

**SITE PLAN**

n.b. licensed plumber to confirm adequate falls can be obtained to septic system from finished floor level. scale 1:2000

**site notes**

- spot levels denoted thus: - are existing surface levels.
- spot levels denoted thus: - are proposed design finished surface levels.
- surveyor to confirm all boundary dimensions & clearances with the designer prior to any set-out or site works being conducted, any discrepancies to be reported immediately.

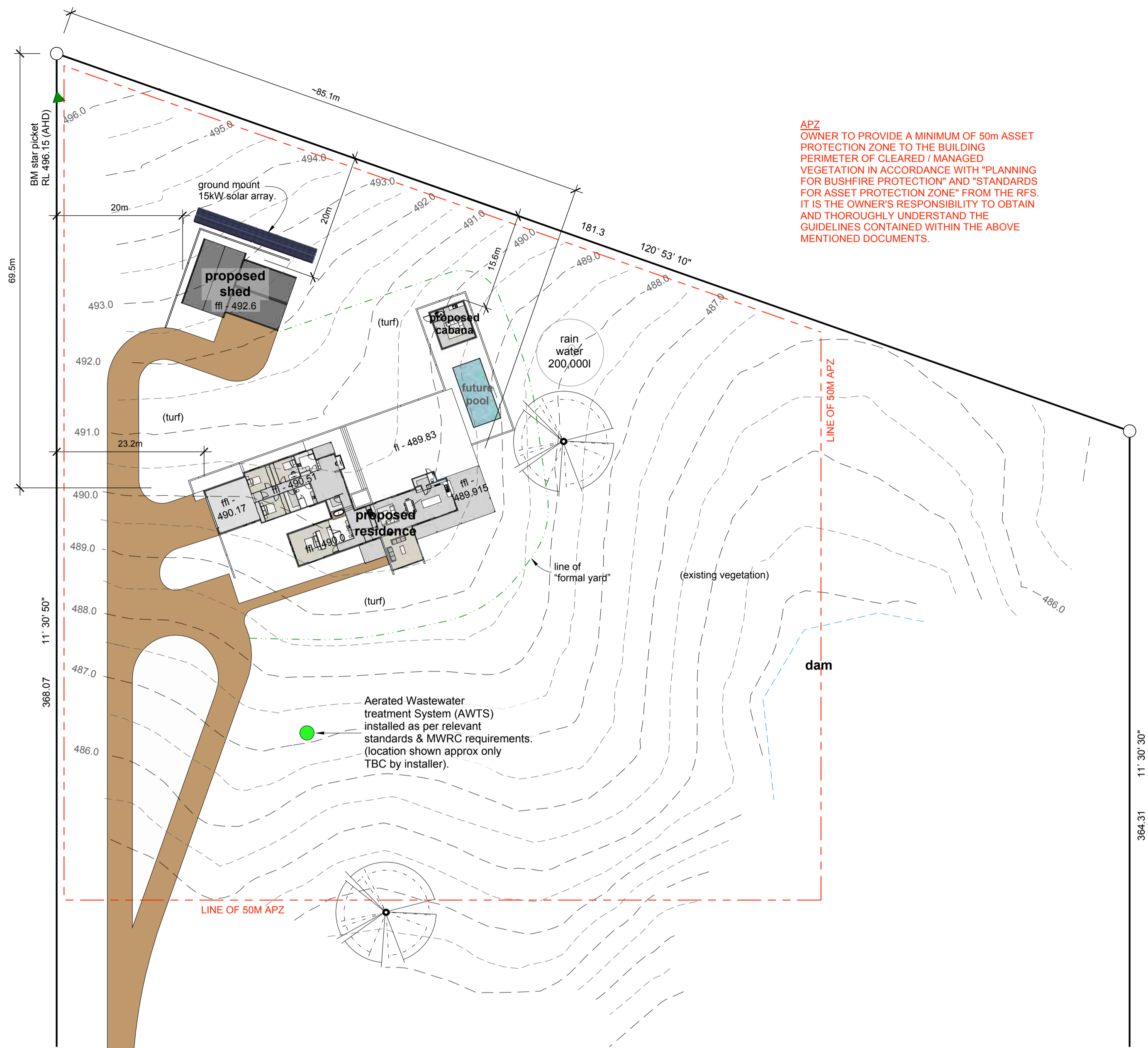
**site areas**

- overall site area - 106300m<sup>2</sup>
- residence footprint - 455 m<sup>2</sup>
- total formal garden area - 1200 m<sup>2</sup>

**n.b**

landscaping indicative only, minimum "indigenous" planting required under BASIX = 0 m<sup>2</sup>, alternative landscaping designs are acceptable provided the maximum "Formal Area" does not exceed 1200 m<sup>2</sup>.

AS4055 Wind Loads for Housing - N3



**PARTIAL SITE PLAN**

scale 1:500

APZ OWNER TO PROVIDE A MINIMUM OF 50m ASSET PROTECTION ZONE TO THE BUILDING PERIMETER OF CLEARED / MANAGED VEGETATION IN ACCORDANCE WITH "PLANNING FOR BUSHFIRE PROTECTION" AND "STANDARDS FOR ASSET PROTECTION ZONE" FROM THE RFS. IT IS THE OWNER'S RESPONSIBILITY TO OBTAIN AND THOROUGHLY UNDERSTAND THE GUIDELINES CONTAINED WITHIN THE ABOVE MENTIONED DOCUMENTS.

**SCHEDULE OF BASIX COMMITMENTS**

**BASIX CERTIFICATE 1283766S**

Note: This schedule must be attached to all plan sets. The specifications contained herein are an integral part of the design and construction of this residence. Any construction carried out contrary to the specifications below will be rejected under the environmental planning and assessment amendment (Building Sustainability Index: BASIX Regulation 2005).

**BASIX AREAS**

- Conditioned Floor Area - 273 m<sup>2</sup>
- Unconditioned Floor Area - 18 m<sup>2</sup>
- Site Area - 106300 m<sup>2</sup>
- Roof Area - 556 m<sup>2</sup>
- Total Garden - 800 m<sup>2</sup>

**WATER COMMITMENTS**

FIXTURES		
Shower heads -	Min 3 Star >6 but <=7.5L/min	
Toilets -	Min 4 Star rating	
Kitchen Taps -	Min 4 Star rating	
Bathroom Taps -	Min 4 Star rating	

ALTERNATIVE WATER		
Rainwater Tanks -	Min 100,000 ltr on site.	
Min Roof Area Collection -	556 sq m.	
Rainwater to be connected to -	All toilets, cold water tap to washing machine & hot water systems.	
	At least One Outdoor tap	

**THERMAL COMFORT COMMITMENTS**

Floor - concrete slab on ground	- nil
External Wall - Brick Veneer	- R-value 2.06 (or 2.6 including construction)
External Wall - Framed	- R-value 2.20 (or 2.6 including construction)
Internal Wall - Garage - plasterboard	- Nil
Ceiling & Roof - flat ceiling / pitched roof	- R-value ceilings: 3.75 (up), roof: thermocellular reflective.
Ceiling & Roof - raked ceiling / pitched roof	- R-value ceilings: 3.54 (up), roof: thermocellular reflective.
	Other: unventilated; dark (solar absorptance >0.70)

All Windows to have Min U-Values and SHGC Values as per window schedule.

**ENERGY COMMITMENTS**

<b>HOT WATER</b>	Electric storage
<b>COOLING SYSTEM</b>	Living Areas - - 1-phase airconditioning - EER 3.0 to 3.5
	Bedrooms - - 1-phase airconditioning - EER 3.0 to 3.5
<b>HEATING SYSTEM</b>	Living Areas - - Wood heater
	Bedrooms - - 1-phase airconditioning - EER 3.0 to 3.5
<b>VENTILATION</b>	1 Bathroom - - Individual fan, ducted to facade or roof, manual on/off switch.
	Kitchen - - Individual fan, ducted to facade or roof, manual on/off switch.
	Laundry - - natural ventilation only.
<b>NATURAL LIGHTING</b>	Window to be provided to Kitchen perimeter as per the floor plan.
	Windows to be provided in 2 Bathrooms/Toilets.

**ALTERNATIVE ENERGY**

A Photovoltaic System (PV) with the capacity to generate at least 15 peak kilowatts of electricity must be installed & connected to the residences electrical system.

**OTHER**

- Gas Cooktop and Gas Oven required in Kitchen.
- Fixed Outdoor Clothes Line required.



**LOCALITY SKETCH**

n.1.s



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P. & T. MAYSON

**DESIGN BY**  
GRD  
**ISSUE**  
August 1, 2022  
DA Plan

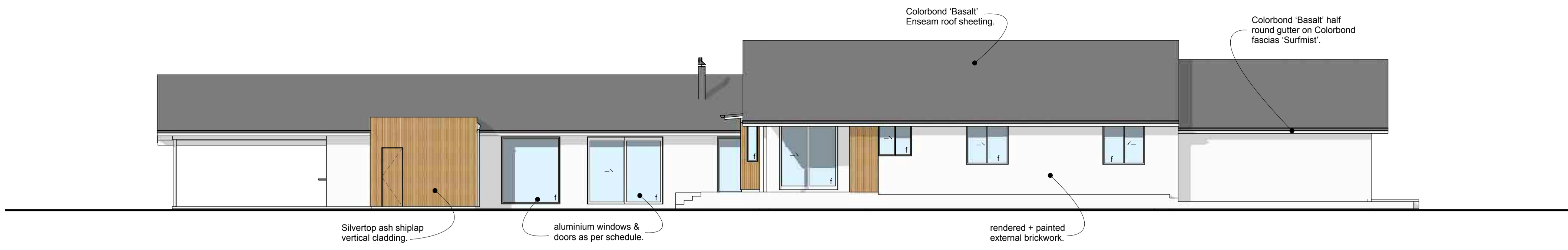
**PROJECT NO.**  
21/005a  
**PROJECT**  
PROPOSED RESIDENCE AT  
Lot 6, No. 157 MELROSE Road,  
DP 253326  
MOUNT FROME - MUDGE  
NSW 2850

**SITE PLAN**

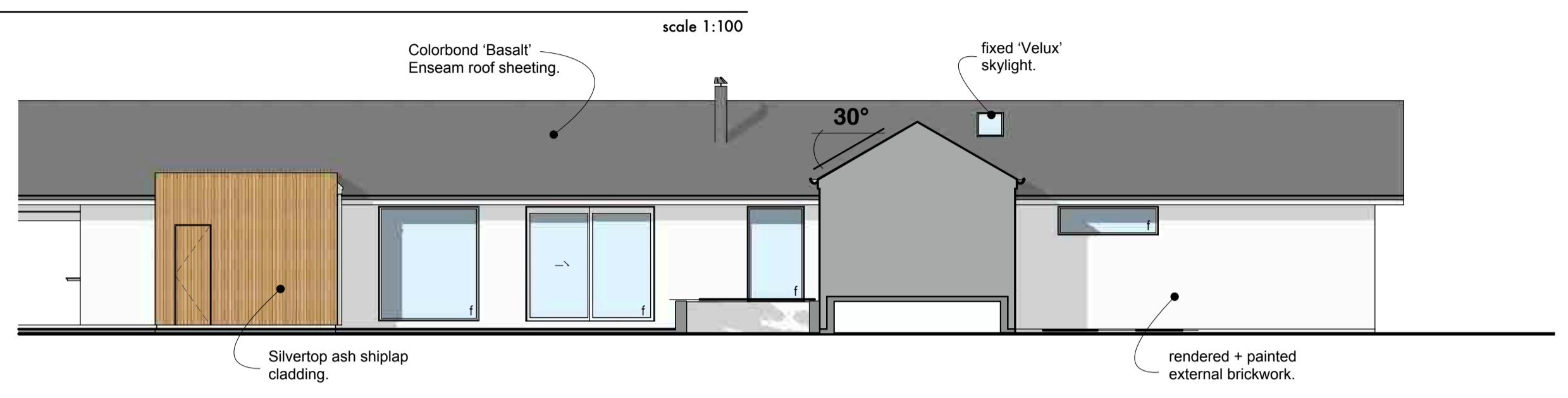
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immediately. this is a preliminary  
drawing and not to be performed  
by a registered surveyor.

**A1**

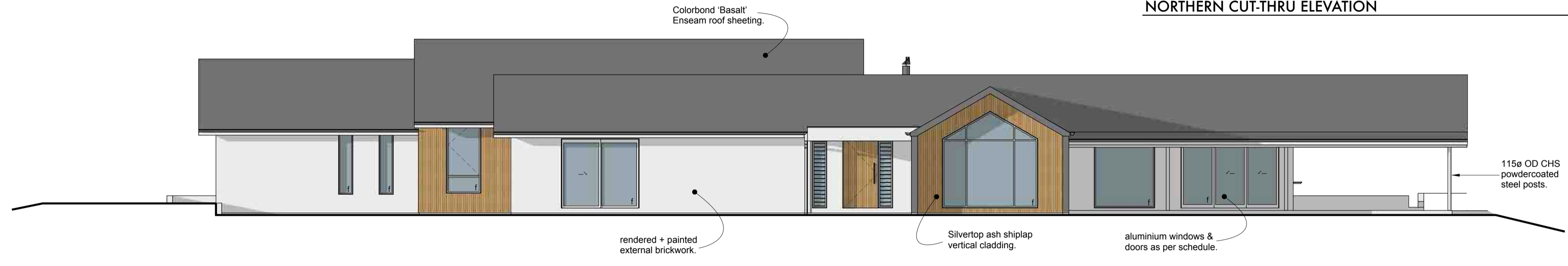
**01**



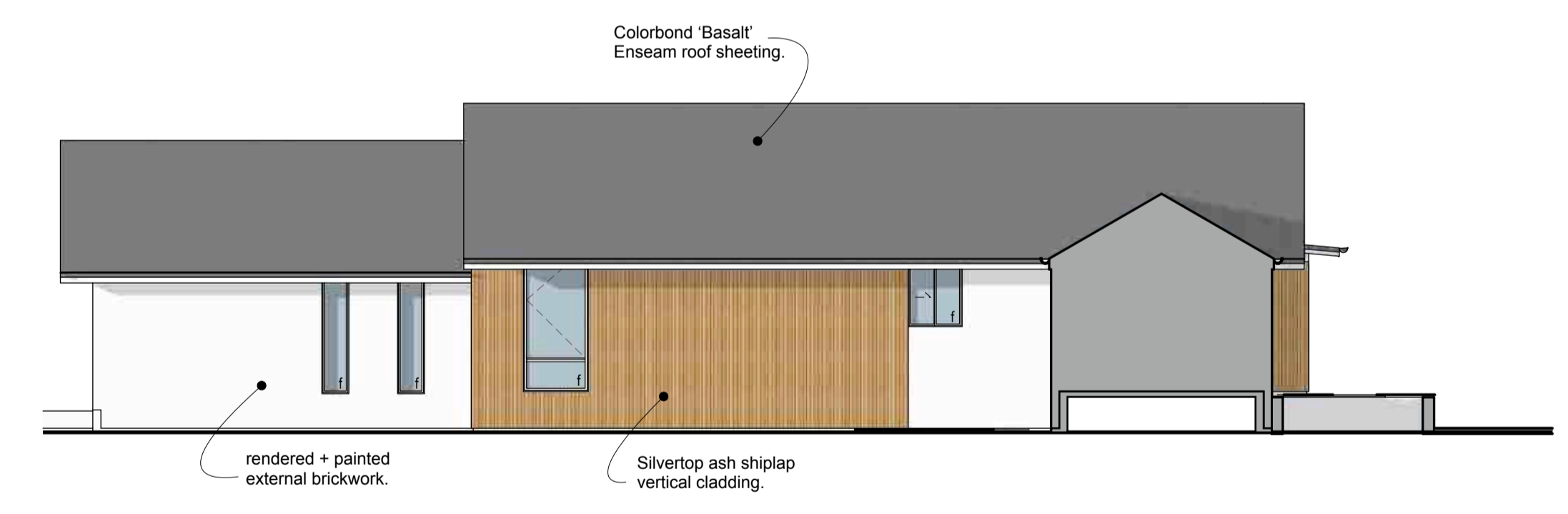
**NORTHERN ELEVATION**



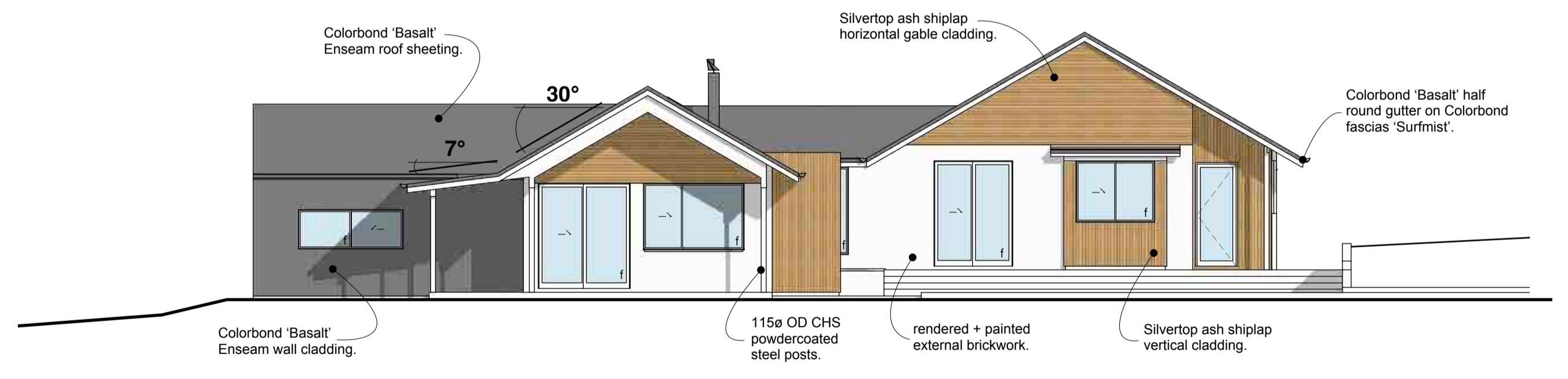
**NORTHERN CUT-THRU ELEVATION**



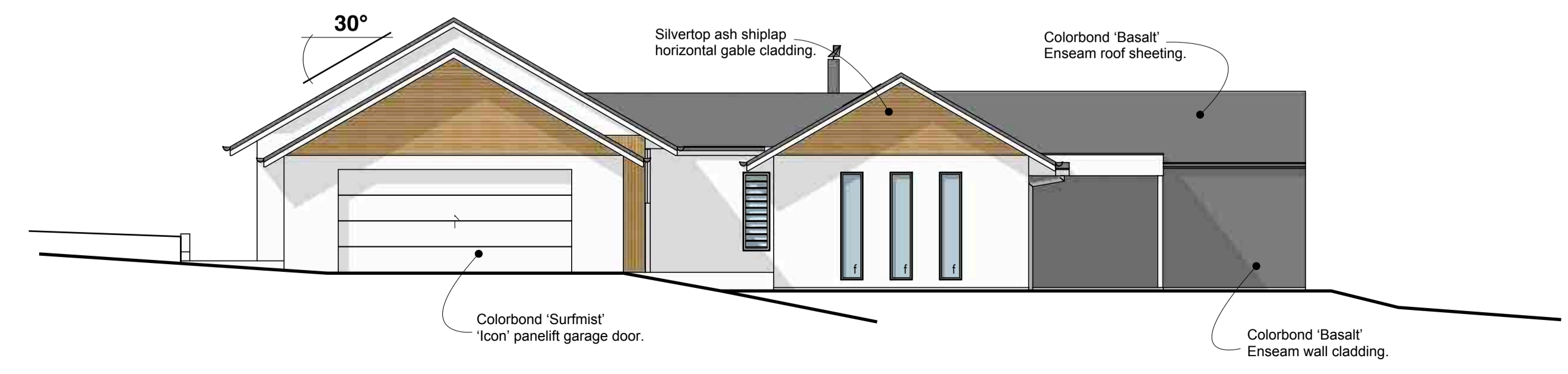
**SOUTHERN ELEVATION**



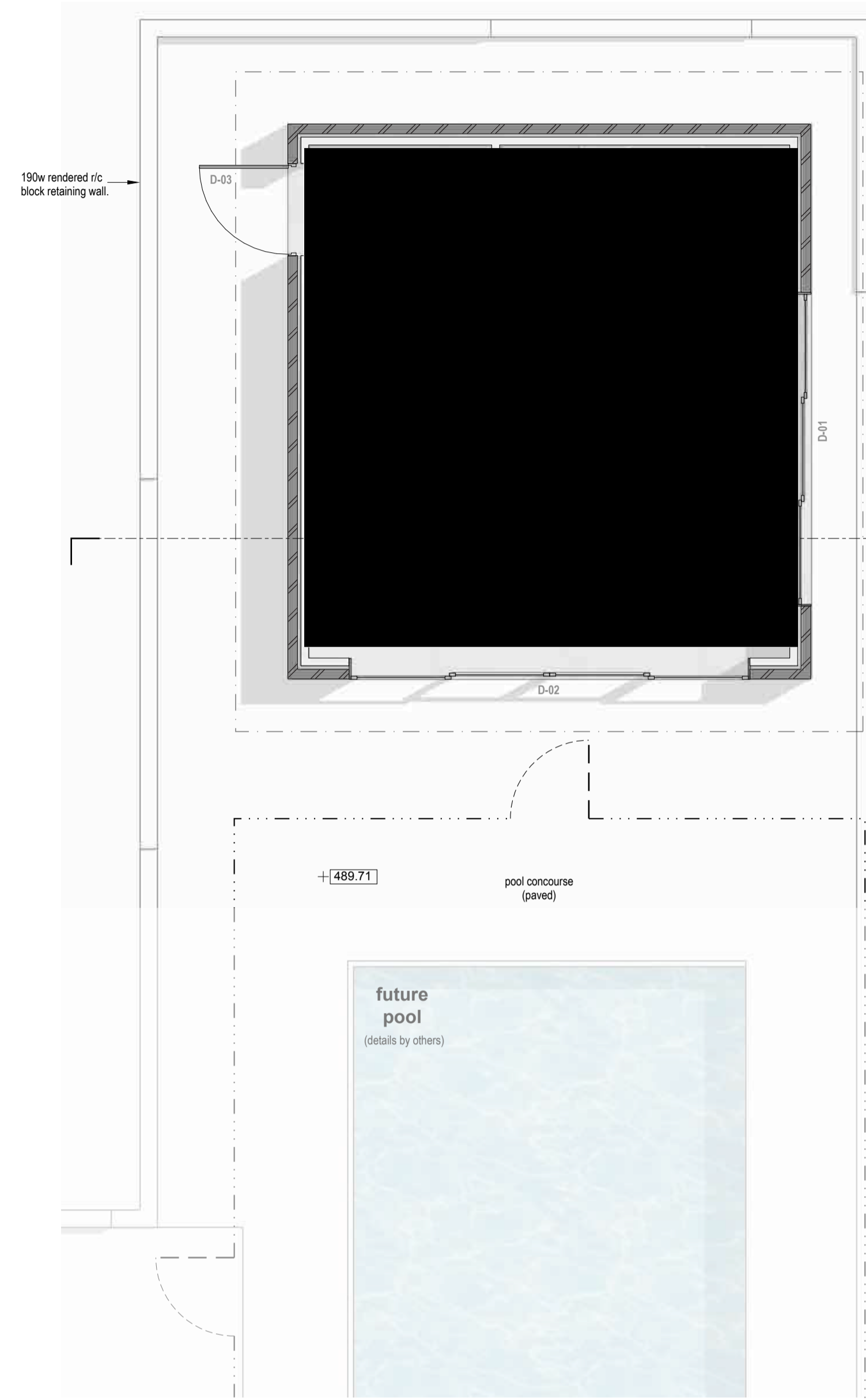
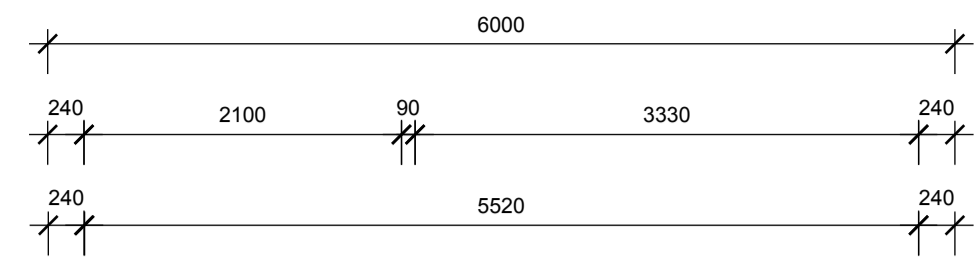
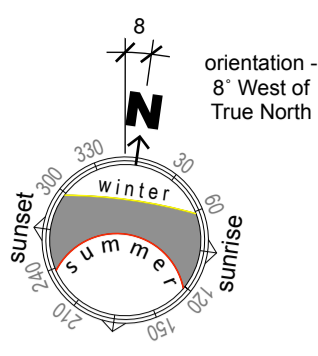
**SOUTHERN CUT-THRU ELEVATION**



**EASTERN ELEVATION**



**WESTERN ELEVATION**



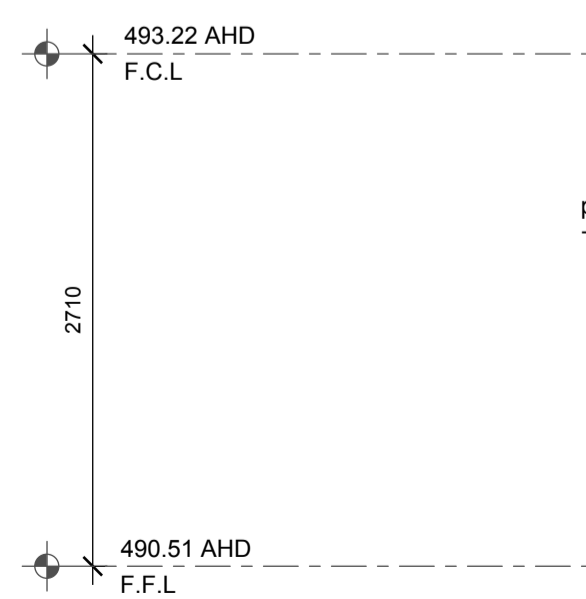
**floor area**  
cabana - 38.2 m<sup>2</sup>

**notes**  
AS 4055 Wind Loads for Housing - Region A  
Topographic Class - T2  
Terrain Category - (TC2)  
Shielding - (NS)  
WIND CLASSIFICATION = N3

CABANA PLAN



scale 1:50



engineer's designed r/c slab & footings.

scale 1:40

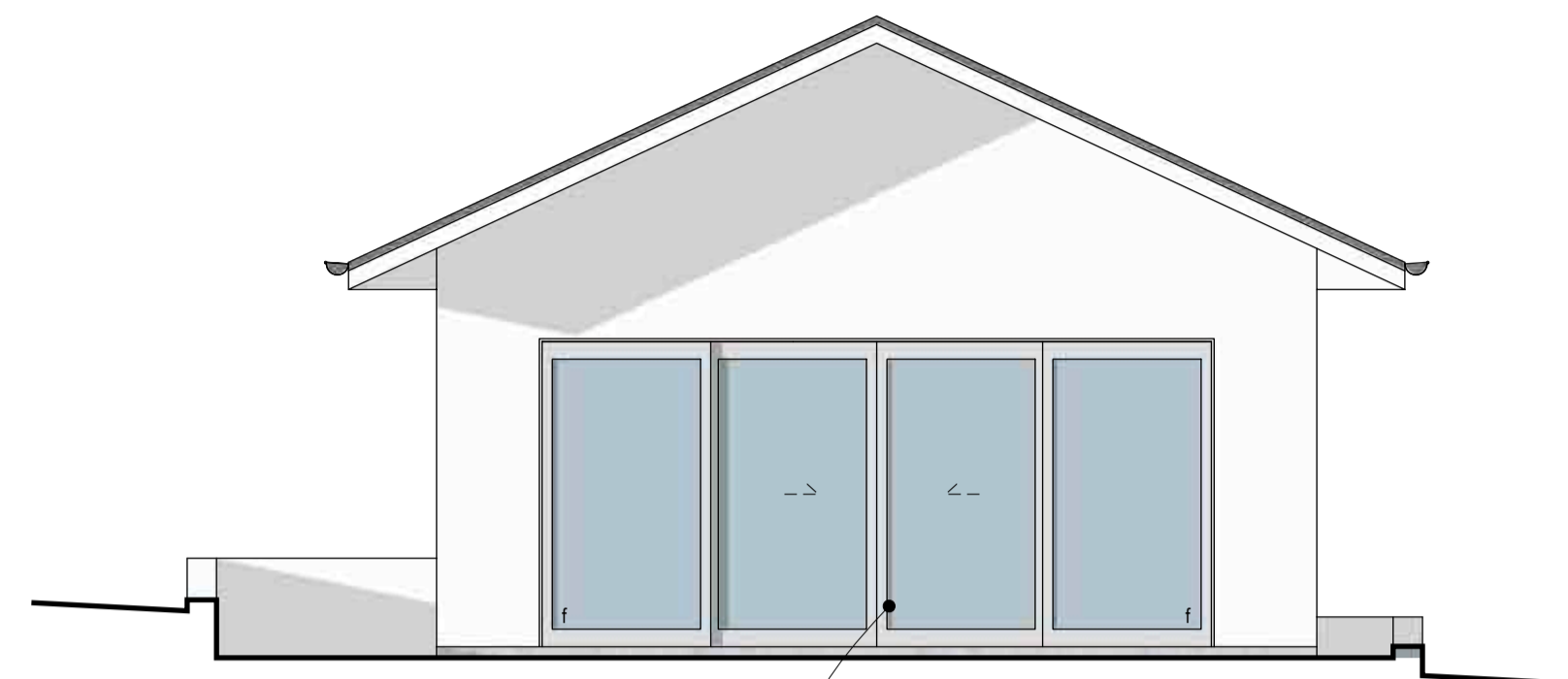
I SECTION

Colorbond 'Basalt' half round gutter on Colorbond fascias 'Surfmist'.

rendered + painted external brickwork.

NORTHERN ELEVATION

scale 1:50



SOUTHERN ELEVATION

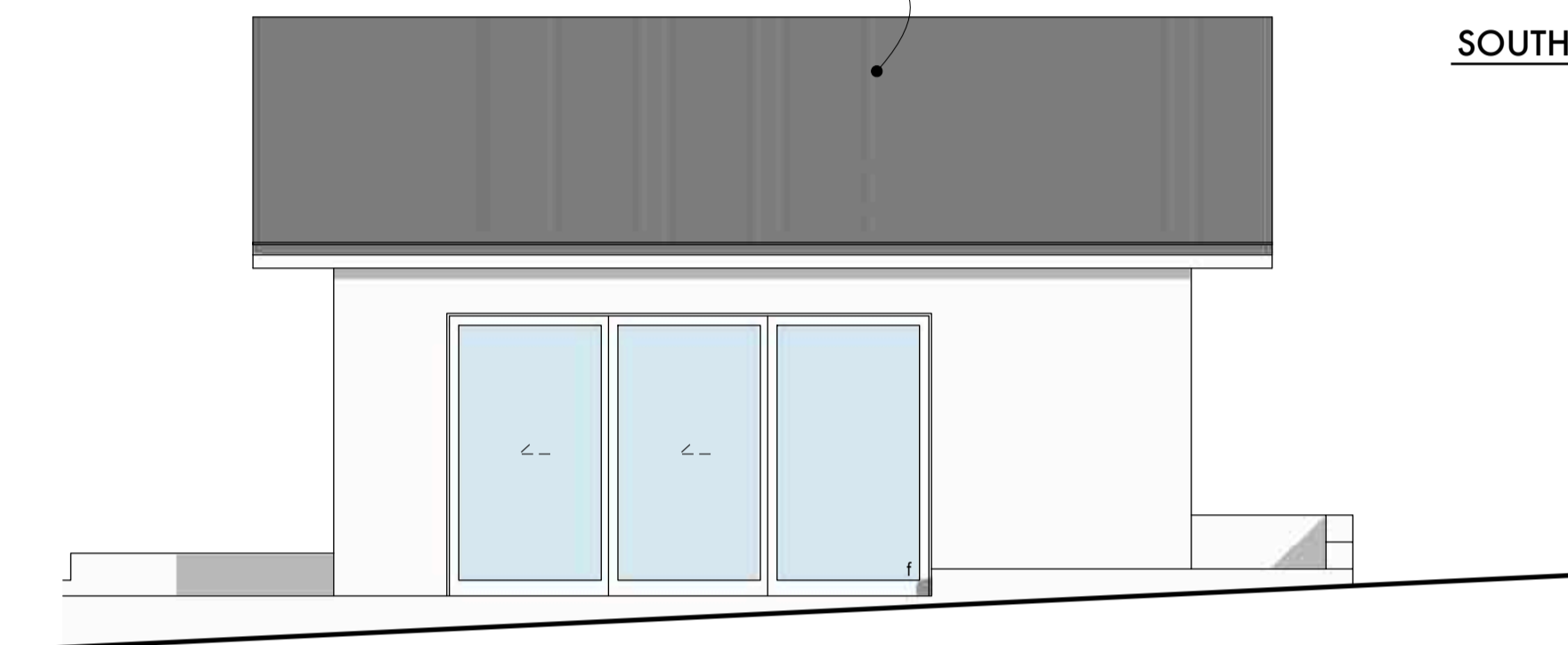
scale 1:50

aluminium windows & doors as per schedule.

Colorbond 'Basalt' Enseam roof sheeting.

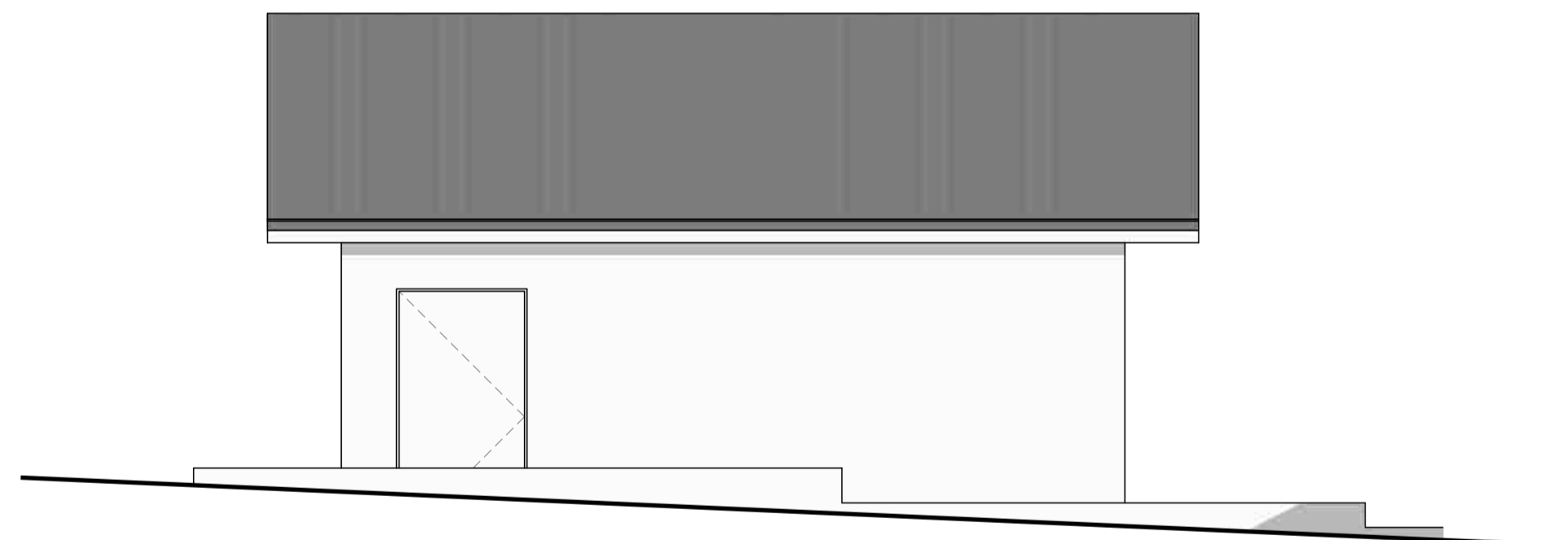
EASTERN ELEVATION

scale 1:50



WESTERN ELEVATION

scale 1:50



P. & T. MAYSON - No. 157 MELROSE Rd MOUNT FROME MUDGEES - CABANA

EXTERNAL DOOR SCHEDULE

mark	location	height	width	head	type	insect screen	max u value (NFRC)	max shgc value (NFRC)
All windows & external doors to be AWS Residential Series or similar aluminium frames unless otherwise noted. Finish:- Powdercoat 'Surfmist'								
mark	location	height	width	head	type	insect screen	max u value (NFRC)	max shgc value (NFRC)
D-01	cabana	2100	3600	2100	al. frame - 3 panel stacking door / toughened single glazed clear	fibreglass		
D-02	cabana	2100	4600	2100	al. frame - double sliding door / toughened single glazed clear	fibreglass		
D-03	pump room	2040	1020	2060	tmb. frame - solid core ext. grade flush door			

WINDOW & DOOR GENERAL NOTES

windows:  
glazing - u & shgc values according to nfrc 2007.  
frames - AWS Residential Series - Powdercoat 'Surfmist'.  
hardware - 'Icon' Series - to be confirmed by owner.  
screens - all windows as per schedule.  
doors - all external doors to be provided with weather strips or draught excluders as per Part 3.12.3 NCC 2019  
N.B The window manufacturer is to confirm all External Doors & Openable Windows in conditioned spaces are sealed to restrict air infiltration as per Part 3.12.3 NCC 2019



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**DESIGN BY**  
GRD

**ISSUE**  
August 1, 2022  
DA Plan

**PROJECT NO.**  
21/005h

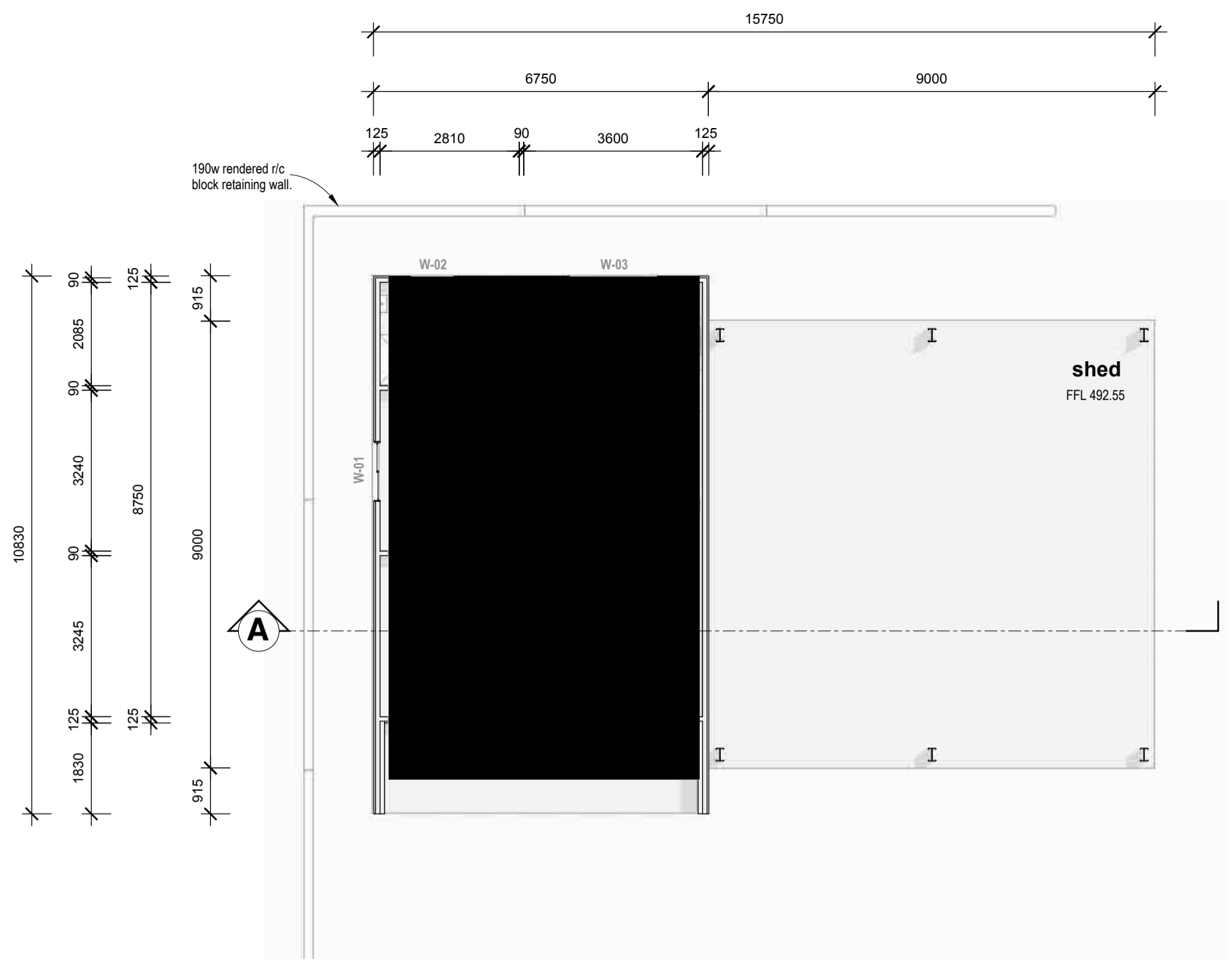
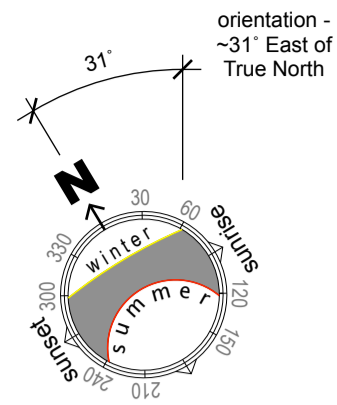
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PROPOSED RESIDENCE AT  
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MOUNT FROME - MUDGEES  
NSW 2850

**CABANA FLOOR PLAN**

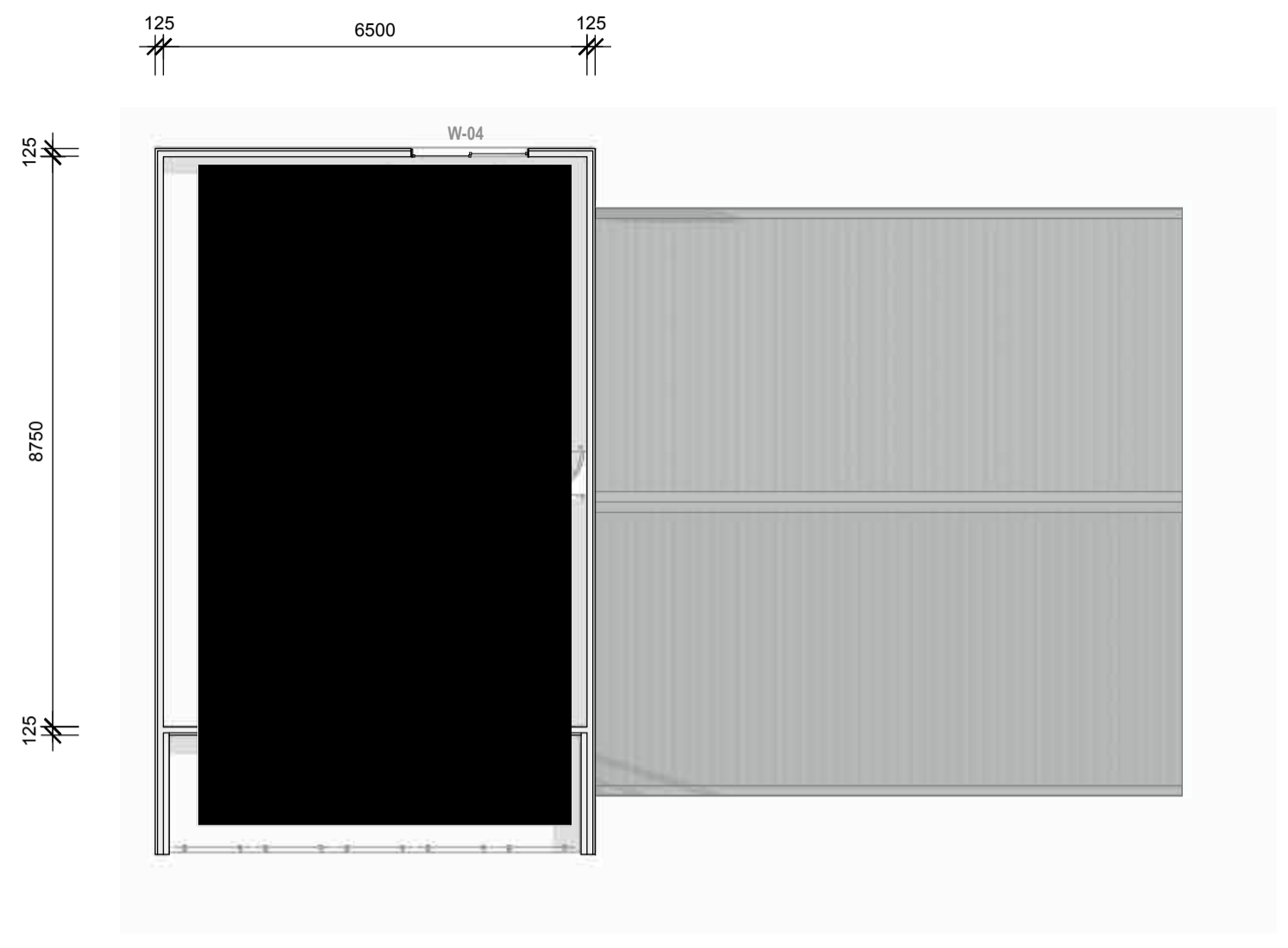
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A1

08



**GROUND FLOOR PLAN**  
scale 1:100



**1ST FLOOR PLAN**  
scale 1:100

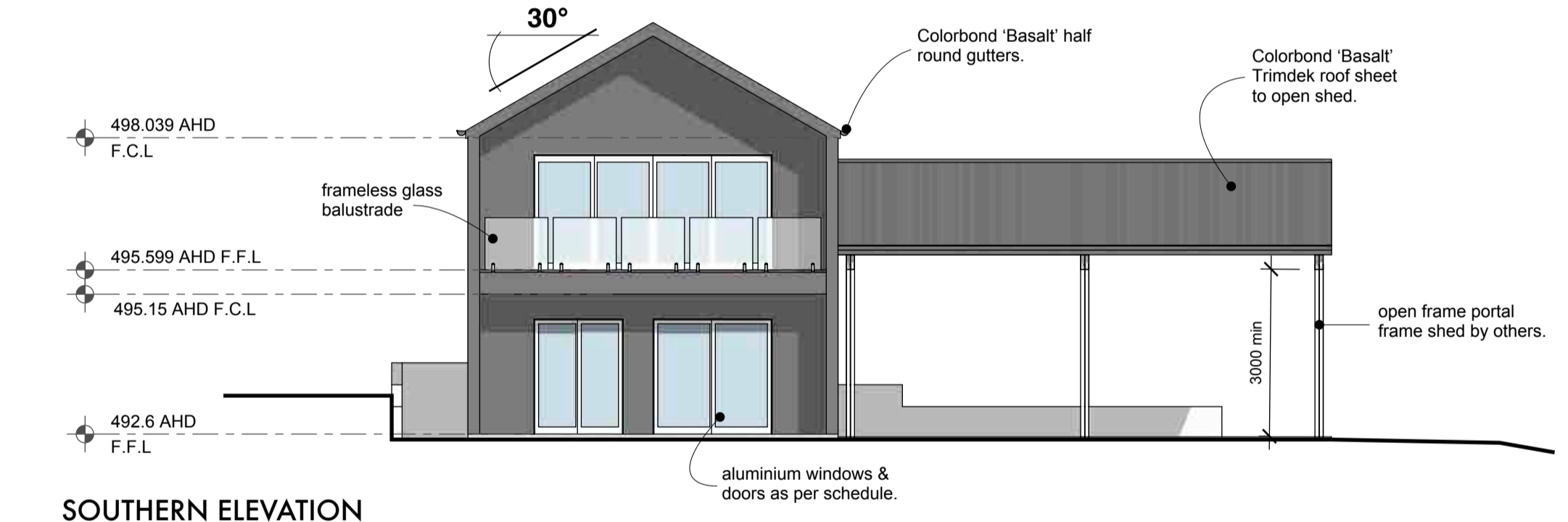
**notes**  
LEP 2012  
\* Zone - RU4 Primary Production Small Lots  
\* Visual Sensitive Land  
\* High Biodiversity Sensitivity  
\* Bushfire Prone Land (Vegetation Category 2)

AS 4055 Wind Loads for Housing -  
**Region A**  
Topographic Class - T2  
Terrain Category - (TC2)  
Shielding - (NS)  
WIND CLASSIFICATION = N3  
BASIX floor areas (refer page 01 for BASIX commitments)  
Conditioned Floor Area = 273 m<sup>2</sup>  
Unconditioned Floor Area = 18 m<sup>2</sup>

Ⓢ - denotes smoke alarm locations  
construction to be in accordance with BAL 19  
as per Planning for Bushfire Protection, AS 3959.

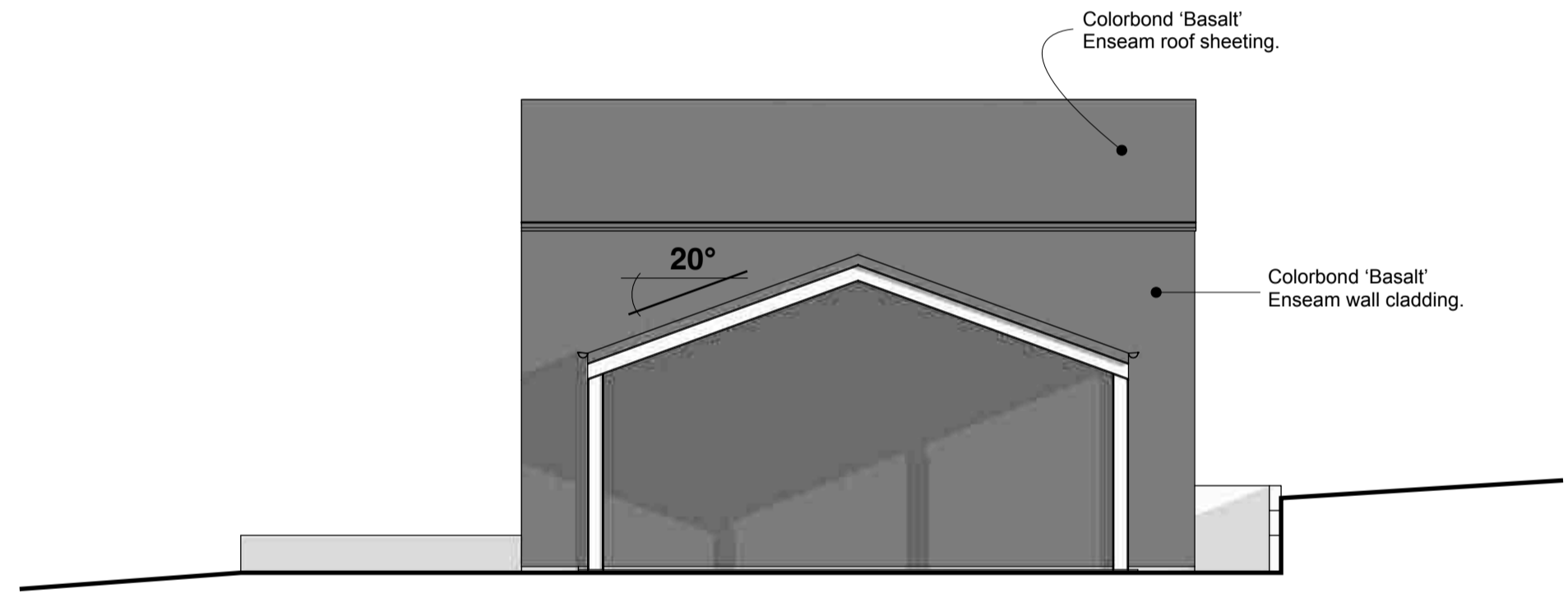
**secondary dwelling + shed floor areas**

ground floor living -	60.7 m <sup>2</sup>
ground floor veranda -	12.3 m <sup>2</sup>
1st floor living -	56.4 m <sup>2</sup>
1st floor balcony -	12.3 m <sup>2</sup>
shed -	81.0 m <sup>2</sup>
footprint area -	154.0m <sup>2</sup>
total -	222.7m <sup>2</sup> (23.9 sq)

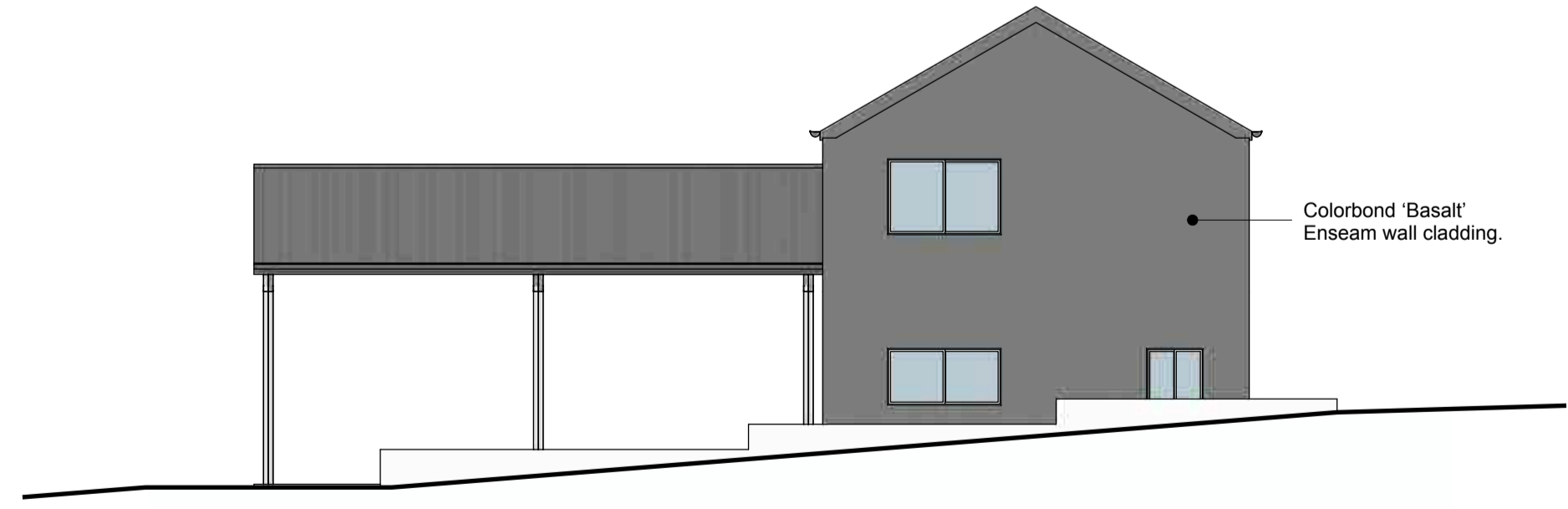


**SOUTHERN ELEVATION**  
scale 1:100

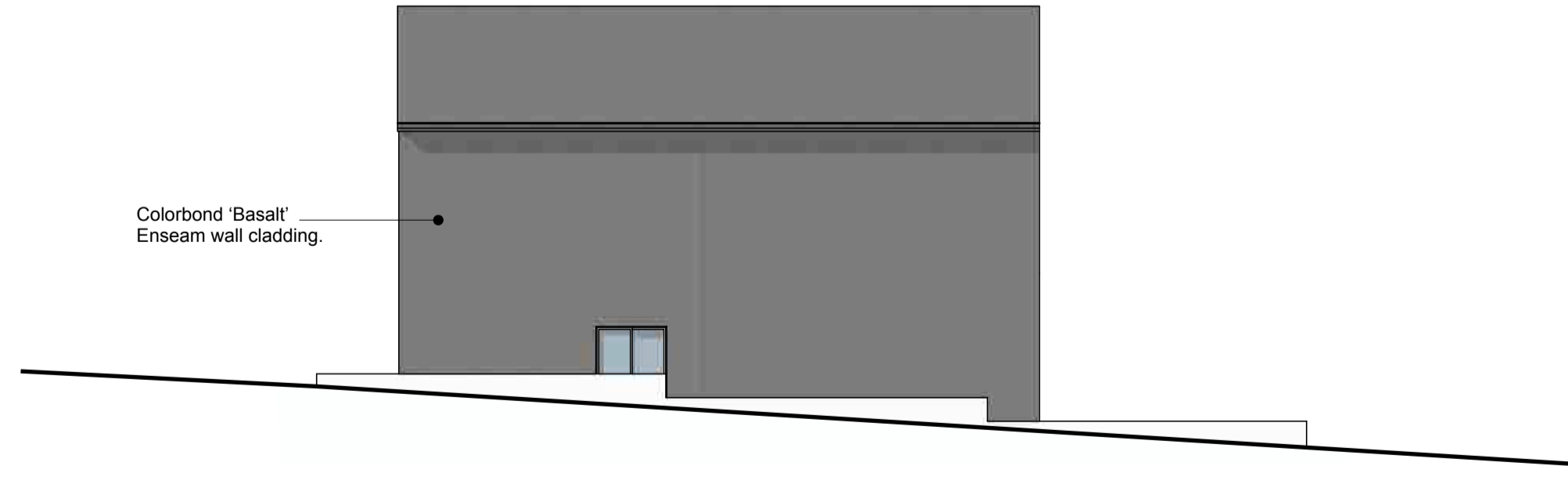
N.B.  
all construction to be in accordance with BAL 19  
as per Planning for Bushfire Protection, AS 3959  
& construction specifications.



**EASTERN ELEVATION**  
scale 1:100



**NORTHERN ELEVATION**  
scale 1:100



**WESTERN ELEVATION**  
scale 1:100



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**ISSUE**  
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DA Plan

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**PROJECT**  
PROPOSED RESIDENCE AT  
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DP 253326  
MOUNT FROME - MUDGE  
NSW 2850

**SECONDARY + DWELLING + SHED PLAN + ELEVATIONS**

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