



SPECIFICATIONS

GENERAL

- IT IS RESPONSIBILITY OF BUILDER TO VERIFY ALL DOCUMENTS AS TO THEIR ACCURACY AND SUITABILITY
- PLANS TO BE READ IN CONJUNCTION WITH ENGINEER'S DETAILS WHERE APPLICABLE
- BCA - BUILDING CODE OF AUSTRALIA - VOLUME 2 - HOUSING PROVISIONS


STATUTORY REQUIREMENTS

- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE BCA CONDITIONS IMPOSED BY LOCAL AUTHORITY, & COMMITMENTS NOTED IN RELEVANT BASIS CERTIFICATE
- THE BUILDER IS TO COMPLY WITH REQUIREMENTS OF ALL LEGALLY CONSTITUTED AUTHORITIES HAVING JURISDICTION OVER BUILDING WORKS AND PROVISIONS OF THE HOME BUILDING ACT.
- BUILDER SHALL PROVIDE TEMPORARY TOILET FACILITIES FOR THE USE OF THE SUBCONTRACTORS

BCA REQUIREMENTS

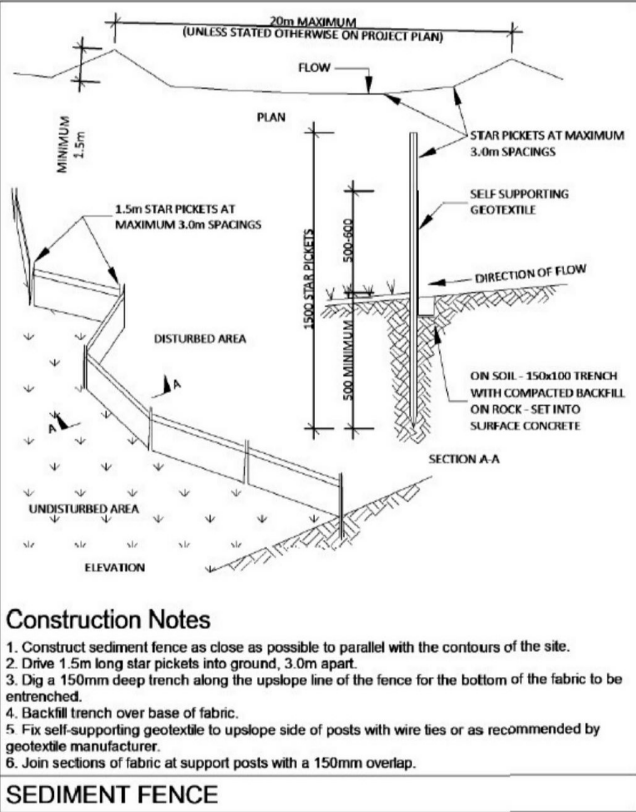
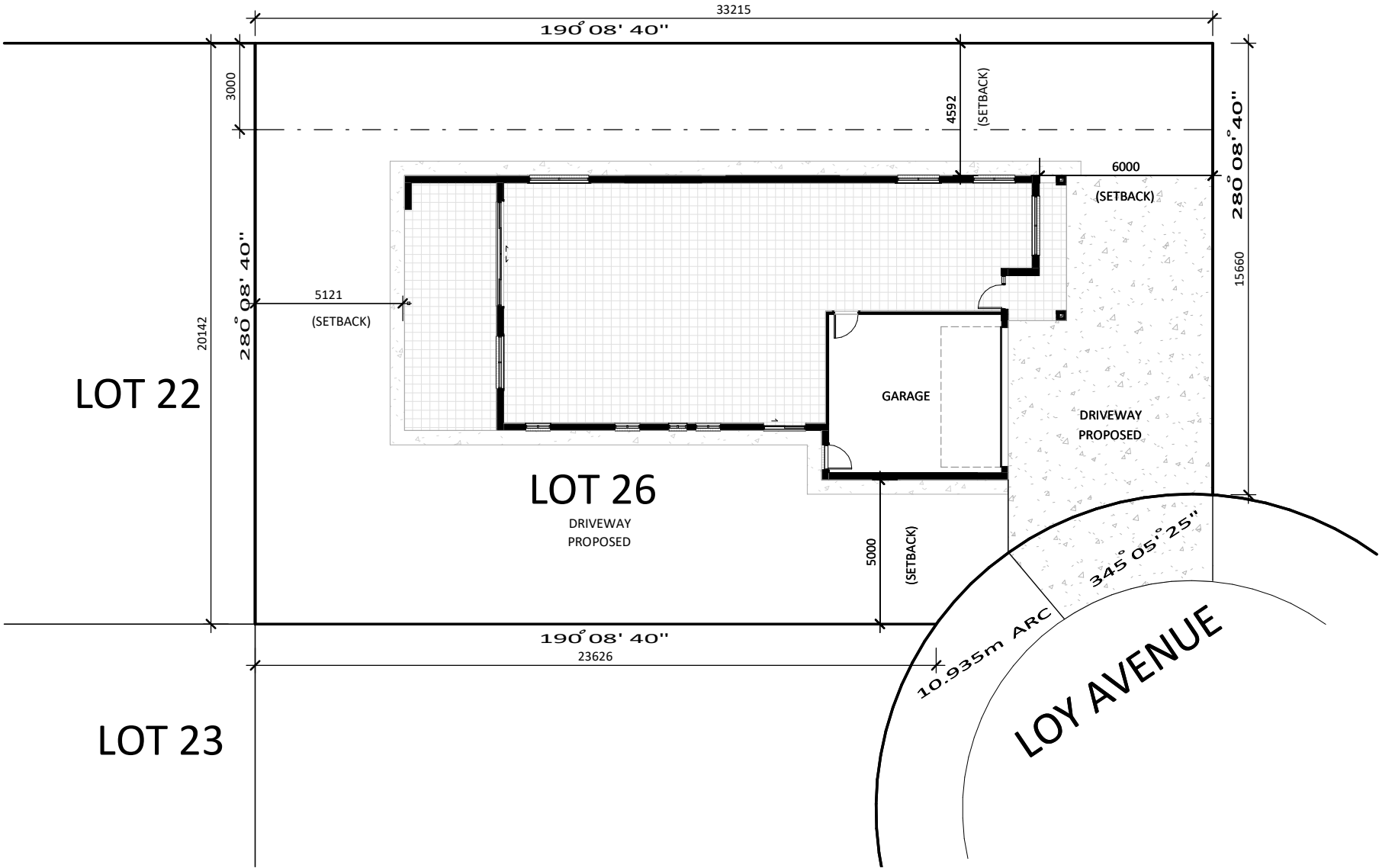
- ALL EARTHWORKS SHALL BE IN ACCORDANCE WITH ENGINEER'S DETAILS & PART 3.1.1 OF BCA. ALL EXCAVATIONS & UNDERFLOOR FILL SHALL BE IN ACCORDANCE WITH ENGINEER'S DETAILS & PART 3.2.2 OF BCA
- PRIMARY BUILDING ELEMENTS TO BE PROTECTED FROM SUBTERRENEAN TERMITES IN ACCORDANCE WITH PART 3.1.3 OF BCA
- PROVIDE ADEQUATE CROSS VENTILATION TO SPACE UNDER SUSPENDED GROUND FLOORS IN ACCORDANCE WITH PART 3.4.1 OF BCA
- STORMWATER DRAINAGE SHALL BE CARRIED OUT IN ACCORDANCE WITH PART 3.2.1 OF BCA
- ALL TIMBER FRAMEWORK SHALL COMPLY WITH PART 3.4.1 OF BCA OR AS1684
- ROOF TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH AS1720 & INSTALLED IN ACCORDANCE TO MANUFACTURER'S SPECIFICATIONS
- STRIP & SHEET FLOORING SHALL BE INSTALLED IN ACCORDANCE WITH AS1684
- STEEL FRAMING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS & PART 3.4.2 OF BCA
- ALL ROOF CLADDING SHALL COMPLY WITH PART 3.5.1 OF BCA, & INSTALLED IN ACCORDANCE TO MANUFACTURER'S SPECIFICATIONS
- GUTTERS & DOWNPIPES SHALL BE IN ACCORDANCE WITH PART 3.5.2 OF BCA
- SARKING SHALL COMPLY WITH AS/NZS4200.1 & 2
- FLASHING SHALL COMPLY WITH EITHER AS4773 OR AS3700
- CLAY BRICK WORK SHALL COMPLY WITH EITHER AS4773 OR AS3700
- CONCRETE BLOCK WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH EITHER AS4773 OR AS3700
- AUTOCURED AERATED CONCRETE PRODUCTS SHALL E INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
- DAMP PROOF COURSES & CAVITY VENTILATION SHALL COMPLY WITH EITHER AS4773 OR AS3700
- MORTAR & JOINT TOLERANCES SHALL BE IN ACCORDANCE WITH EITHER AS4773 OR AS3700
- MASONRY ACCESSORIES SHALL COMPLY WITH EITHER AS4773 OR AS3700
- APPROPRIATE TIES SHALL BE PROVIDED TO ARTICULATED MASONRY JOINTS
- UNTELS USED TO SUPPORT BRICKWORK OVER OPENINGS & BE PROTECTED FROM CORROSION SHALL COMPLY WITH EITHER AS4773 OR AS3700
- ENGAGED PIERS IN SINGLE LEAF MASONRY WALLS SHALL BE CONSTRUCTED IN ACCORDAANCE WITH EITHER AS4773 OR AS3700
- INTERNAL WET AREAS & BALCONIES OVER HABITABLE ROOMS TO BE WATERPROOFED IN ACCORDANCE WITH PART 3.8.1 OF BCA. WET AREA WALL LINING TO BE FIXED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
- ALL TIMBER FRAMEWORK SHALL COMPLY WITH PART 3.4.1 OF BCA OR AS1684
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- ALL TIMBER DOOR & DOOR SETS SHALL BE MANUFACTURED IN ACCORDANCE WITH AS2688 & AS2689 UNLESS NOTED OTHERWISE IN THE SCHEDULE OF WORKS
- WINDOWS & DOORS SHALL BE MANUFACTURED & INSTALLED IN ACCORDANCE WITH AS 2047
- ALL GLAZING SHALL COMPLY WITH PART 3.6 OF BCA
- STAIR & RAMP CONSTRUCTION SHALL BE IN ACCORDANCE WITH PART 3.9.1 OF BCA
- BALUSTRADES SHALL BE IN ACCORDANCE WITH PART 3.9.2 OF BCA
- ALL PLUMBING SHALL COMPLY WITH REQUIREMENTS OF RELEVANT SUPPLY AUTHORITY & ASS500, & BE CARRIED OUT BY A LICENSED PLUMBER
- ALL ELECTRICAL WORK SHALL COMPLY WITH REQUIREMENTS OF RELEVANT SUPPLY AUTHORITY & ASS3000 & BE CARRIED OUT BY LICENSED ELECTRICIAN
- ALL GAS INSTALLATIONS SHALL COMPLY WITH REQUIREMENTS OF RELEVANT SUPPLY AUTHORITY, & BE CARRIED OUT BY A LICENSED GAS FITTER
- PROVIDE & INSTALL HARD WIRED SMOKE ALRAMS IN ACCORDANCE WIT AS3786 & PART 3.7.2 OF BCA
- INSTALLATION OF WALL & FLOOR TILES SHALL BE IN ACCORDANCE WITH AS3958.1
- BUILDING TO BE SEALED TO THE REQUIREMENTS OF PART 3.12.3 OF BCA, INCLUDING CHIMNEYS, FLUES, ROOF LIGHTS, EXTERNAL WINDOWS & DOORS, EXHAUST FANS, ROOF, WALLS, & FLOORS.
- SERVICES ARE TO BE INSTALLED TO THE REQUIREMENTS OF NSW PART 3.12.5 OF BCA, INCLUDING HOT WATER SUPPLY, INSULATION OF SERVICES, CENTRAL HEATING WATER PIPING, HEATING & COOLING DUCTWORK
- MECHANICAL VENTILATION IS TO BE INSTALLED IN ACCORDANCE WITH PART 3.8.5 OF BCA
- INWARD SWINGING W/C DOORS ARE TO BE FITTED WITH LIFT OFF HINGES TO COMPLY WITH PART 3.8.3.3 OF BCA


00	BUILDER:	CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS. ALL WRITTEN DIMENSIONS IN THIS DRAWING ARE NOMINAL ONLY.	REV:	DESCRIPTION:	INITIAL:	DATE:
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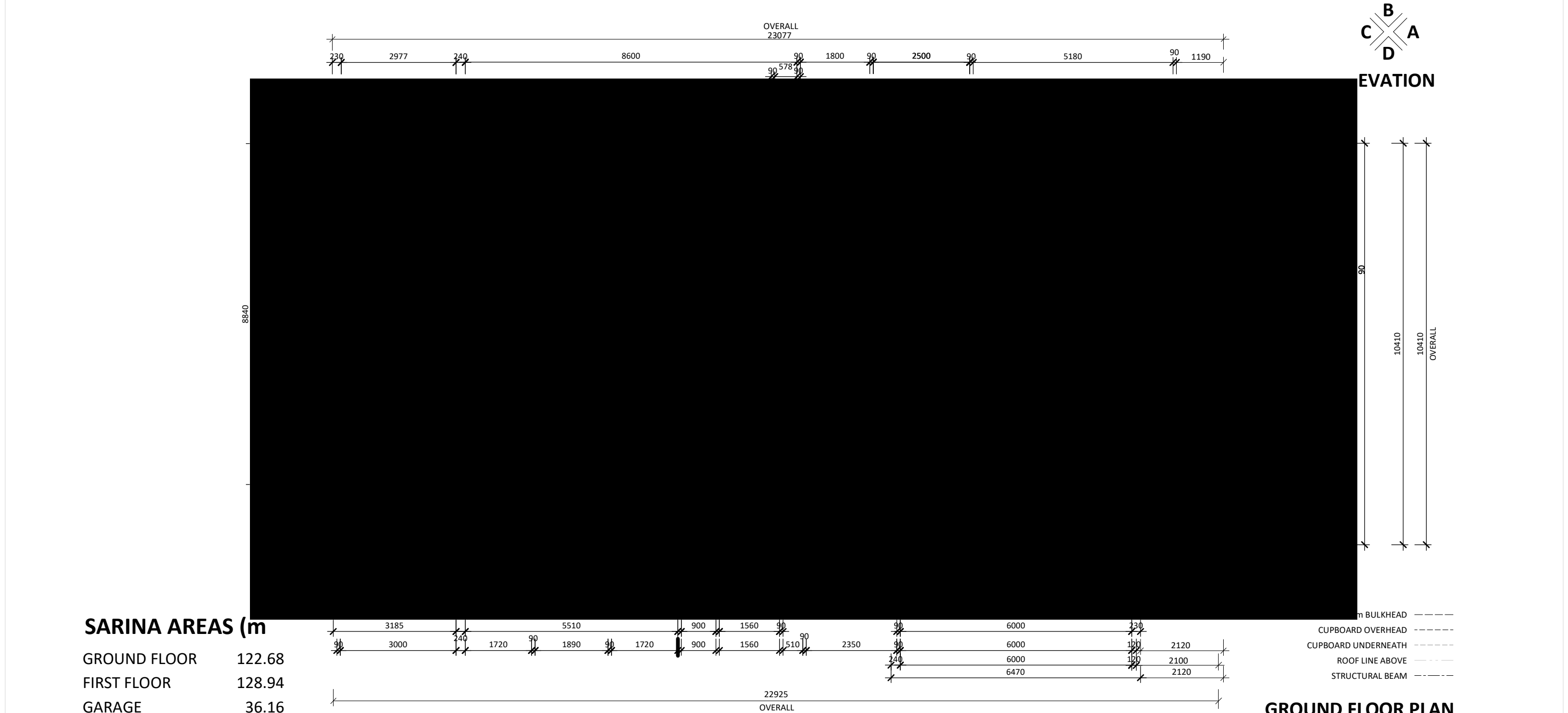
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STANDARD NOTES

- Driveway is required to be coloured pavers or coloured concrete as per the 88b, Notation to be made on the plans
- All external lighting will be shielded
- Pliable building membrane installed in external walls to be a vapour permeable type, comply with AS/NZS 4200.1 and be installed as per AS4200.2
- Exhaust Systems installed (this includes Tastic light & vent combo type fans) to have min. flow rate in accordance with Part 3.8.7 NCC 2019.
- Exhaust systems (this includes Tastic light & vent combo type fans) to discharge to outside air as per Part 3.8.7 NCC 2019 & BASIX.
- External Doors and openable windows in conditioned spaces to be sealed to restrict air infiltration as per Part 3.12.3 NCC 2019.
- Driveway is to be installed in accordance with AS 2890.1:2004, Parking facilities—Off-street car parking



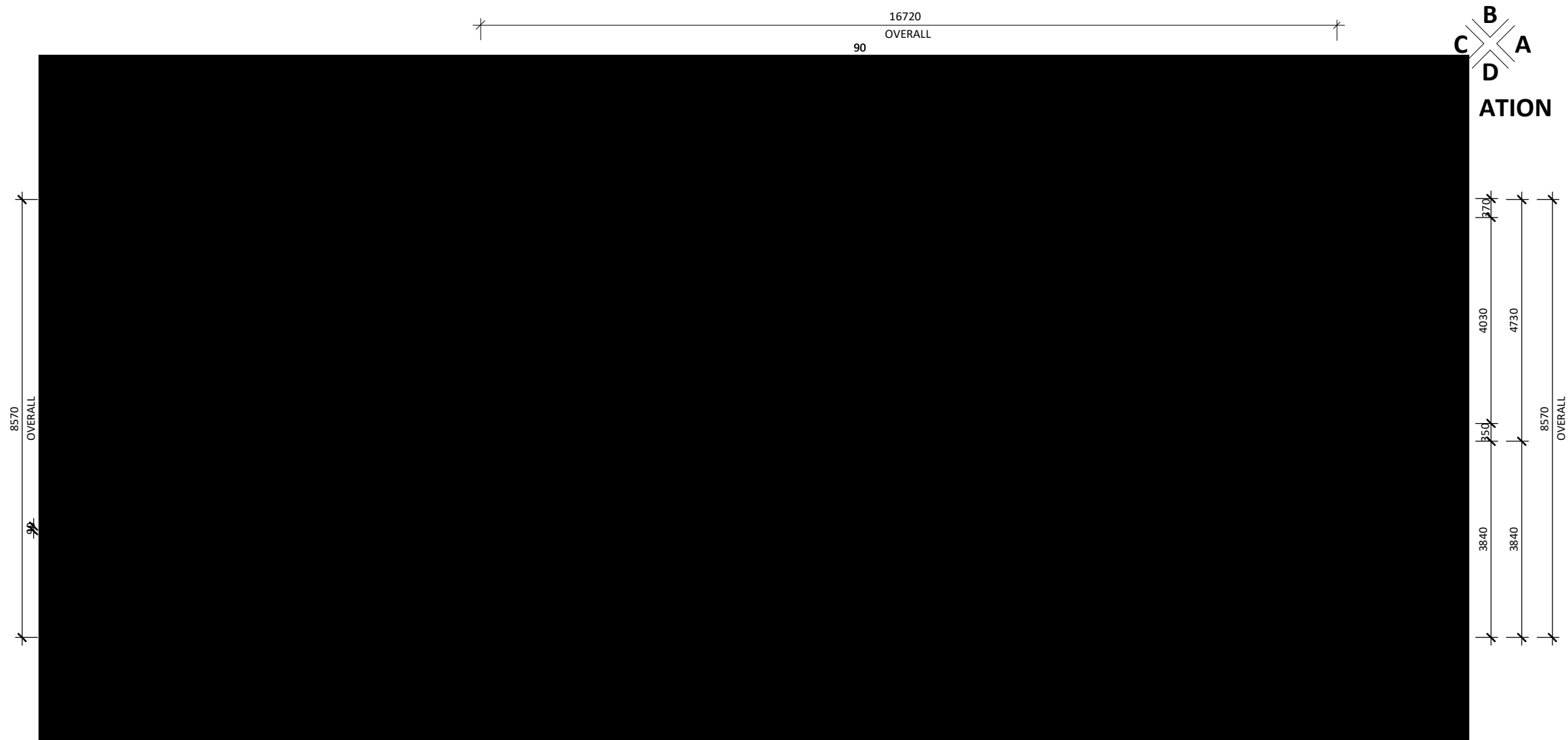
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SARINA AREAS (m

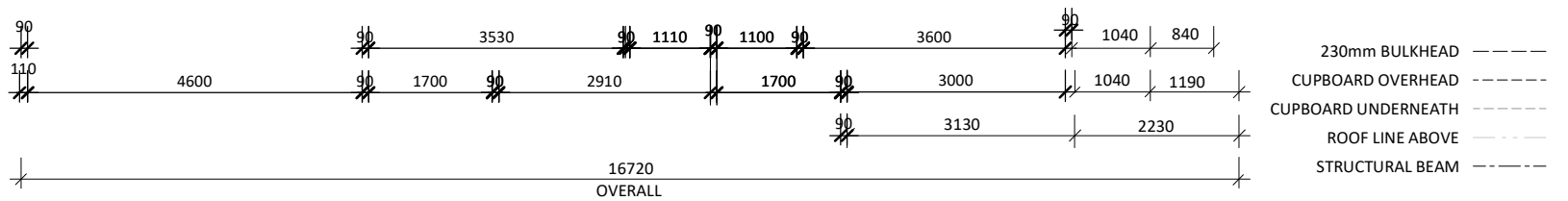
GROUND FLOOR PLAN
SARINA FACADE

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SARINA AREAS (m²)

GROUND FLOOR	122.68
FIRST FLOOR	128.94
GARAGE	36.16
PORCH	7.22
ALFRESCO	12.24
BALCONY	5.77
TOTAL	313.01



FIRST FLOOR PLAN
SARINA FACADE

03

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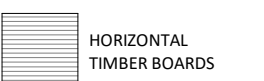
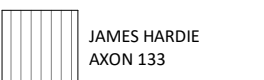
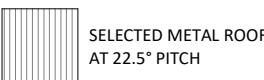
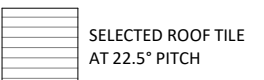
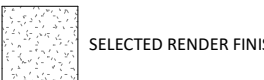
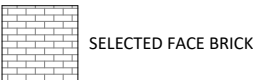
ELEVATION A
SARINA FACADE



ELEVATION B
SARINA FACADE

LEGEND

REFER TO DETAILED SINGLE PAGE SPECIFICATION
DOCUMENT FOR FULL FACADE DETAILS



- FRONT ENTRY DOOR TO FACADE SPECIFICATION
- BRICKWORK ABOVE FRONT ENTRY DOOR & WINDOWS UNLESS NOTED OTHERWISE
- GARAGE DOOR TO FACADE SPECIFICATION
- IN FILL ABOVE GARAGE DOOR TO FACADE SPECIFICATION
- SELECTED ALUMINIUM WINDOWS TO FACADE SPECIFICATION
- SELECTED METAL PARAPET CAPPING WHERE REQUIRED
- COLORBOND FASCIA & GUTTER

04

BUILDER:
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








ELEVATION C
SARINA FACADE










ELEVATION D
SARINA FACADE

LEGEND

REFER TO DETAILED SINGLE PAGE SPECIFICATION DOCUMENT FOR FULL FACADE DETAILS

-  SELECTED FACE BRICK
-  SELECTED RENDER FINISH
-  SELECTED ROOF TILE AT 22.5° PITCH
-  SELECTED METAL ROOF AT 22.5° PITCH
-  JAMES HARDIE HARDIPLANK SMOOTH 230
-  JAMES HARDIE AXON 133
-  JAMES HARDIE STRIA 405
-  JAMES HARDIE MATRIX
-  HORIZONTAL TIMBER BOARDS

-  FRONT ENTRY DOOR TO FACADE SPECIFICATION
-  BRICKWORK ABOVE FRONT ENTRY DOOR & WINDOWS UNLESS NOTED OTHERWISE
-  GARAGE DOOR TO FACADE SPECIFICATION
-  IN FILL ABOVE GARAGE DOOR TO FACADE SPECIFICATION
-  SELECTED ALUMINIUM WINDOWS TO FACADE SPECIFICATION
-  SELECTED METAL PARAPET CAPPING WHERE REQUIRED
-  COLORBOND FASCIA & GUTTER

05

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LEGEND

REFER TO APPROVED BUILDING PERMIT
DRAWINGS FOR ALL FINAL SPECIFICATIONS

- ROOF TRUSSES AT 22.5° TO MANUFACTURERS SPECIFICATION
- SELECTED COLORBOND ROOF ON BATTENS
- SELECTED COLORBOND FASCIA & GUTTER
- NO EAVE OVERHANG UNLESS NOTED OTHERWISE
- CONCRETE SLAB TO ENGINEERS SPECIFICATION
- PLASTERBOARD LINING TO ALL CEILINGS AND WALLS
- UPPER STOREY FLOOR JOISTS (WHERE APPLICABLE) TO MANUFACTURERS SPECIFICATION



SECTION A
SARINA FACADE

450mm EAVE OVERHANG FROM
OUTSIDE OF STRUCTURAL
FRAME TO FIRST FLOOR ONLY

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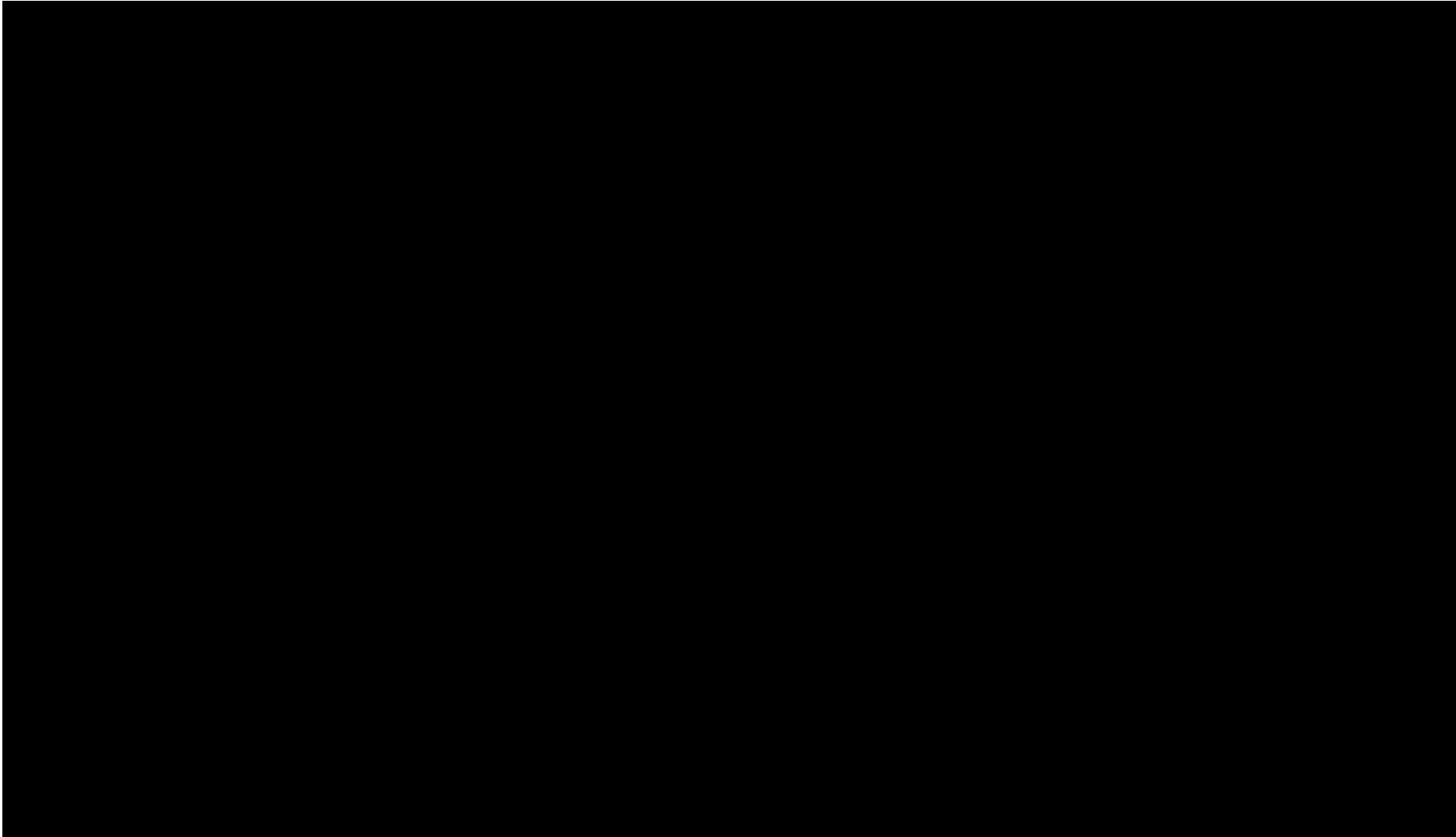
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REFER TO DETAILED SPECIFICATION DOCUMENT
FOR FULL ELECTRICAL INCLUSIONS AND PROVISIONS

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TO MICROWAV
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LEGEND

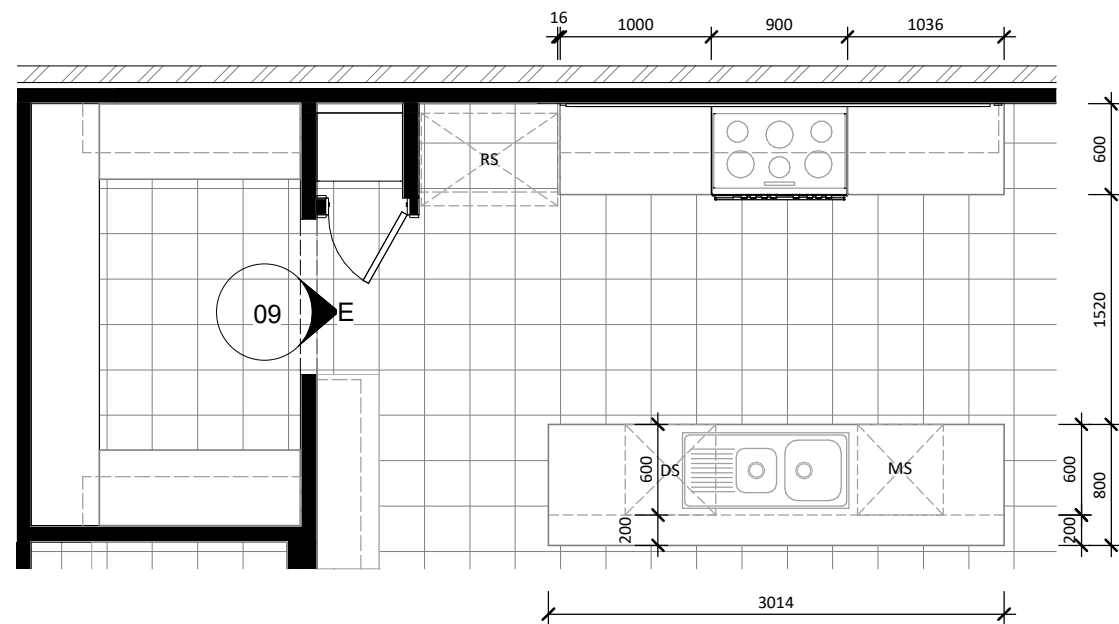
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FOR FULL ELECTRICAL INCLUSIONS AND PROVISIONS

-  LIGHT POINT
-  WALL MOUNTED LIGHT POINT
-  FLUORESCENT LIGHT POINT
-  SINGLE GENERAL POWER OUTLET
-  DOUBLE GENERAL POWER OUTLET
-  EXTERNAL WEATHERPROOF
DOUBLE GENERAL POWER OUTLET
-  EXHAUST FAN
-  SMOKE DETECTOR
-  TELEVISION POINT
-  TELECOMMUNICATIONS POINT

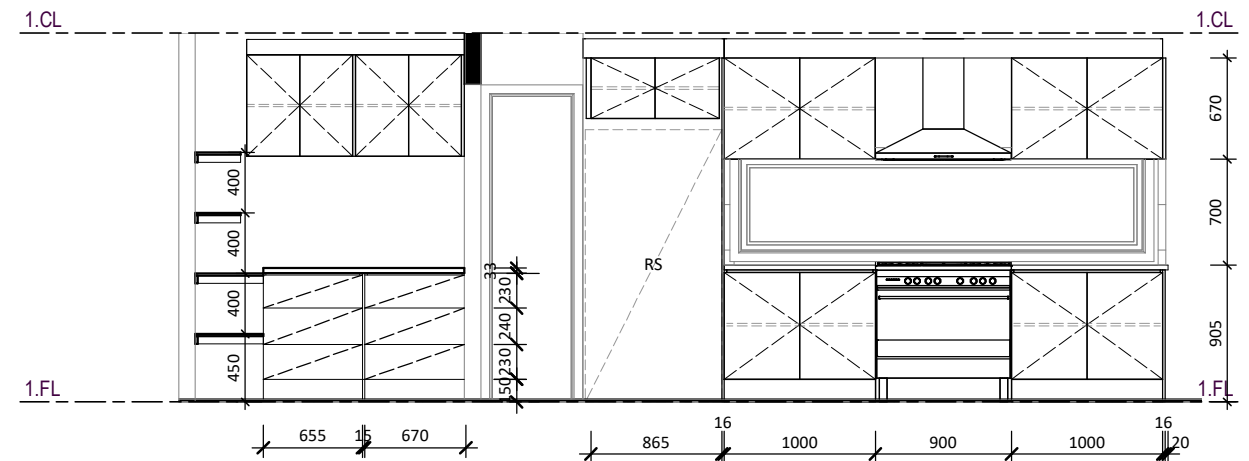
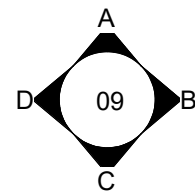
- PROVIDE SINGLE GPO AND COLD
WATER POINT TO DISHWASHER SPACE
- PROVIDE SINGLE GPO TO MICROWAVE SPACE
- PROVIDE SINGLE GPO FOR RANGEHOOD
- PROVIDE SINGLE GPO WITH
ISOLATION SWITCH FOR OVEN
- PROVIDE DOUBLE GPO TO CEILING
SPACE FOR HEATING UNIT
- PROVIDE 1x LIGHT POINT TO ROOF SPACE
- PROVIDE 1x SINGLE GPO TO GARAGE
CEILING FOR GARAGE DOOR

-  Down Light LED
-  2 Lamp Heat, Light Fan

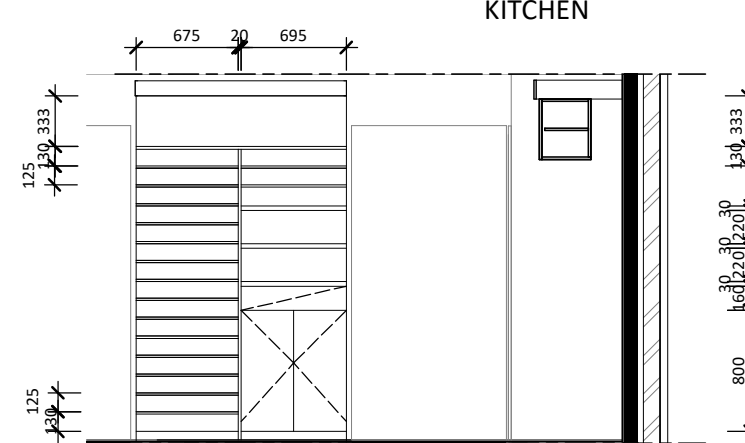
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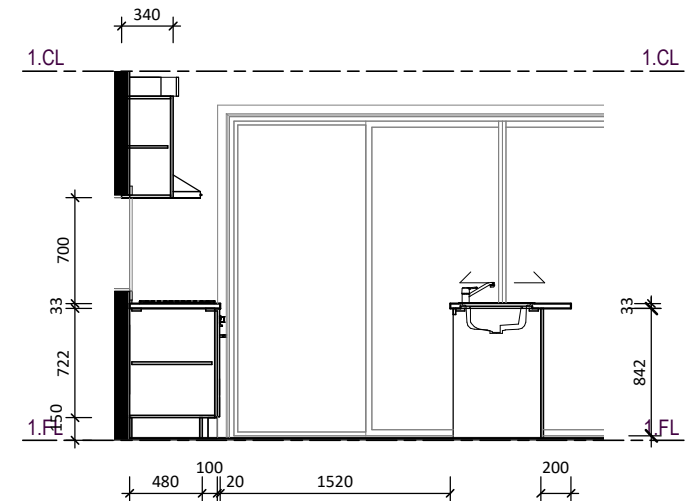
FLOOR PLAN
KITCHEN



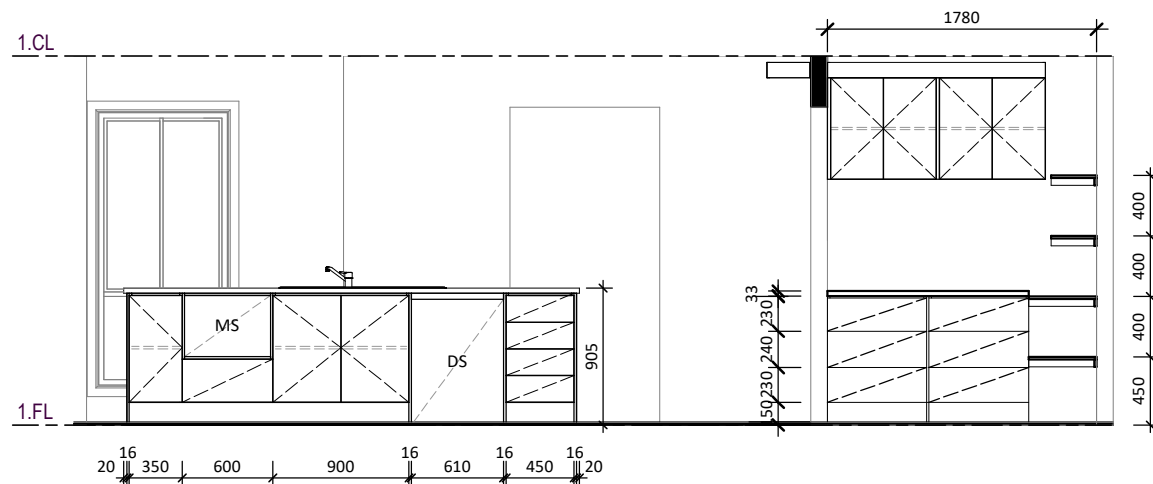
ELEVATION A
KITCHEN



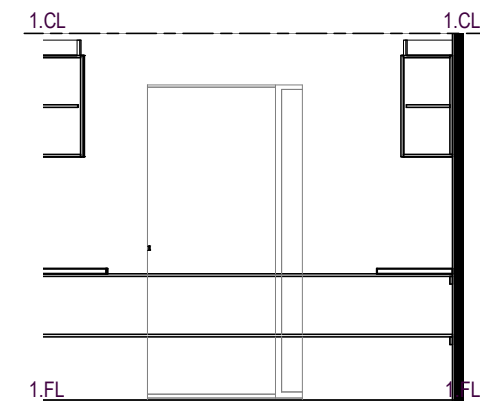
ELEVATION D
KITCHEN



ELEVATION B
KITCHEN



ELEVATION C
KITCHEN



ELEVATION E
PANTRY

MS - MICROWAVE SPACE
DS - DISHWASHER SPACE
RS - REFRIGERATOR SPACE
WS - WASHING MACHINE SPACE

ALL BULKHEADS ABOVE CABINETRY
BY CABINET MANUFACTURER
UNLESS NOTED OTHERWISE

ALL MEASUREMENTS ON
INTERNAL SHEETS ARE
DIMENSIONED FROM PLASTER

REFER TO RELEVANT SPECIFIC STATE /
REGION STANDARD INCLUSIONS DOCUMENT
FOR ALL STANDARD INCLUSIONS

09

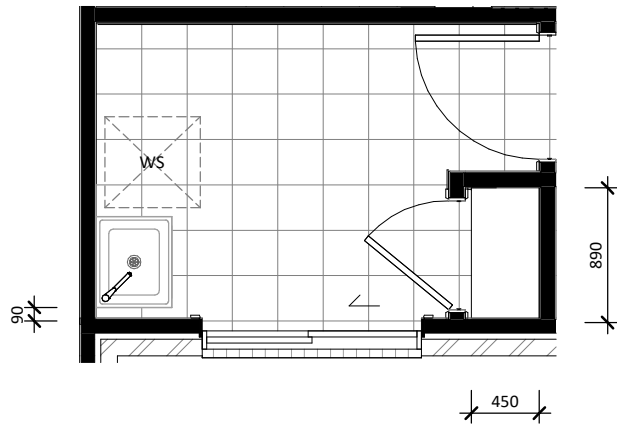
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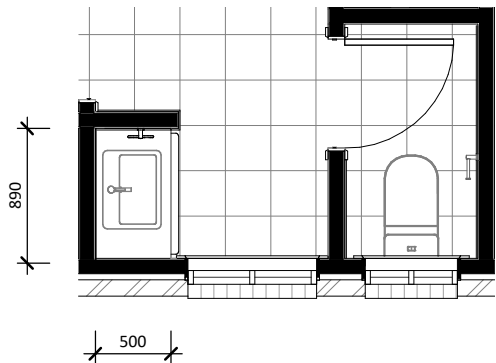
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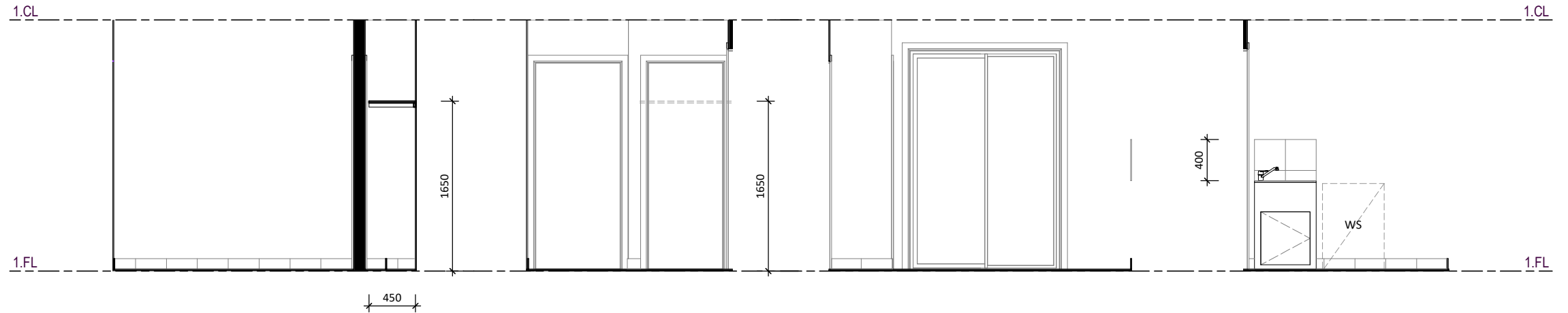
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A
D 10 B
C
FLOOR PLAN
LAUNDRY



E
H 10 F
G
FLOOR PLAN
POWDER



ELEVATION A
LAUNDRY

ELEVATION B
LAUNDRY

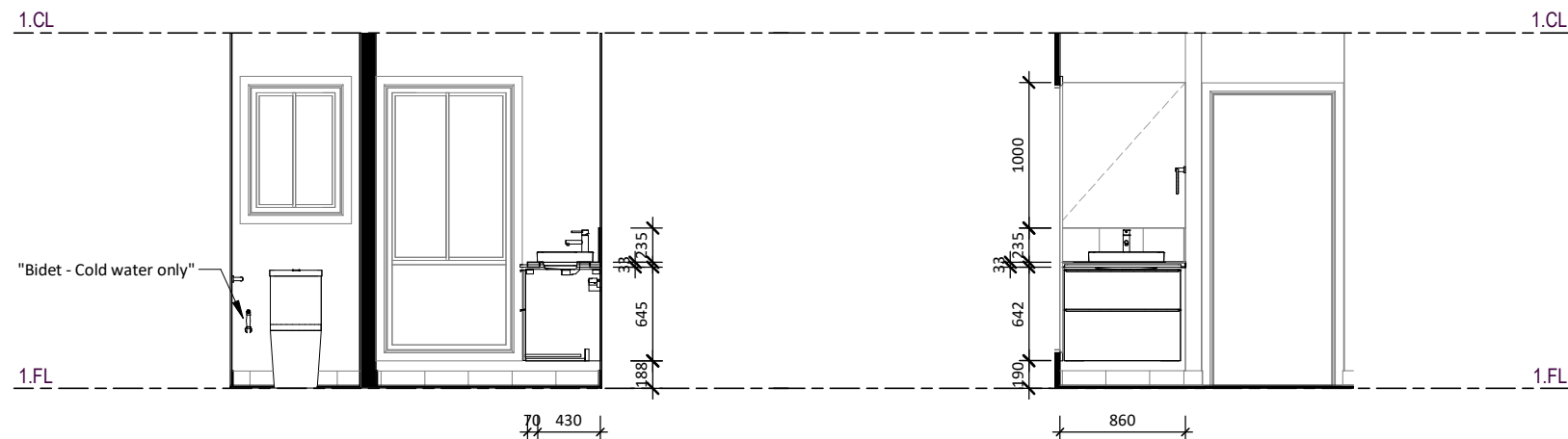
ELEVATION C
LAUNDRY

ELEVATION D
LAUNDRY



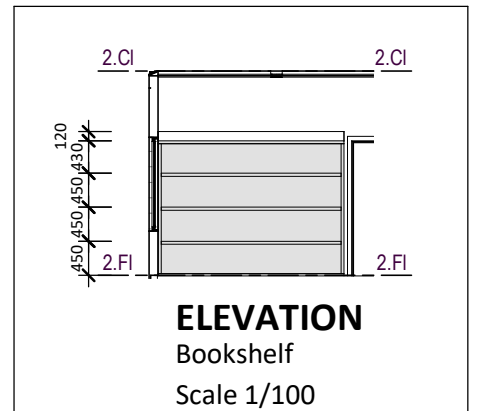
ELEVATION E
POWDER

ELEVATION F
WC



ELEVATION G
WC

ELEVATION H
WC



MS - MICROWAVE SPACE
DS - DISHWASHER SPACE
RS - REFRIGERATOR SPACE
WS - WASHING MACHINE SPACE

ALL MEASUREMENTS ON
INTERNAL SHEETS ARE
DIMENSIONED FROM PLASTER

REFER TO RELEVANT SPECIFIC STATE /
REGION STANDARD INCLUSIONS DOCUMENT
FOR ALL STANDARD INCLUSIONS

10

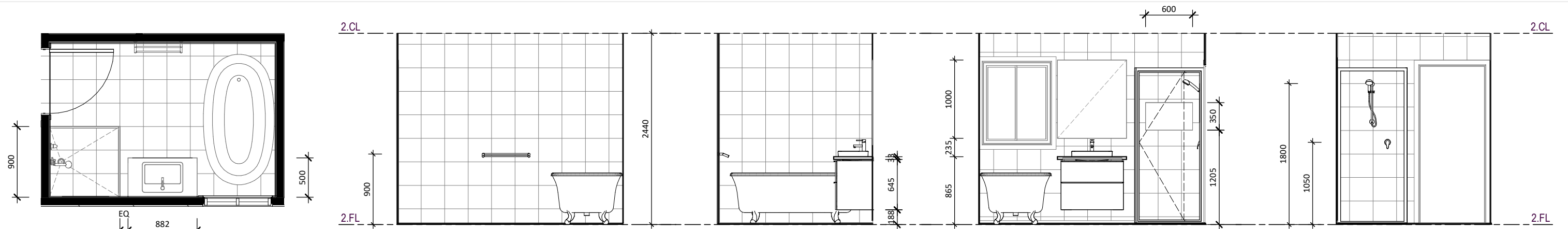
BUILDER:
Checker
Designer

CONTRACTOR MUST VERIFY ALL DIMENSIONS
AND LEVELS AT THE JOB PRIOR TO COMMENCING
ANY WORK OR MAKING ANY SHOP DRAWINGS.
DO NOT SCALE DRAWINGS.
ALWAYS USE WRITTEN DIMENSIONS.
ALL WRITTEN DIMENSIONS IN THIS
DRAWING ARE NOMINAL ONLY.

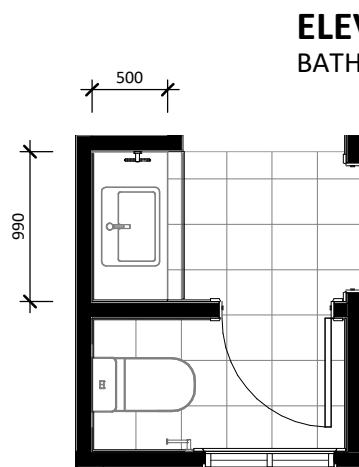
REV:	DESCRIPTION:	INITIAL:	DATE:



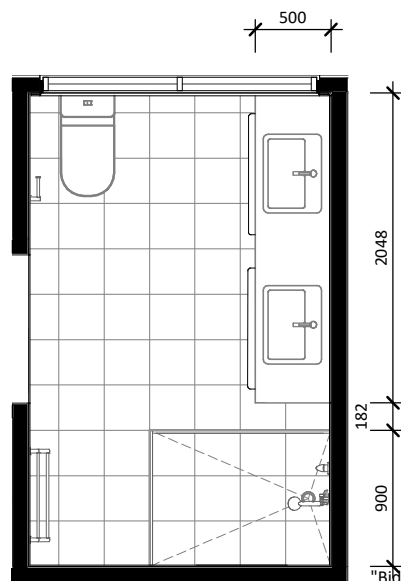
JOB ADDRESS: - LOT 26 No.15 ave Mudgee NSW 2850		OWNER: HOTONDO MASTER	
DRAWN BY: NP		DESIGN NAME: CALVA 303	
7/11/2022 11:23:00 PM	SHEET: 10	PROJECT No: 00-000	
SCALE: As indicated	REV: -		



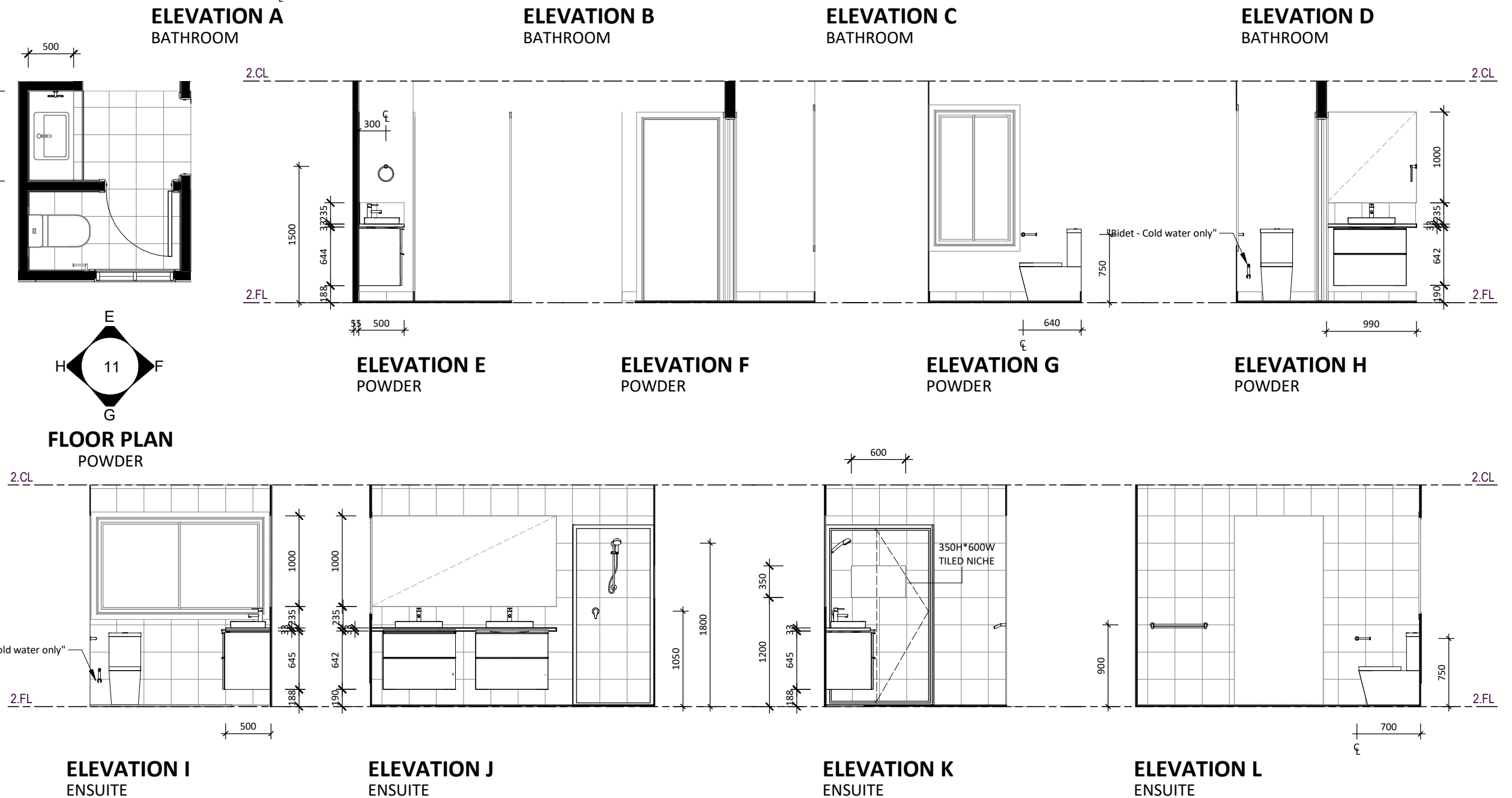
**FLOOR PLAN
BATHROOM**



**FLOOR PLAN
POWDER**



**FLOOR PLAN
ENSUITE**



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INTERNAL SHEETS ARE
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11	BUILDER:	CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS. ALL WRITTEN DIMENSIONS IN THIS DRAWING ARE NOMINAL ONLY.	REV:	DESCRIPTION:	INITIAL:	DATE:	<div><div>Sanctuary</div><div>RANGE</div></div> <div><div>Hotondo</div><div>Homes</div></div>	DRAWN BY: NP		DESIGN NAME: CALVA 303	
	Checker								7/11/2022 11:23:58 PM	SHEET: 11	PROJECT No: 00-000
	Designer								SCALE: 1 : 50	REV: -	