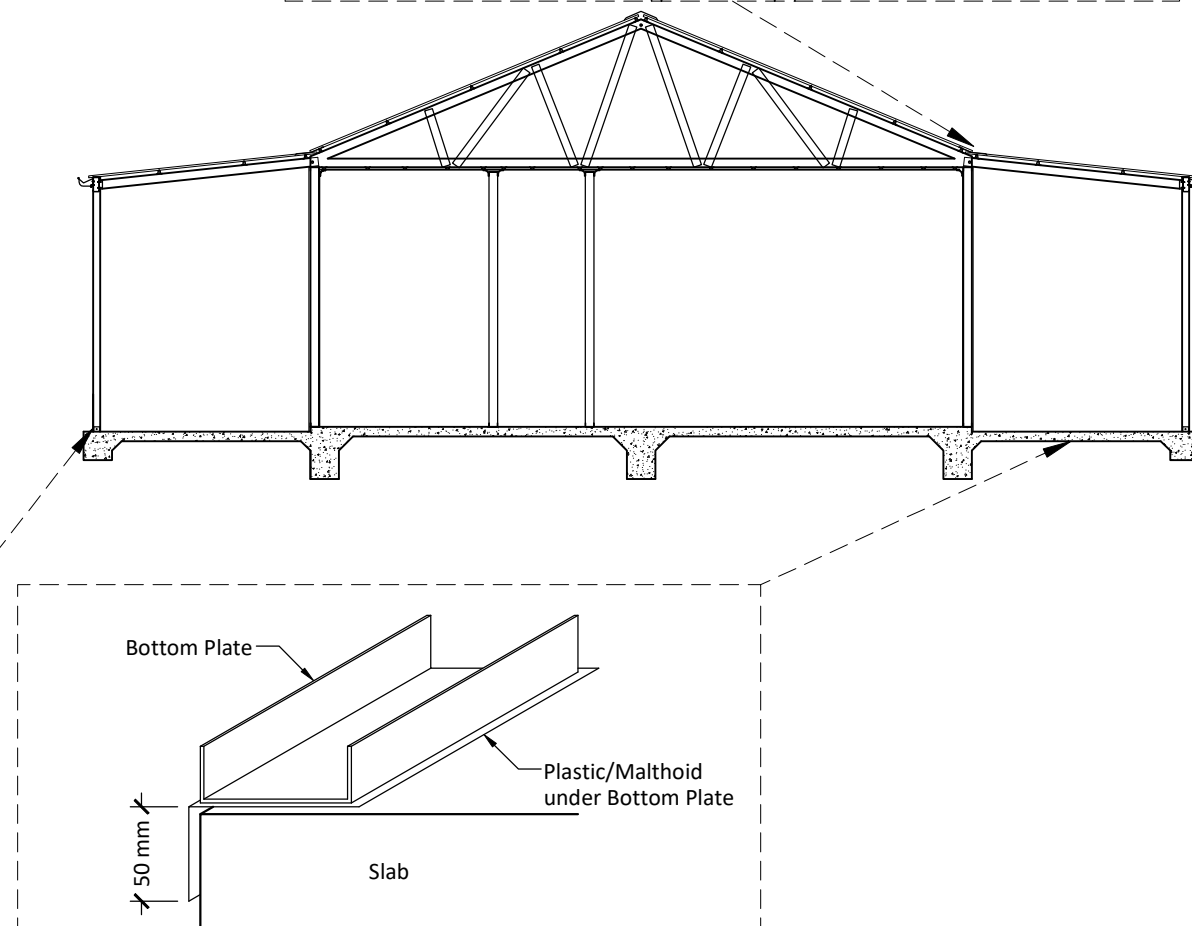
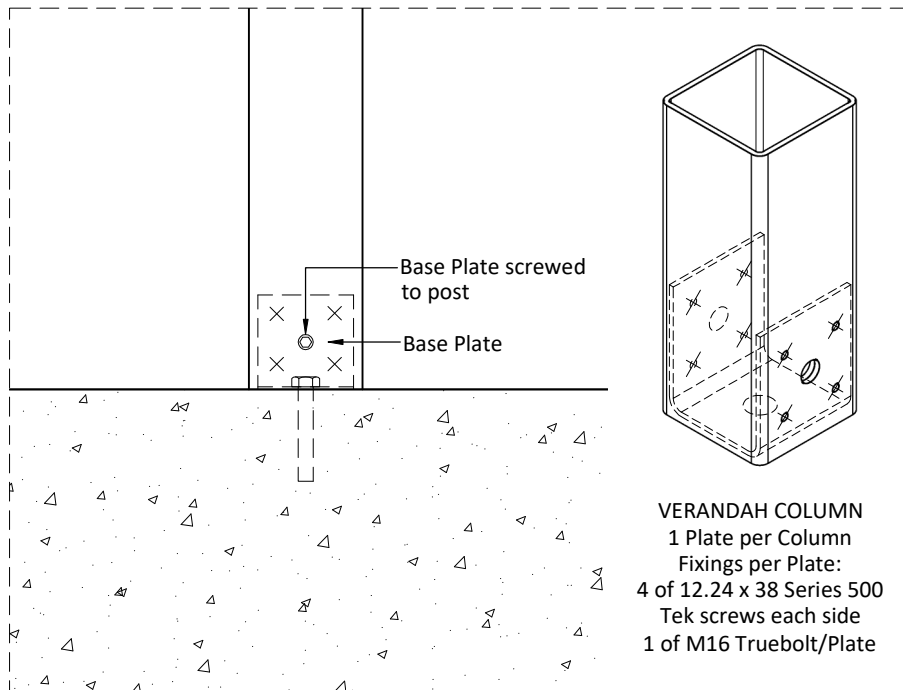
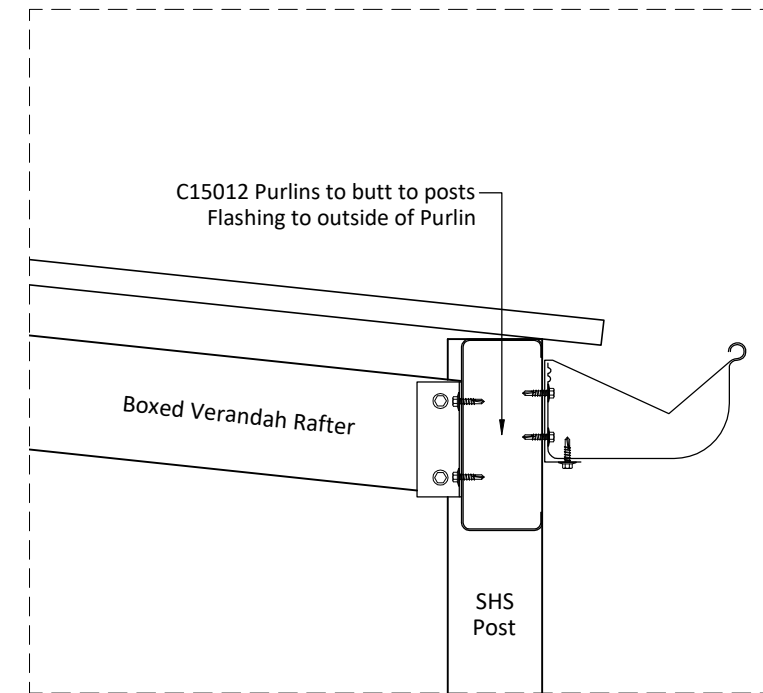
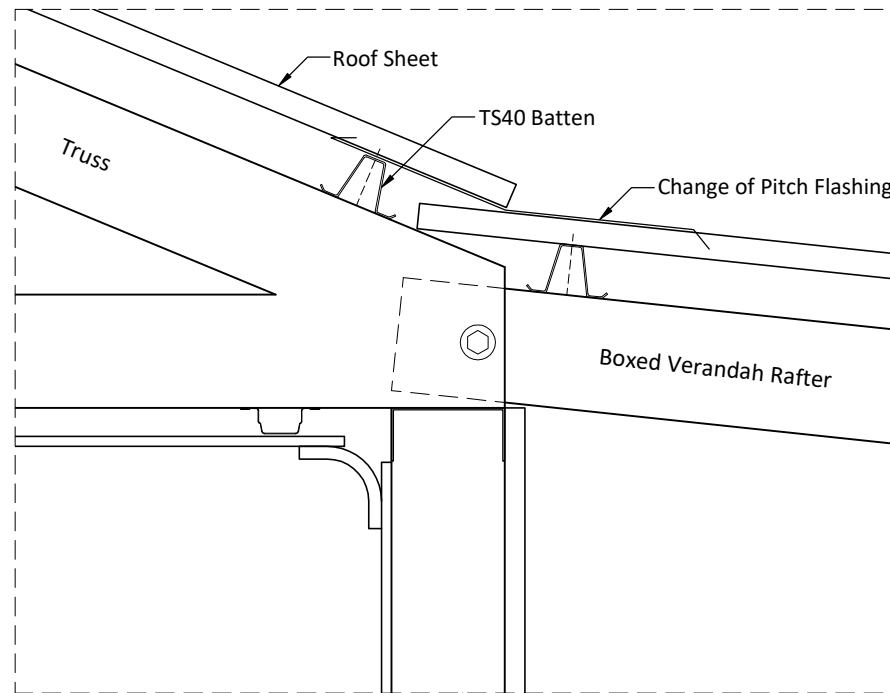
Purchaser Name: Rashiru Totamuna		Engineering NOT FOR CONSTRUCTION Page 3 of 11 © Copyright Steelx IP Pty Ltd	Seller: TSC Orange TDS Building NSW Pty Ltd Phone: 0466 967 444 Fax: Email: orange@theshedcompany.com.au	Apex Engineering Group PTY LTD ACN 632 588 562 ME Aust. (Registered NER Structural) 5276680 QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T : 303557ES; Practising Professional Structural & Civil Engineers
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4.0 SECTION

NOTE: Section shown may not reflect actual Truss and Web pattern on site

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5.0 CONNECTION DETAILS


NOTES: All overlapping flashings must be Siliconed as per the ridge cap fixing detail.

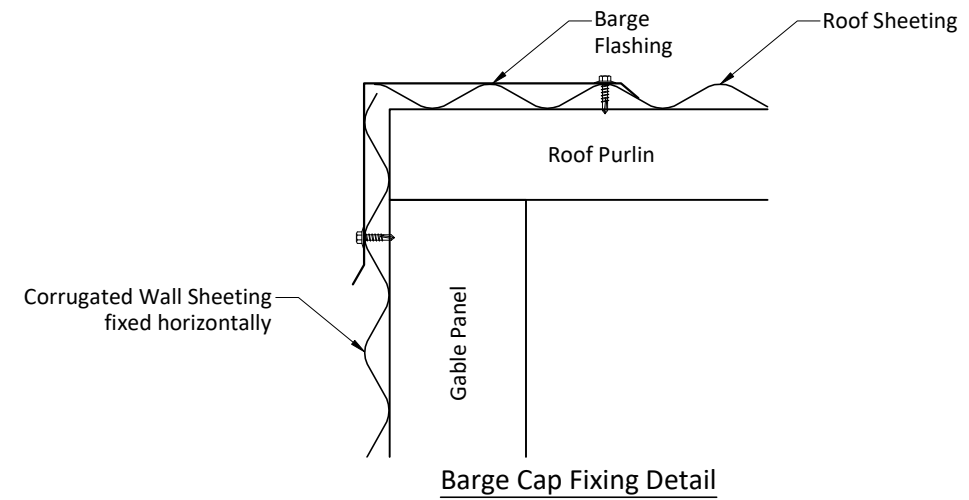
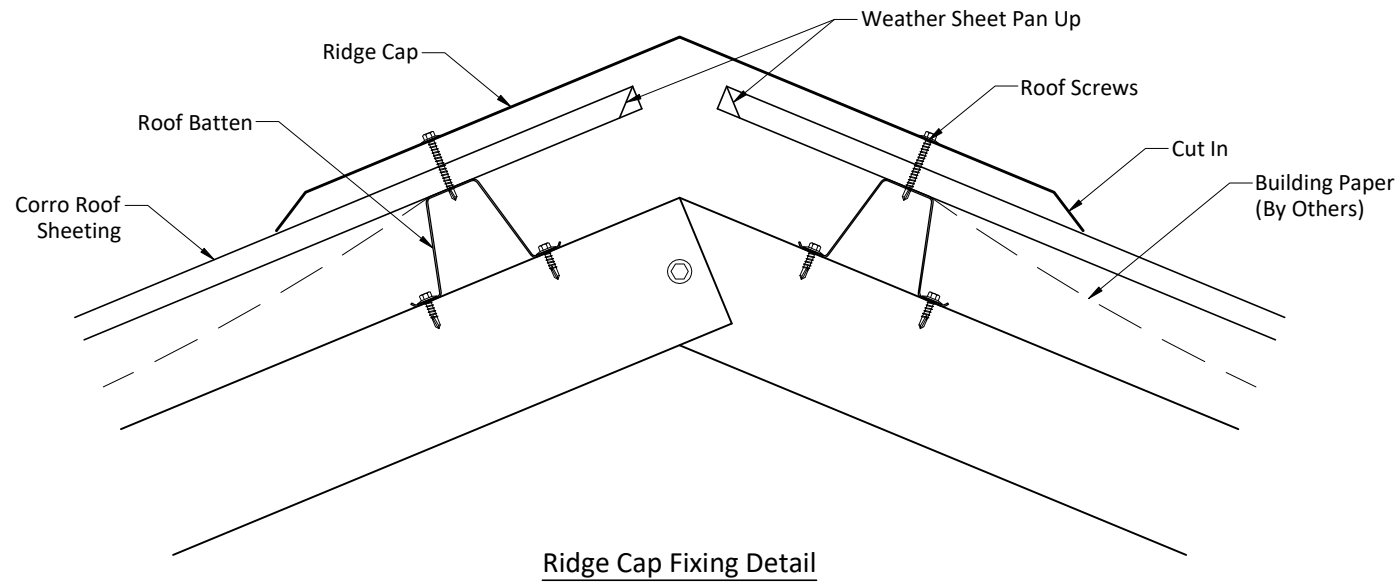
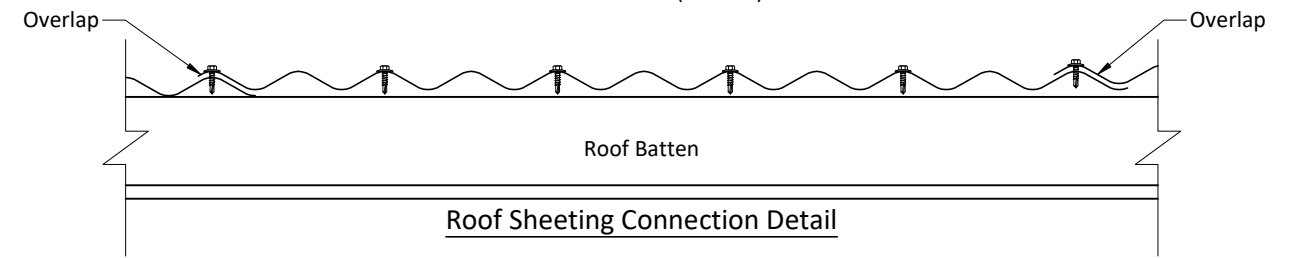
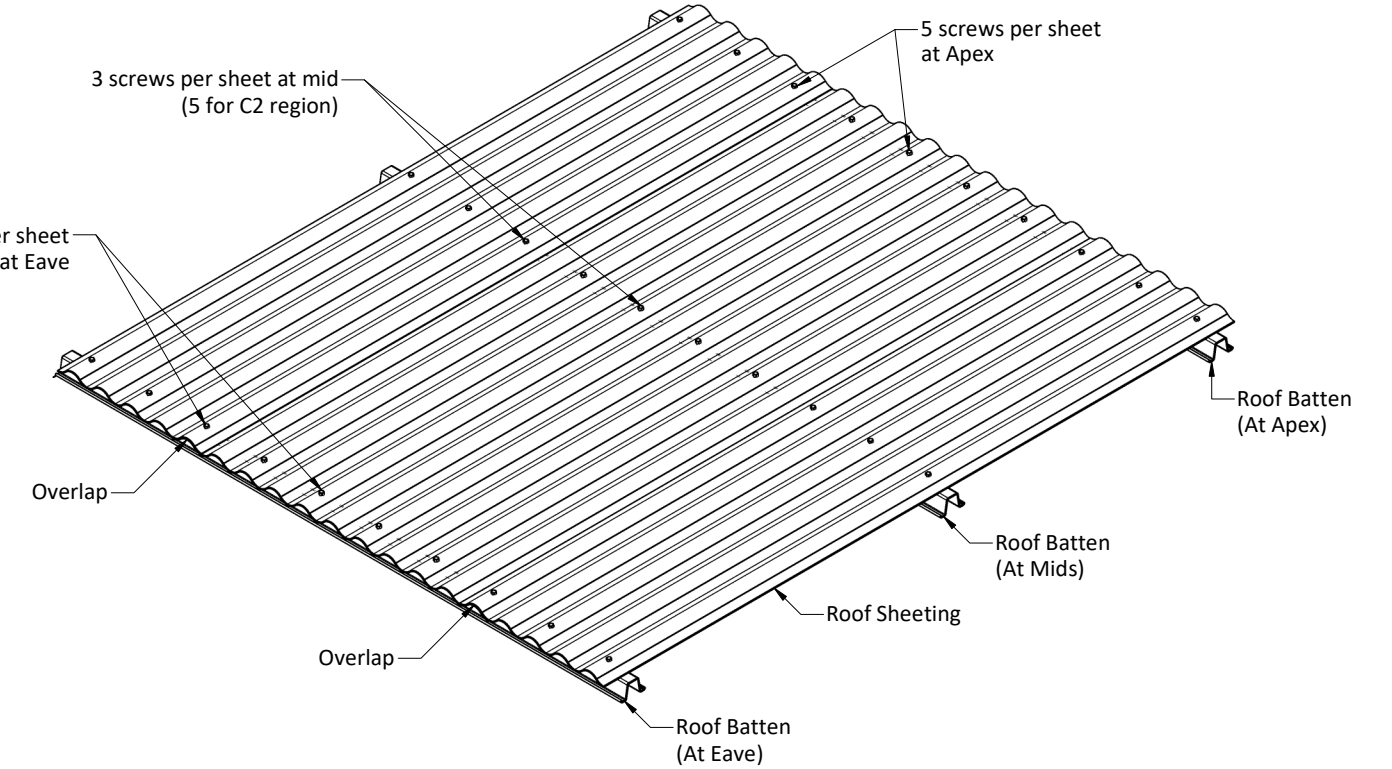
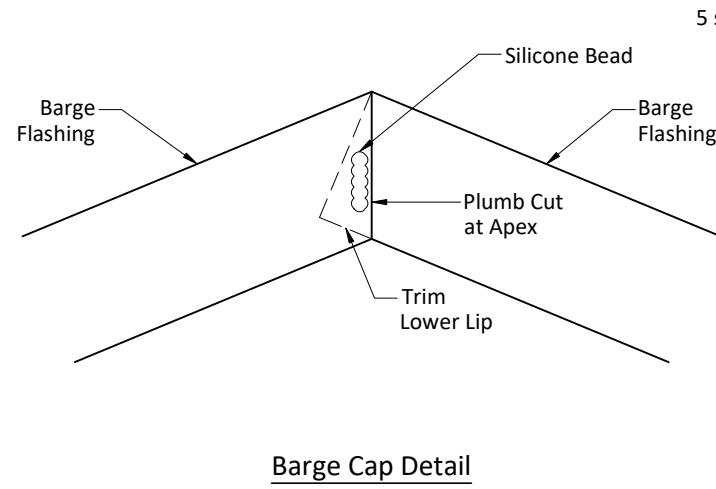
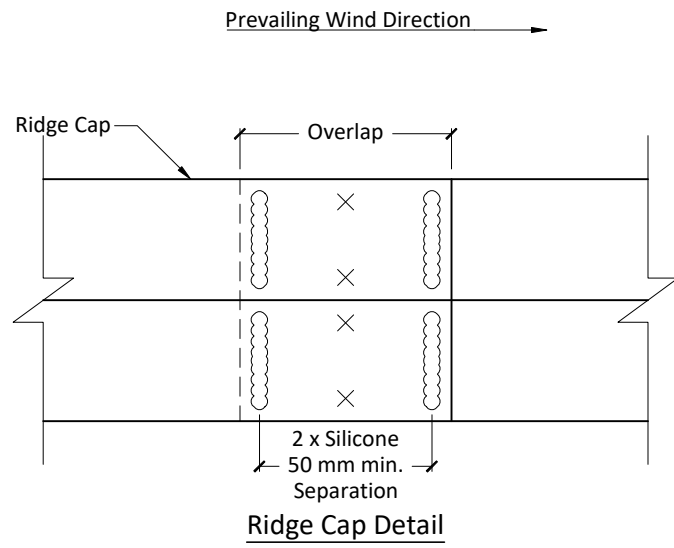
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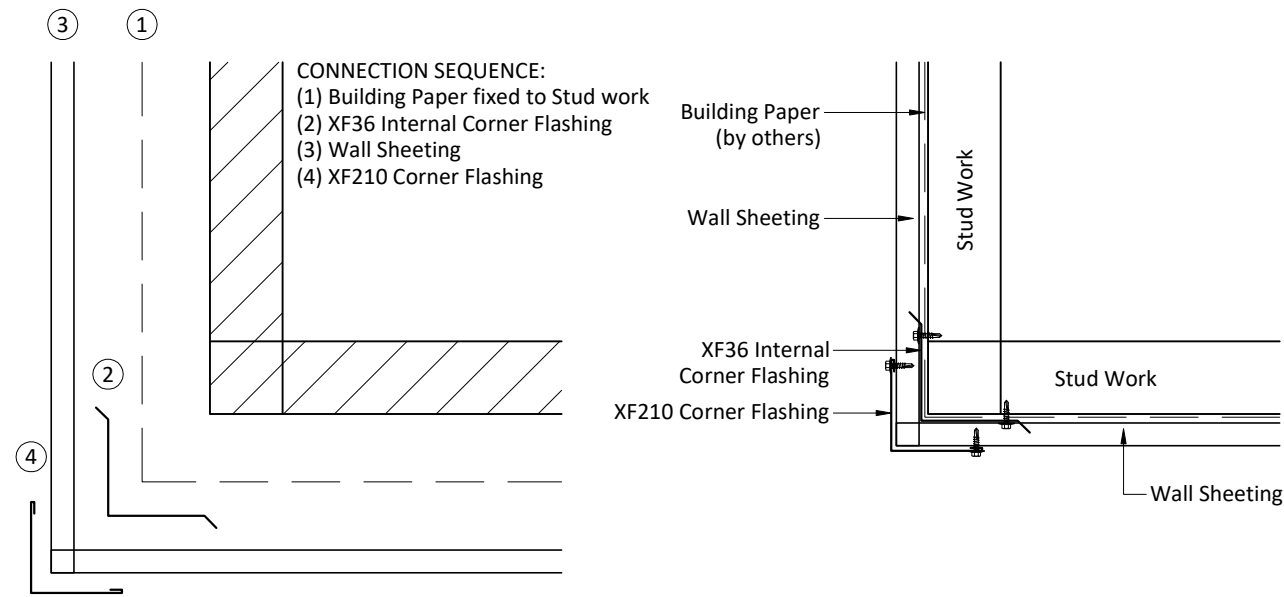
Signature  John Ronaldson
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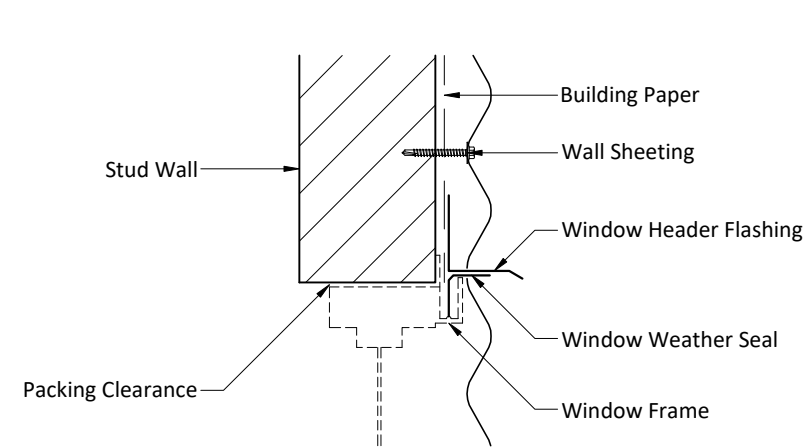
NOTES:
All overlapping flashings must be Siliconed as per the ridge cap fixing detail.

5.1 ROOF SHEETING AND FLASHING

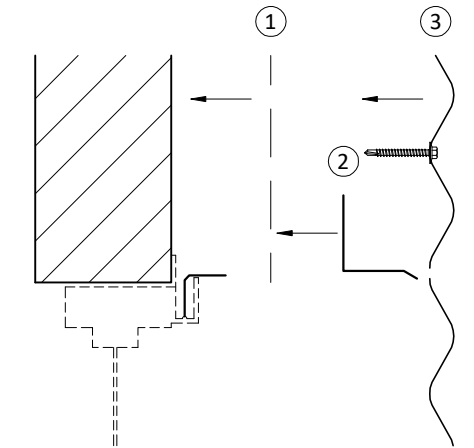
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Drawing # TORA220042 - 2	Print Date: 17/06/22				



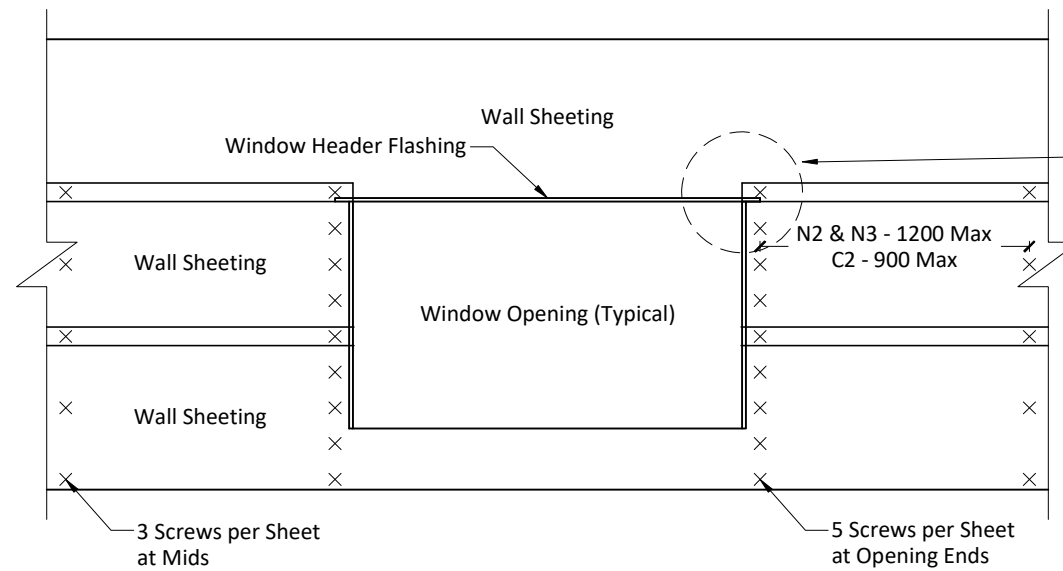
Corner Connection Detail



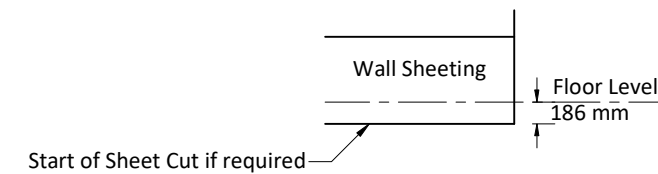
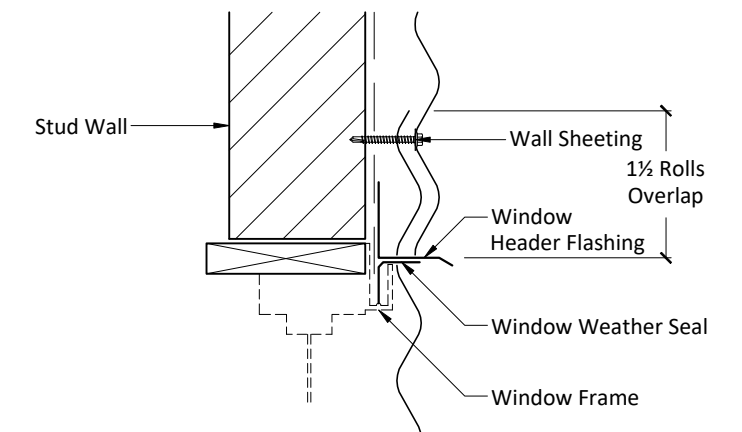
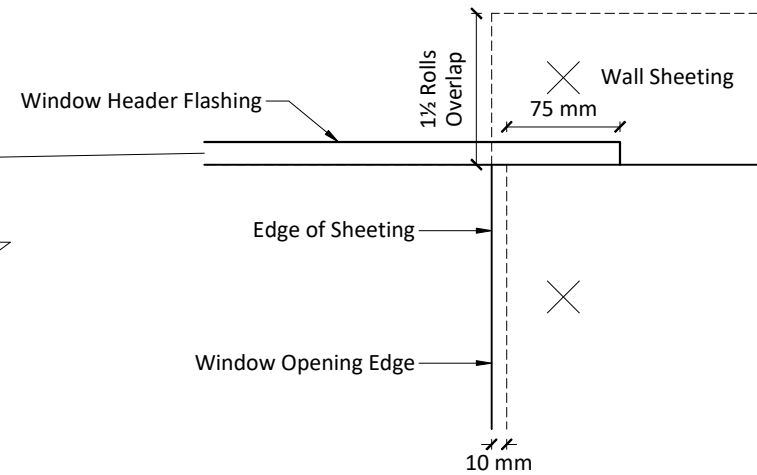
Window Header Connection Detail



CONNECTION SEQUENCE
 (1) Building Paper Fixed to Stud
 (2) Window Header Flashing
 (3) Wall Sheeting



Wall Sheeting Connection Detail



NOTES:
 All overlapping flashings must be Siliconed as per the ridge cap fixing detail.

5.2 WALL SHEETING AND FLASHING

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GENERAL NOTES ON STIFFENED RAFT SLAB

G1. These drawings are only suitable for sites which have had a soil test carried out and where the ground movement is predominantly due to soil reactivity under normal moisture conditions. The designs attached only cater for site classified as A, S, M, M-D, H1, H1-D, H2, and H2-D.

G2. **P and E sites are NOT covered.** These sites should be designed by a local geotechnical engineer. Where a site requires cut and fill over 300mm across the pad area, then

G3. Fill placed after the Geotechnical report should be certified by a geotechnical engineer to level 1 in accordance with AS3796.

G4. Site drainage to protect the slab and footings from excessive moisture is very important. Refer to B2.2 and B2.3

G5. Slab to be founded on a minimum of 50mm thick compacted granular base. Vapour barrier (Visqueen membrane) to be placed under the entire slab. Bar chairs to be placed at a maximum of 900mm centres in both directions.

G6. Concrete shall be a minimum of 32MPa, a maximum of 80mm slump and a maximum of 20mm aggregate. Concrete must be pencil vibrated and cured for at least 7 days.

G7. Provisions for control of or allowance for shrinkage cracking shall be as follows:
Where brittle floor coverings (ceramic tiles and the like) are to be used over an area greater than 16m², extra measures shall be taken to control shrinkage cracking. Such measures shall include one or more of the following

* The amount of slab reinforcement shall not be less than SL92 or equivalent throughout the slab panels where brittle finishes are to be used. Alternatively, an additional sheet of slab mesh shall be placed in those areas.

* The bedding system for the brittle coverings shall be selected on the basis of the expected slab movement and the characteristics of the floor coverings.

* The placement of floor coverings shall be delayed. NOTE: A minimum period of three months drying of the concrete is usually required. Refer to "Foundation Performance and Maintenance" below.

FOUNDATION PERFORMANCE AND MAINTENANCE

B1 GENERAL

The designs and design methods given in this Standard are based on the performance criteria in clause 1.3. Importantly, significant damage may be avoided provided that foundation site conditions are properly maintained. This is expressed in section 1 by the statement that the probability of failure for reasonable site conditions is low, but is higher if extreme conditions are encountered. It is neither possible nor economical to design for the extreme conditions that could occur in the foundations if a site is not properly maintained. The expected standard of foundation maintenance is described in paragraph B2

Some minor cracking and movement will occur in a significant proportion of buildings, particularly those on reactive clays, and the various levels of damage are discussed in paragraph B3.

The performance requirements of a concrete floor in respect to shrinkage cracking and moisture reaction with adhesives are discussed in Paragraph B4.

A more extensive discussion of the material in Paragraphs B2 to B4 is contained in the CSIRO pamphlet, 10-91, "Guide to Home Owners on Foundation Maintenance and Footing Performance" and its recommendations should be followed.

B2 FOUNDATION MAINTENANCE

B2.1 Foundation soils

All soils are effected by water. Silts are weakened by water and some sands can settle if heavily watered, but most problems arise on clay foundations. Clays swell and shrink due to changes in the moisture content and the potential amount of movement is implied in the site classification in this Standard, which is designed as follows:

- (a) A means stable (non-reactive).
- (b) S means slightly reactive.
- (c) M means moderately reactive
- (d) H1 and H2 means highly reactive.
- (e) E means extremely reactive. (NOT COVERED BY THIS DESIGN)

Sites classified Class A and S may be treated as non-reactive sites in accordance with Paragraph B2.2. Sites classified as M, H1, H2 and E should comply with the recommendations given in Paragraph B2.3.

B2.2 Class A and S sites

Sands, silts and clays should be protected from becoming extremely wet by adequate attention to site drainage and prompt repair of plumbing leaks.

B2.3 Class M, H1 and H2 sites

Sites classified as M, H1, H2 should be maintained at essentially stable moisture conditions and extremes of wetting and drying prevented. This will require attention to the following:

(a) Drainage of the site: The site should be graded or drained so that water cannot pond against or near the building. The ground immediately adjacent to the building should be graded to a uniform fall of 50 mm minimum away from the building over the first metre. The subfloor space for the buildings with suspended floors should be graded or drained to prevent ponding where this may affect the performance of the footing system.

The site drainage recommendations should be maintained for the economic life of the building.

(b) Limitation on gardens: The development of the gardens should not interfere with the drainage systems. Garden beds adjacent to the building should be avoided. Care should be taken to avoid over watering of gardens close to the building footings.

(c) Restrictions on trees and shrubs planting of trees should be avoided near the foundation of a building or neighbouring building on reactive sites as they can cause damage due to drying of the clay at substantial distances. To reduce, but not eliminate, the possibility of damage, tree planting should be restricted to a distance from the house of:

- (i) 1x mature height for Class H1 and H2 sites.
- (ii) ¾ mature height for Class M sites.

Where rows or groups of trees are involved, the distance from the building should be increased. Removal of trees from the site can also cause similar problems.

(d) Repair of leaks: Leaks in plumbing, including stormwater and sewerage drainage should be repaired promptly.

The level to which these measures are implemented depends on the reactivity of the site. The measures apply mostly to masonry buildings and masonry veneer buildings. For the frame buildings clad with timber or sheeting, lesser precautions may be appropriate.

B3 PERFORMANCE OF WALLS

It is acknowledged that minor foundation movements occur on nearly all sites and that it is impracticable to design a footing system that will protect the building form movement under all circumstances. The expected performance of footing systems design in accordance with the Standard is defined in terms of the damage classifications in Table C1, Appendix C.

Crack width is used as the major criterion for damage assessment, although tilting and twisting distortions can also influence the assessment. Local deviations of slope of walls exceeding 1/150 are undesirable. The assessment of damage may also be effected by where it occurs and the function of the building, although these effects are not likely to be significant in conventional buildings. In the classification of damage, account should also be taken of the history of the cracking. For most situations Category 0 or 1 should be the limit. However under adverse conditions, Category 2 should be expected although such damage should be rare. Significant damage is defined as category 3 or worse.

For Category 1 or 2 damage, remedial action should consist of stabilising the moisture conditions of the clay and paying attention to repairing or disguising the visual damage. This should be regarded as part of the normal maintenance of buildings on reactive clays.

Even significant masonry cracking with crack widths over 5mm often has no influence on the function of the wall and only presents an aesthetic problem. Generally, the remedial action for such damage should start with an investigation to establish the cause of the damage. In many cases the treatment should consist of stabilising moisture conditions by physical barriers or paths or replenishing moisture in dry foundations. This may be followed by repair of the masonry and wherever possible added articulation should be included while repairs are being effected. Structural repairs to the footing system such as deep underpinning should only be considered as the last resort.

Underpinning should generally be avoided where the problem is related to reactive clays, although it is recognised there may be occasional situations where underpinning or other structural augmentation work is appropriate. None of this structural augmentation work should be undertaken without proper engineering appraisal.

In some cases, walls may be designed to span sagging footings and cantilever beyond hogging footings. In such cases, satisfactory performance will involve the wall remaining free of cracks and articulation joint movements, and remaining within the limits for the particular joint system.

B4 PERFORMANCE CONCRETE FLOORS

Shrinkage cracking can be expected in concrete floors. Concrete floors can also be damaged by swelling of reactive clays or settlement of fill. The categories of movement causing the damage are given in Table C2, Appendix C. In the classification, account should be taken of whether the damage is stable or likely to increase, and an allowance should be made for any deviations in level which resulted from, or occurred during construction.

The time of attachment of floor coverings and the selection of the adhesive for them should take in to account the moisture in the concrete floor and its possible effect on adhesion. Concrete floors can take a considerable time to dry (three to nine months).

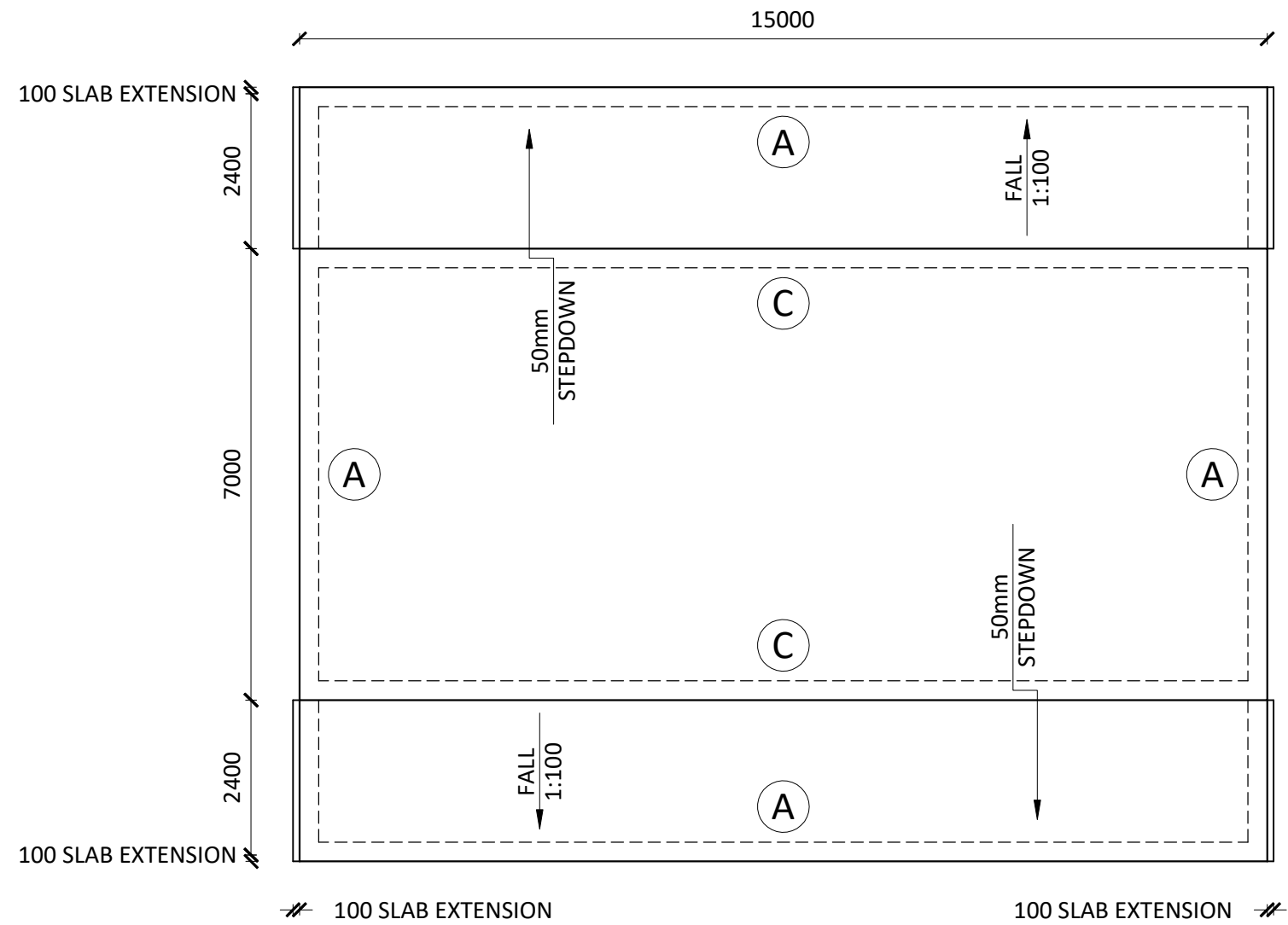
Floor coverings and their adhesives can be damaged by moisture in the concrete and by the shrinkage that occurs as the concrete dries. Drying could take three months or more. The time of fixing of floor coverings and the selection of the adhesive should take these factors into account.

6.0 SLAB AND FOUNDATION NOTES

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Drawing # TORA220042 - 2	Print Date: 17/06/22				

7.0 A & S CLASS FOOTING PLANS

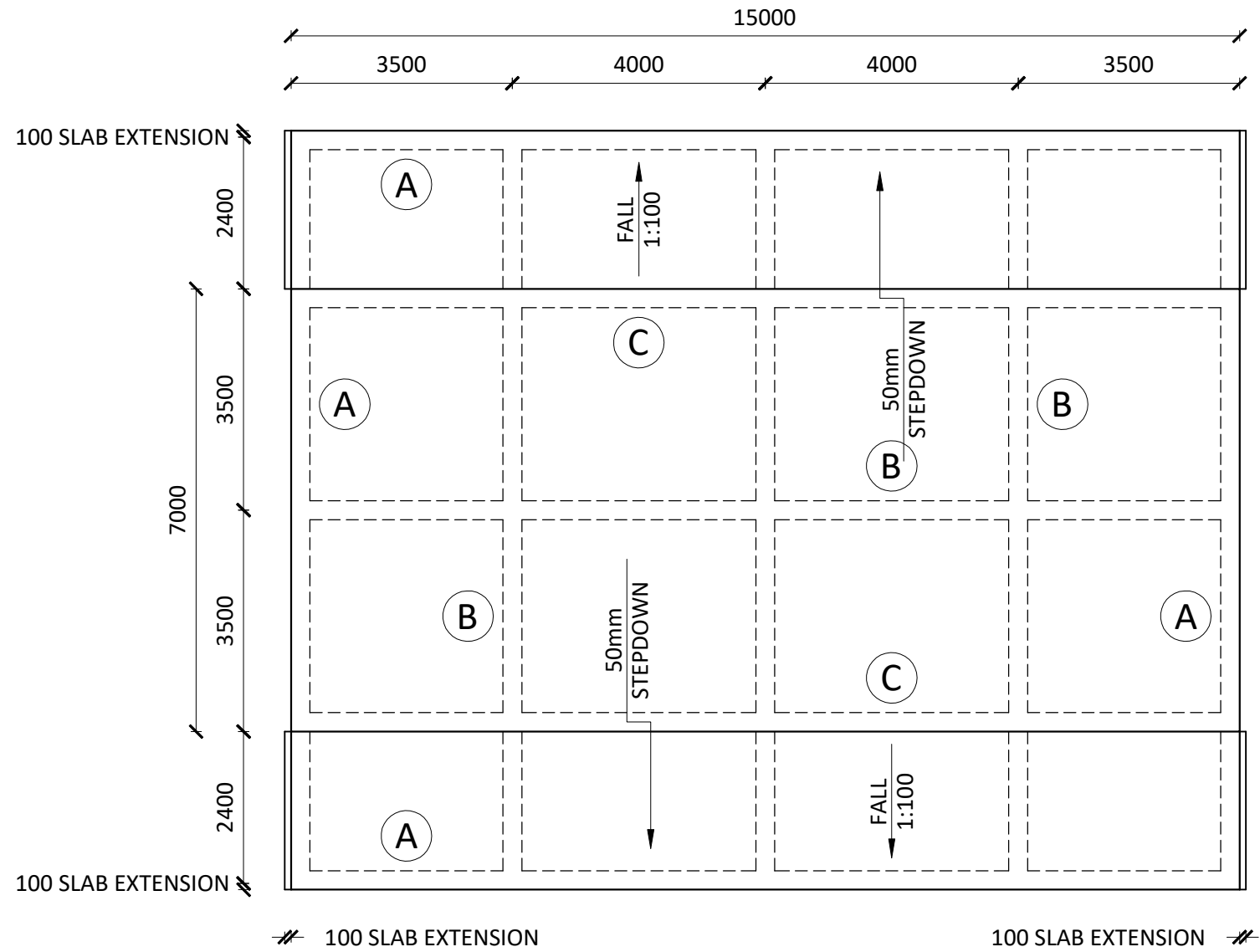
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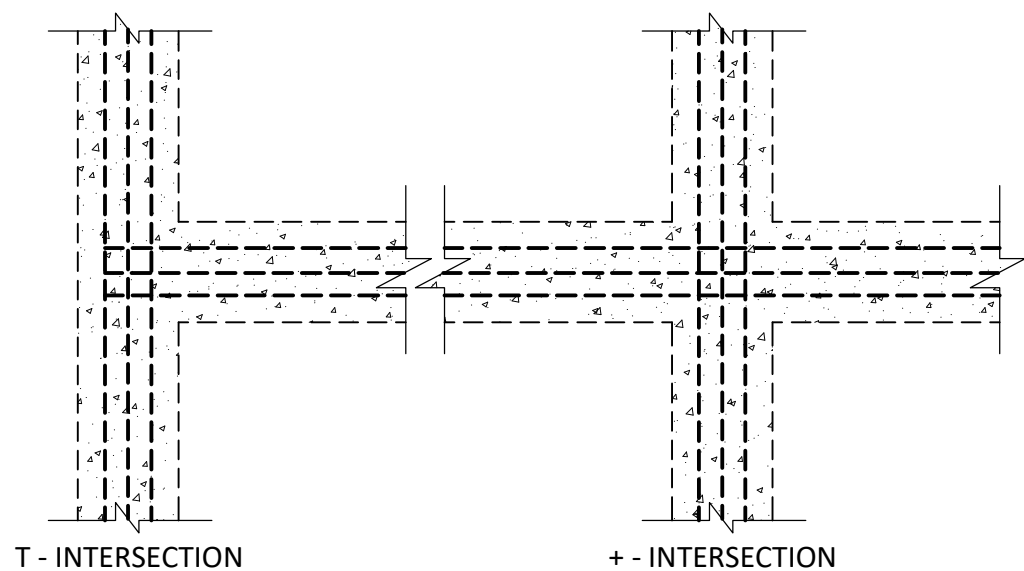
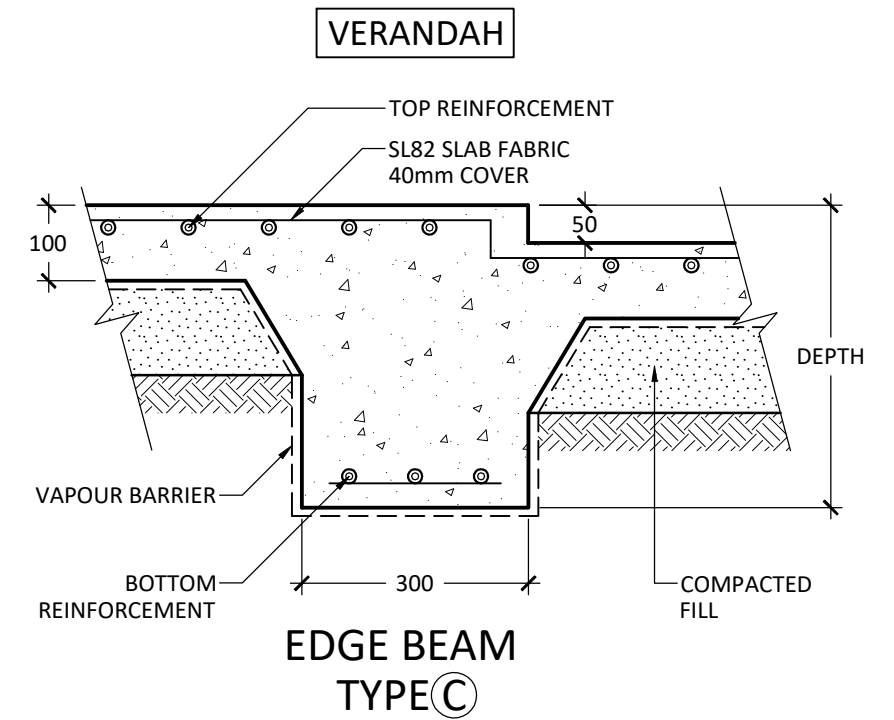
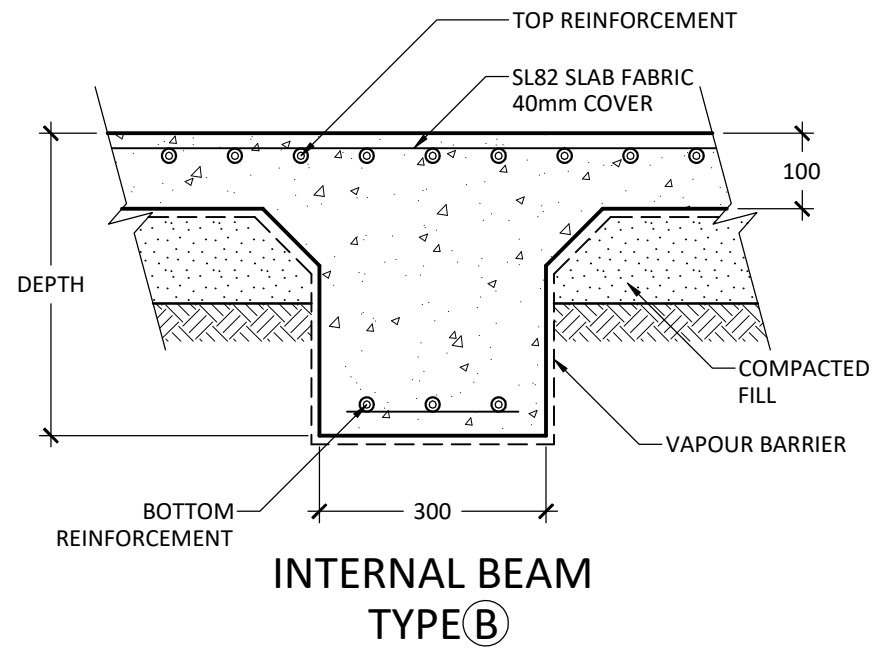
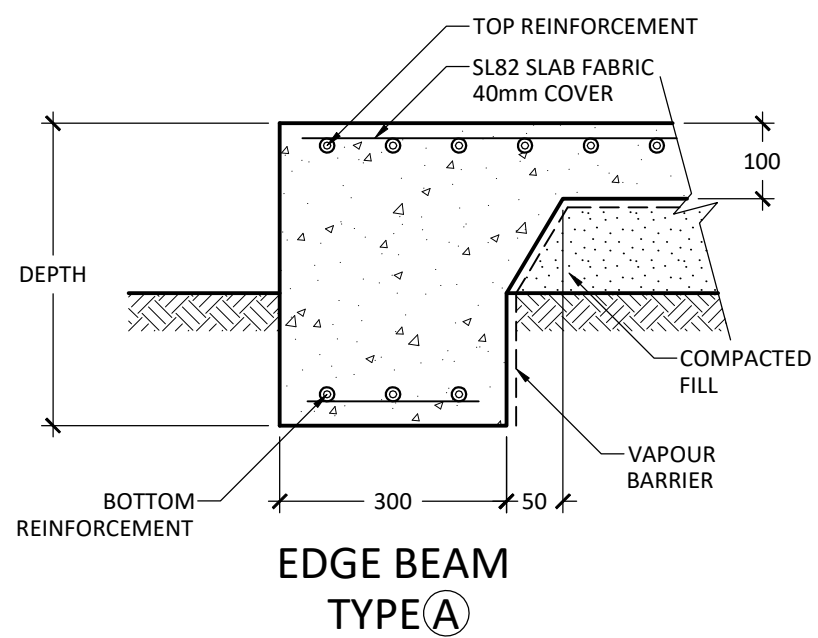
7.1 M & H CLASS FOOTING PLANS

(DESIGNED IN ACCORDANCE WITH AS2870)



100mm MIN BEARING OF FOUNDING MATERIAL AT BASE OF FOOTING EXCAVATIONS

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Continue bars across full width of T and + Intersections

SITE CLASS	DEPTH	BOTTOM REINFORCEMENT	TOP REINFORCEMENT
A	300	3-L8TM	-
S	300	3-L8TM	-
M	300	3-L11TM	-
M-D	400	3-L11TM	-
H1	400	3-L11TM	-
H1-D	400	3-L11TM	1N12
H2	550	3-L11TM	2N12
H2-D	550	2 x 3-L11TM	2N16

8.0 CONCRETE BEAM DETAILS

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Drawing # TORA220042 - 2	Print Date: 17/06/22				

Appendix E - BASIX Certificate

Appendix F - Bush Fire Assessment Report