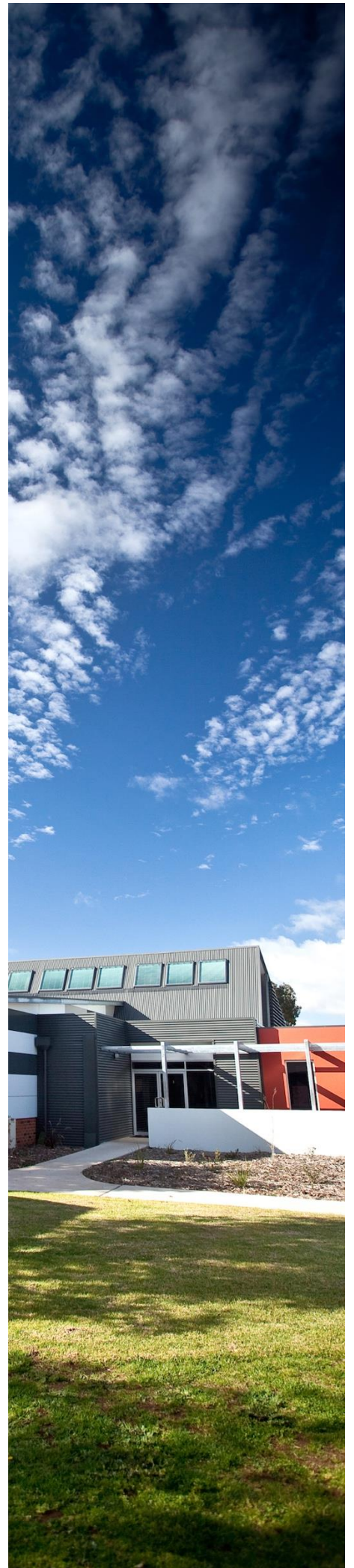




Statement of Environmental Effects

Torrens Title Subdivision
(1 Lot into 2 Lots)
19-47 Waterworks Road
Mudgee


(Our Reference: 38164-PR01_B)
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Project Name:	Torrens Title Subdivision (1 Lot into 2 Lots)
Client:	Nicholas & Ashlea Fletcher
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Prepared by:	Reviewed by:
	
Luke Bonnell B. Social Science, Grad. Dip. Urb & Reg. Planning Graduate Town Planner	Jack Massey B. Urb & Reg. Planning Senior Town Planner

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1 INTRODUCTION

1.1 Background

Barnson Pty Ltd has been engaged by Nicholas & Ashlea Fletcher to prepare information in support of a Development Application (DA) for the Torrens Title subdivision of Lot 10 DP 1202406 (1 Lot into 2 Lots), known as 19-47 Waterworks Road, Mudgee.

The subject site is located on the eastern side of Waterworks Road and has a property area of approximately 5.678ha. The site is improved with an existing dwelling but is predominately vacant land. Redbank Creek traverses through the middle of the subject site.

The project will consist of the subdivision of Lot 10 DP 1202406 site into two (2) Lots and associated civil works.

The site is zoned R1 General Residential pursuant to the provisions under the *Mid-Western Regional Local Environmental Plan 2012*. The proposed development is defined as a 'subdivision', which is permissible with consent in the R1 zone.

This application consists of:

- NSW Planning Portal submission; and
- PDF copy of this written statement, including plans and supporting documents.

1.2 Proponent

The proponent for the DA is Nicholas & Ashlea Fletcher.

1.3 Consultant

Barnson Pty Ltd

Jack Massey

Unit 4 / 108-110 Market St

Mudgee NSW 2850

2 EXISTING ENVIRONMENT

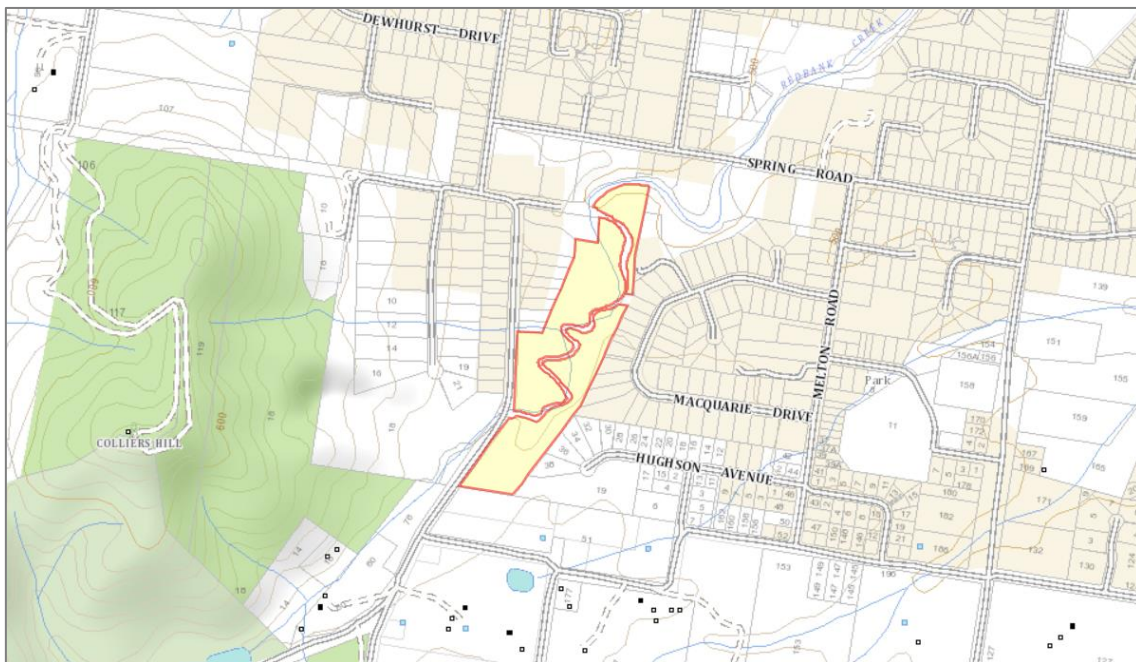
2.1 Location and Title

The subject site of this application is Lot 10 DP 1202406, known as 19-47 Waterworks Road, Mudgee. Details of the site have been provided in **Table 1** below.

Table 1 – Site Details

Street No.	Lot	Road Frontage	Area	Use of land
19-47	Lot 10 DP 1202406	Waterworks Road	5.678ha	Residential dwelling and vacant land

The site is located on the eastern side of the Waterworks Road, in the township of Mudgee, as shown in **Figure 1** below.



Source: (NSW Government Spatial Services, 2022)

Figure 1 – Site Location

The site has an overall area of 5.678 hectares (refer to Deposited Plan in **Appendix A** of this report). The site has direct frontage to Waterworks Road. The site current contains an existing dwelling but is predominately vacant land. Redbank Creek traverses through the middle of the subject site. Refer to **Figure 2** and **Plate 1** for images of the subject site.



Source: (NSW Government Spatial Services, 2022)

Figure 2 – Site Aerial



Source: (Google Street View, Accessed 2022)

Plate 1 – View of the subject site, Waterworks Rd and nearby residential lands

2.2 Land Use

The subject site is located in an area predominately characterised by residential activities. There are residential dwellings located to the east, north and west of the site, some of which are newly

created subdivisions. The site is located on the outskirts of Mudgee, as such there are vacant lands to the south of the site. The subject site has been vacant for an extended period of time, with the exception of a new residential dwelling fronting Waterworks Road that was constructed recently.

2.3 Topography and Soils

The site is improved with undulating lands throughout due to the presence of Redbank Creek, which traverses through the middle of the site. Soils appear to be stable.

2.4 Flora and Fauna

The subject site is mostly devoid of any significant tracts of vegetation. However, there are some tracts of riparian vegetation along the banks of Redbank Creek. The property is frequently mown/maintained by the property owner.

2.5 Natural Hazards

2.5.1 Flooding

The subject site is located within the Flood Planning Area pursuant to the *Mid-Western Regional Local Environmental Plan 2012* (LEP). Figure 3 below shows the extent of the flood mapped area applicable to the site.



Source: (NSW ePlanning Spatial Viewer, 2022)

Figure 3 – Flood Planning Area Mapping

2.5.2 Bush Fire

The subject site is not prone to bushfire hazards pursuant to the NSW ePlanning Spatial Viewer and RFS' Online Bushfire Mapping Tool.

2.6 Groundwater

The site is partly mapped as groundwater vulnerable, pursuant to *Mid-Western Regional Local Environmental Plan 2012* (LEP). The mapped area is shown in **Figure 4** below.



Source: (NSW ePlanning Spatial Viewer, 2022)

Figure 4 – Groundwater Vulnerability Mapping

2.7 Services

The subject site is connected to existing utility connections, including water supply, sewerage, stormwater management, telecommunications, NBN, electricity and suitable road access. There are a number of easements located on the site, as shown on the Deposited Plan in **Appendix A** of this report.

2.8 Access and Traffic

Access to the site is gained via multiple access points off the eastern side of Waterworks Road. The access points consist of existing crossovers and laybacks, providing suitable vehicular access to and from the subject site.

2.9 Heritage

The subject site is not known to contain any heritage listed items pursuant to the State Heritage Register or Schedule 5 of the *Mid-Western Regional Local Environmental Plan 2012*.

The Aboriginal Heritage Information Management System (AHIMS) search provided in **Appendix B** of this report reveals that there are no items of Aboriginal cultural heritage known to be located on the subject site or within proximity.

3 PROPOSED DEVELOPMENT

The proposed development involves the subdivision of Lot 10 DP 1202406 into two (2) Lots (Torrens Title subdivision). The intent of the proposed subdivision is to create two new residential allotments, one improved with the existing dwelling and the other to remain as vacant land ready for future development.

A Subdivision Sketch Plan has been provided in **Appendix C** and Preliminary Services Design in **Appendix D** of this report. The proposed Lots and their sizes are shown in **Table 2** below.

Table 2 – Subdivision Details

Proposed Lot	Road Frontage Waterworks Road	Area	Use of land
Lot 1	Yes	799.9m ²	Existing dwelling and associated outbuildings
Lot 2	Yes	1418m ²	Vacant Lot ready for future residential development

The subdivision has been designed in order to excise opportunity for a new residential development on proposed Lot 2 and to subdivide off the existing dwelling so it is situated on its own allotment. It is proposed to establish a residential dwelling on proposed Lot 2 in future, just south of the existing electrical easement. The dwelling shall be subject to a separate Development Application to Council.

In terms of services, the following is proposed:

- The existing sewer main on proposed Lot 1 will service the proposed development with a new sewer line connected to proposed Lot 2 to provide reticulated sewer to the Lot;
- One new proposed water meter and reticulated water supply is to be established from the existing water mains on Waterworks Road to provide metered and reticulated water supply to proposed Lot 2;
- There is an easement for existing overhead powerlines between proposed Lots 1 and 2, and there is provision for electricity connections for the two proposed new lots that do not already have existing electricity connections;
- Telecommunications infrastructure is available to the proposed Lots.

Refer to Subdivision Sketch Plan in **Appendix C** and Preliminary Civil Design in **Appendix D** of this report.

4 LAND USE ZONING

The subject site is zoned R1 General Residential pursuant to the provisions under the *Mid-Western Regional Local Environmental Plan 2012* (LEP). The proposed development is for a Torrens Title 'subdivision', which is permissible with consent in the R1 General Residential zone pursuant to Clause 2.6 of the LEP.

The permissibility of the proposed development is assessed in terms of the heads of consideration in Section 4.15 of the *Environmental Planning & Assessment Act 1979*, which incorporates consideration of the LEP and the objectives and permissible uses outlined in the R1 zone, as outlined in **Section 5** of this report.

5 PLANNING CONSIDERATIONS

5.1 Water Management Act 2000

A controlled activity approval is generally required for development works on waterfront land. Under the *Water Management Act 2000* (WM Act), waterfront land means the following:

waterfront land means:

- (a) the bed of any river, together with any land lying between the bed of the river and a line drawn parallel to, and the prescribed distance inland of, the highest bank of the river, or
- (a1) the bed of any lake, together with any land lying between the bed of the lake and a line drawn parallel to, and the prescribed distance inland of, the shore of the lake, or
- (a2) the bed of any estuary, together with any land lying between the bed of the estuary and a line drawn parallel to, and the prescribed distance inland of, the mean high water mark of the estuary, or
- (b) if the regulations so provide, the bed of the coastal waters of the State, and any land lying between the shoreline of the coastal waters and a line drawn parallel to, and the prescribed distance inland of, the mean high water mark of the coastal waters,

where the prescribed distance is 40 metres or (if the regulations prescribe a lesser distance, either generally or in relation to a particular location or class of locations) that lesser distance. Land that falls into 2 or more of the categories referred to in paragraphs (a), (a1) and (a2) may be waterfront land by virtue of any of the paragraphs relevant to that land.

Comment: As indicated above, waterfront land is land within 40m of the highest bank of a river, in this case Redbank Creek. As the proposed subdivision, including the provision of utility services, are located within 40m of the creek/blue lines indicated as shown in **Figure 1**, the application requires a Controlled Activity Approval in accordance with the WM Act.

5.2 Environmental Planning & Assessment Act 1979

5.2.1 Evaluation

Section 4.15 of the EP&A Act (as amended) requires the Council to consider various matters in regard to the determination of the Development Application.

In determining a development application, a consent authority is to take into consideration such of the following matters as are of relevance to the development the subject of the development application:

- (a) The provisions of:
 - (i) any environmental planning instrument, and
 - (ii) any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Secretary has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved), and
 - (iii) any development control plan, and

- (iii) any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4, and*
- (v) the regulations (to the extent that they prescribe matters for the purposes of this paragraph), and*
- (v) any coastal zone management plan (within the meaning of the Coastal Protection Act 1979), that apply to the land to which the development application relates,*
- (b) The likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality;*
- (c) The suitability of the site for the development,*
- (d) Any submissions made in accordance with this act or the regulations,*
- (e) The public interest.*

The proposed development has been designed with consideration to the following matters, as outlined below.

5.2.2 Integrated Development

Development that requires both development consent and another approval listed under Section 4.46 of the EP&A Act is 'Integrated Development'. The proposed development is Integrated Development by virtue of requiring:

- A Controlled Activity Approval under the *Water Management Act* for works within 40m of a watercourse.

5.3 Environmental Planning Instruments

5.3.1 SEPP (Resilience and Hazards) 2021

Clause 4.6 of *State Environmental Planning Policy (Resilience and Hazards)* requires Council to consider the following before granting consent to a DA:

- (a) it has considered whether the land is contaminated, and*
- (b) if the land is contaminated, it is satisfied that the land is suitable in its contaminated state (or will be suitable, after remediation) for the purpose for which the development is proposed to be carried out, and*
- (c) if the land requires remediation to be made suitable for the purpose for which the development is proposed to be carried out, it is satisfied that the land will be remediated before the land is used for that purpose.*

Comment: The site is located within a residential area and has been used for residential purposes in recent years. The site does not appear to have been impacted by any of the activities/materials listed in Appendix A of the *Managing Land Contamination: Planning Guidelines SEPP 5 – Remediation of Land* (NSW Department of Urban Affairs and Planning & Environment Protection Authority, 1998). Therefore it appears that there have not

been any contaminating uses carried out on the site and it is considered that a preliminary site investigation is not required in this instance.

5.3.2 Mid-Western Regional Local Environmental Plan 2012

5.3.2.1 Land Use Table

The subject site is zoned R1 General Residential pursuant to the provisions under the *Mid-Western Regional Local Environmental Plan 2012* (LEP). The objectives of the R1 zone are:

- *To provide for the housing needs of the community.*
- *To provide for a variety of housing types and densities.*
- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*

Comment: The proposed development is defined as a ‘subdivision’ and shall enable future residential development, which is considered to be consistent with the zone objectives as it provides for the growing housing needs of the community. The proposal is permissible with consent in the R1 zone.

5.3.2.1 Minimum Subdivision Lot Size

Clause 4.1 of the LEP states:

(3) The size of any lot resulting from a subdivision of land to which this clause applies is not to be less than the minimum size shown on the [Lot Size Map](#) in relation to that land.

Comment: The subject site has a Minimum Lot Size (MLS) of 600m² pursuant to the *Mid-Western Regional Local Environmental Plan 2012*. The proposed development is for the subdivision of Lot 10 DP 1202406 into two (2) Lots. Each Lot meets the specified MLS, thereby complying with this clause.

5.3.2.2 Flood Planning

The subject site is mapped as being within the Flood Planning Area. Clause 5.21 ‘Flood Planning’ of the LEP states that consent cannot be granted for development in a flood planning area unless the consent authority is satisfied that:

(a) is compatible with the flood function and behaviour on the land, and

Comment: The proposed subdivision has considered the existing flood function and behaviour of the land. It is compatible with the flood liability of the land as follows:

- The 1 in 100 year flood level (or 1% AEP) has been shown on the Flood Study Mapping in **Appendix E** of this report. The finished floor level of future dwellings on the vacant Lots shall meet the specified height requirement plus 0.5m freeboard, thereby complying with the Flood Planning Level requirement;

- As part of future development of each Lot, a structural engineering certification letter shall be provided to Council to ensure that the flow velocity and pattern of flood water will not be altered. Further, Is shall be confirmed that any proposed development on the site is capable of withstanding the events of flood;
- There are no physical site works (i.e. earthworks) proposed, and as such, the changes to flow paths will be negligible.

(b) will not adversely affect flood behaviour in a way that results in detrimental increases in the potential flood affectation of other development or properties, and

Comment: The proposed new Lots are either not mapped as flood prone, or located within the secondary flow path. It is not anticipated that future development of these Lots would affect flood behaviour, particularly considering that Lot filling is not proposed and future dwellings will be situated on pier systems.

(c) will not adversely affect the safe occupation and efficient evacuation of people or exceed the capacity of existing evacuation routes for the surrounding area in the event of a flood, and

Comment: Each proposed Lot has direct frontage to Waterworks Road, which is easily connected to the Mudgee Local road network to the north. That is, the evacuation route for persons to escape from the proposed Lots is satisfactory.

(d) incorporates appropriate measures to manage risk to life in the event of a flood, and

Comment: By meeting the Flood Planning Level, future development of the Lots ensures that any occupants are safe should a flood event occur. Flood evacuation plans shall be prepared as part of future development of the proposed Lots.

(e) will not adversely affect the environment or cause avoidable erosion, siltation, destruction of riparian vegetation or a reduction in the stability of river banks or watercourses.

Comment: The finished floor level of a future dwelling on the vacant lot will meet the specified height requirement plus 0.5m freeboard of the flood planning level requirement. It is considered that the allowance for the 1 in 100 year flood level (or 1% AEP) consideration would minimise impacts on future development on riparian vegetation, the environment, the riverbanks and watercourses. Proposed future development will also be considered against its potential impacts on riparian land, river banks and the environment.

Refer to Flood Study Mapping in **Appendix E** and Flood Impact Analysis in **Appendix F** of this report. Note. The Flood Study Mapping is based off a previous subdivision plan, however, contains the same data for the purposes of this DA.

5.3.2.3 Earthworks

Clause 6.3 'Earthworks' applies to the subject application as the proposed development includes fill works for the existing dam on the subject site, and associated earthworks relating to the provision of reticulated water and sewerage systems.

Clause 6.3 of the LEP states:

(3) Before granting development consent for earthworks, the consent authority must consider the following matters—

- (a) the likely disruption of, or any detrimental effect on, existing drainage patterns and soil stability in the locality of the development,*
- (b) the effect of the development on the likely future use or redevelopment of the land,*
- (c) the quality of the fill or the soil to be excavated, or both,*
- (d) the effect of the development on the existing and likely amenity of adjoining properties,*
- (e) the source of any fill material and the destination of any excavated material,*
- (f) the likelihood of disturbing relics,*
- (g) the proximity to, and potential for adverse impacts on, any waterway, drinking water catchment or environmentally sensitive area,*
- (h) any appropriate measures proposed to avoid, minimise or mitigate the impacts of the development.*

As shown on the proposed site plan in **Appendix C**, the proposed development has been strategically designed in order to reflect the existing drainage patterns and associated soil stability to minimise impacts of proposed and future development. The proposed Lots have been placed on relatively flat topography to avoid unnecessary cut and fill, minimising the potential impacts to the existing topography and soil composition. The proposed subdivision is considered to have no significant impacts on the amenity of adjoining property and Flood Study is attached in **Appendix E** of this report outlining the proposed developments relation to the Redbank watercourse.

An AHIMS report in **Appendix B** of this report shows there are no known indigenous relics located on the subject site. Therefore it is considered unlikely that the proposed development would impact or disturb relics in the area.

5.3.2.4 Groundwater Vulnerability

Clause 6.4 'Groundwater Vulnerability' applies to the subject application as the subject site is mapped with groundwater vulnerabilities according to NSW Governments ePlanning Spatial Viewer.

Clause 6.4 of the LEP states:

(3) Before determining a development application for development on land to which this clause applies, the consent authority must consider the following—

- (a) the likelihood of groundwater contamination from the development (including from any on-site storage or disposal of solid or liquid waste and chemicals),*
- (b) any adverse impacts the development may have on groundwater dependent ecosystems,*

(c) the cumulative impact the development may have on groundwater (including impacts on nearby groundwater extraction for a potable water supply or stock water supply),

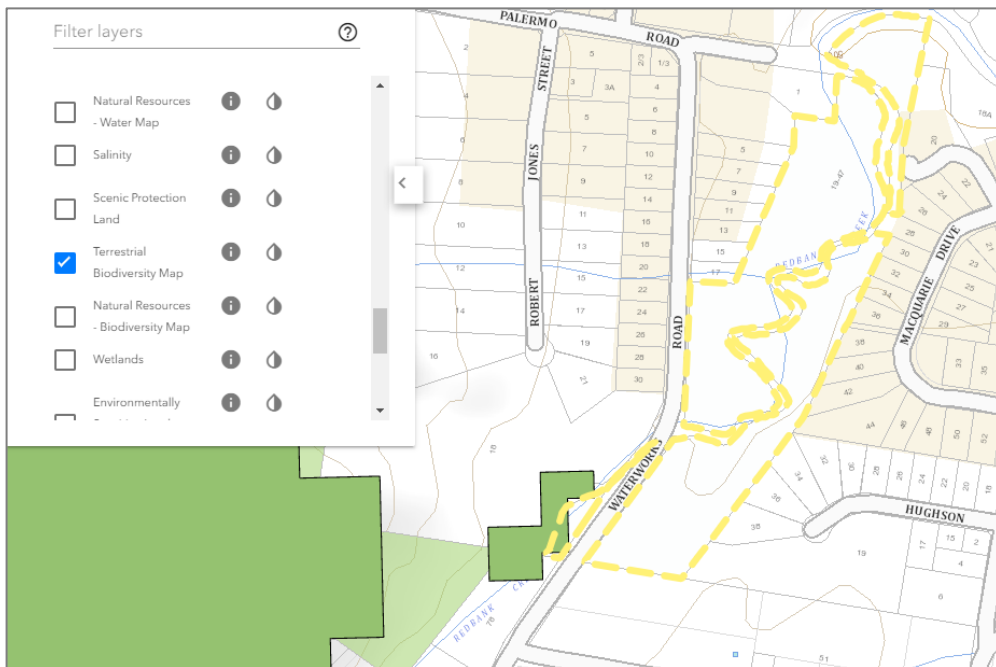
(d) any appropriate measures proposed to avoid, minimise or mitigate the impacts of the development.

The proposed development includes a Torrens title subdivision, associated essential services and access to waterworks road. The essential service works that are underground will be extending existing reticulated services only. The three proposed residential lots are all placed in a location on the subject site that is not mapped with groundwater vulnerability.

There are no proposed groundwater contamination activities or development that would be considered to have adverse impacts on groundwater dependant ecosystems. There are no known cumulative impacts on groundwater or nearby groundwater extraction of the proposed development.

5.3.2.5 Terrestrial Biodiversity

Clause 6.5 ‘Terrestrial biodiversity’ applies to the subject site, as there is terrestrial biodiversity mapped on the subject site according to ePlanning Spatial Viewer.



Source: (NSW Government Spatial Services, 2022)

Figure 5 – Site Location

The proposed subdivision produces two residential lots, one improved with the existing dwelling and the other as vacant land. No development is proposed within the mapped areas shown in Figure 5 above. Therefore it is considered that the subdivision, of which

involves no physical changes or land use changes to the land with terrestrial biodiversity mapping, will have no adverse impact on the terrestrial biodiversity on the subject site.

5.3.2.6 Essential Services

Clause 6.9 'Essential Services' applies to the subject site, as each lot is required to have essential services available or adequate arrangements in place to make them available when required.

Clause 6.9 of the LEP states:

Development consent must not be granted to development unless the consent authority is satisfied that any of the following services that are essential for the proposed development are available or that adequate arrangements have been made to make them available when required—

- (a) the supply of water,*
- (b) the supply of electricity,*
- (c) the disposal and management of sewage,*
- (d) stormwater drainage or on-site conservation,*
- (e) suitable road access.*

Comment: The proposed development includes adequate arrangements for essential services when they are required. The supply of water, disposal and management of sewerage and stormwater drainage are all detailed in the Servicing Plan attached in **Appendix D** and involve works to connect the services to the existing water main and sewer mains that exist along Waterworks road and on proposed lot 1. All proposed lots have frontage to Waterworks road and the proposed development includes the following works for the provision of essential services:

- The existing sewer main on proposed Lot 1 will service the proposed Lot 2;
- One new proposed water meter and reticulated water supply is to be established from the existing water mains on Waterworks Road to provide metered and reticulated water supply to proposed Lot 2;
- There is an easement for existing overhead powerlines between proposed lots 1 and 2, and there is provision for electricity connections for the proposed new lot;
- Telecommunications infrastructure is available to proposed Lot 2, which is vacant land; and,
- Proposed Lot 1 is afforded with suitable utility connection to service the existing dwelling. These connections shall remain unchanged.

Refer to Subdivision Sketch Plan in **Appendix C** and Preliminary Civil Design in **Appendix D** of this report.

5.4 Draft Environmental Planning Instruments

No draft Environmental Planning Instruments are applicable to the subject site or development.

5.5 Development Control Plans

The *Mid-Western Regional Council Development Control Plan 2013* (DCP) applies to the subject site. The relevant provisions of the DCP applicable to the proposed subdivision have been addressed in **Table 3** below.

Table 3 – DCP Compliance Table	
Provision	Comment
<i>Part 7.1 Urban Subdivision</i>	
Lot Size	<p>The sizes of all propose Lots meet the specified minimum lot size of 600m², as shown on the Subdivision Sketch Plan in Appendix C and details provided in Table 2 of this report. Each proposed Lot has direct street frontage to Waterworks Road.</p> <p>The slope of the site does not exceed the slope requirements under this part and the width of each proposed Lot is at least 16m, thereby complying with this part.</p>
Lot Design	<p>The proposed subdivision is for a two (2) Lot subdivision, one of which shall be dedicated for future residential development, and the other improved with the existing dwelling. The orientation of the proposed Lots have considered similar Lot arrangements in the locality and ensures that they optimise solar access, considering solar patterns and solar orientation.</p> <p>The proposed Lots are generally rectangular in shape and allow for an orientation to include 3 hours of sunlight access between 9:00am and 3:00pm on June 21st (Winter Solstice).</p>
Street Design and Layout	Two (2) new Lots are proposed, therefore a Traffic Impact Assessment is not required in this instance. No new roads are proposal as part of the proposed subdivision, and as such, each Lot shall have access to Waterworks Road.
Road Standards for New Development	No new roads are proposed as part of this development application. Each proposed Lot has suitable access to the existing road network.
Urban Road Standards	As above.
Cycle Ways and Footpaths	Not applicable to proposed development as there are no proposed footpaths or cycle ways proposed.
Open Space	Not applicable to proposed development as there are no proposed on-site detention basins, and the subject site is not a 'Greenfield' site.

Landscaping	Not applicable to proposed development as there are no proposed public reserves nor any proposed changes to the public domain including any nature strip, street furniture or paving materials. Existing vegetation on the site and within the street shall be retained.
Utility Services	The proposed development includes the provisions of underground reticulated sewer and water services, drainage and stormwater management systems. Electricity and telecommunications service connections are identified in the Existing site Plan provided in Appendix C . Refer to Preliminary Services Design in Appendix D of this report.
Drainage	It is considered that the proposed service plan enables the capacity for future development to meet the required stormwater and drainage provisions, and future development that includes the construction and maintenance of service infrastructure will have the capacity to adhere to the controls and provisions listed in the DCP. Refer to Preliminary Services Design in Appendix D of this report.
<i>Part 5.4 Environmental Controls</i>	
Protection of Aboriginal Archaeological Items	The AHIMS search provided in Appendix B of this report, shows that there are no known Aboriginal archaeological relics on the subject site. If any items of significance are identified the proponent will notify relevant authorities.
Bushfire Management	The site is not identified as being within a bushfire prone area pursuant to the NSW Rural Fire Services bushfire mapping.
Riparian and Drainage Line Environments	There are no riparian lands or identified watercourses on the subject site as per <i>ePlanning Spatial Viewer</i> and the <i>Biodiversity Values Map</i> .
Pollution and Water Management	There is no proposed pollution or waste producing activity as part of this proposed development.
Threatened Species and Vegetation Management	The proposed subdivision does not include significant clearing and is considered to not have any significant impact on local flora and fauna.
Building in Saline Environments	It is understood that salinity may occur on the subject site, resulting in any future proposed residential buildings being susceptible to salt damage.
House Slabs and Footings	Not applicable as there are no proposed slabs or footings.
Brickwork	Not applicable as there is no proposed brickwork.
All Buildings	Not applicable as there are no proposed buildings.
Alterations and Additions	Not applicable as there are no proposed alterations or additions.

5.6 Any Planning Agreement entered into

No Planning Agreements entered into are known to exist in relation to the development or site.

5.7 Any Matters Prescribed by the Regulations

For the purposes of Section 4.15(1)(a)(iv) of the EP&A Act, Clause 92 of the *Environmental Planning and Assessment Regulations 2000* (EP&A Regulations) specifies the additional matters a consent authority must take into consideration when determining a DA. None of which apply to the proposed development.

5.8 Any Likely Impacts of the Development

5.8.1 Context & Setting

The subject site is located in an existing residential locality which is characterised by existing and emerging residential dwellings. The proposed development is for a minor subdivision to create additional residential opportunities for the locality. The proposed development is considered to be consistent with the existing streetscape and would not impact on the context or setting in the locality.

5.8.2 Access, Transport & Traffic

The subject site is located on the eastern side of Waterworks Road and is improved with existing access points via crossovers and laybacks. Each proposed Lot shall have appropriate vehicular access to the local road network. Each Lot shall be provided with an access crossover and layback, constructed in accordance with Council's requirements. Section 138 applications shall be lodged with Council prior to the issue of a subdivision certificate and commencement of works. The existing dwelling on proposed Lot 1 has suitable access to and from Waterworks Road.

The traffic generated from the additional residential opportunities created by this subdivision would not significantly impact on the local road network. The increase in potential dwellings for the locality is anticipated to create a negligible impact in terms of traffic generation, and as such, it is considered that the existing road network is capable of supporting the minor increase.

5.8.3 Utilities

The provision of all essential services are either available or arrangements have been made to make them available when required and are detailed in **Appendix D** of this report.

Liaising with the relevant service providers shall be undertaken following the approval of the subject application. Notice of Arrangements, where applicable, shall be provided to Council prior to the issue of a subdivision certificate or as per Council's requirements.

5.8.4 Heritage

The subject site is not identified in Schedule 5 of the *Mid-Western Regional Local Environmental Plan 2012*. An Aboriginal Heritage Information System (AHIMS) search was undertaken for the site and immediate surrounds. The AHIMS search revealed that there are no Aboriginal sites recorded within 200m of the subject site.

5.8.5 Flora & Fauna

The proposed development is not expected to adversely impact on flora or fauna as a result of the subdivision.

5.8.6 Flooding

By definition from Table 6 of the "Mudgee Local Creeks Floodplain Risk Management Study and Plan Volume 1 – Draft Study and Plan", a low Hazard where land may be affected by floodway or flood storage subject to a combination of floodwater velocities less than 2m/s with shallow depth or flood water depths less than 0.8 metres with low velocity.

WMA Water were requested to provide flood and overland flow data for the subject site. The data indicated the following floor levels for the 1% AEP flood event with the Flood Planning Level (FPL) also shown to allow for 0.5m of flood freeboard. Refer to Flood Study Mapping in **Appendix E** and Flood Impact analysis in **Appendix F** of this report. Note, the Flood Study Mapping is based off a previous subdivision plan, however, contains the same data for the purposes of this DA.

The data indicated that for the proposed Lots 1 and 2 there was no impact to the site. For the proposed Lot 3, the depth of flooding to the east of the site was less than 0.2m with a velocity of between 0.5m/s and 1m/s. This confirms the site to be Low Flood Risk.

Flood Impacts shall be addressed as part of any future development/physical works on the proposed allotments.

5.8.7 Social and Economic Impacts in the Locality

The proposed subdivision enables future residential development on the subject site, assisting with the growing housing needs for the Mudgee area. The proposed subdivision promotes affordability in a competitive market locally with the provision of additional residential land, promoting diversity in residential land stock, as well as an increase in economic activity in the area. The proposed subdivision is anticipated to create a positive social and economic impact.

5.8.8 Other

There are no other issues such as biodiversity or bushfire that would impact on the proposed development.

5.9 Suitability of the Site for the Proposed Development

The suitability of the site for the proposed development has been addressed in the above sections of this report. There are no prohibitive constraints posed by adjacent developments. There does not appear to be any zoning, planning or environmental matters that should hinder the proposed development of the site. In this regard, it can be concluded that the proposal fits into the locality and the site attributes are conducive for the development.

5.10 The Public Interest

The proposed development is considered to be in the public interest as it provides for a small-scale subdivision. As outlined throughout this report the development is consistent with the minimum lot size for the area and is not expected to have any adverse off-site impacts.

6 CONCLUSION

It is recommended that the proposed subdivision of Lot 10 DP 1202406, known as 19-47 Waterworks Road, Mudgee be supported on the following grounds:

- The proposal is considered acceptable in terms of the provisions of Section 4.15 of the *Environmental Planning and Assessment Act 1979*;
- The proposal is permissible with consent and consistent with the relevant development standards and provisions of the *Mid-Western Regional Local Environmental Plan 2012*;
- The proposal complies with the relevant provisions of the *Mid-Western Regional Council Development Control Plan 2013*;
- The proposed development is not anticipated to generate any adverse impacts in the locality; and
- The proposed development is considered suitable for the site and its surrounds.

7 REFERENCES

NSW ePlanning Spatial Viewer. (2022, May 11). *ePlanning Spatial Viewer*. Retrieved from <https://www.planningportal.nsw.gov.au/spatialviewer/#/find-a-property/lot>

NSW Government. (2022, May 12). *Biodiversity Value Map*. Retrieved from <https://www.lmbc.nsw.gov.au/Maps/index.html?viewer=BVMap>

NSW Government Spatial Services. (2022, May 11). *Six Maps*. Retrieved from <http://maps.six.nsw.gov.au/>

NSW Rural Fire Service. (2006). *Planning for Bush Fire Protection: A Guide for Council's, Planners, Fire Authorities and Developers*. Sydney: NSW RFS.

Appendix A - Title & Deposited Plan



NEW SOUTH WALES LAND REGISTRY SERVICES - TITLE SEARCH

FOLIO: 10/1202406

SEARCH DATE	TIME	EDITION NO	DATE
30/11/2021	2:29 PM	4	24/2/2021

LAND

LOT 10 IN DEPOSITED PLAN 1202406
 AT MUDGEE
 LOCAL GOVERNMENT AREA MID-WESTERN REGIONAL
 PARISH OF MUDGEE COUNTY OF WELLINGTON
 TITLE DIAGRAM DP1202406

FIRST SCHEDULE

NICHOLAS ALEXANDER FLETCHER
 ASHLEA ELIZABETH FLETCHER
 AS JOINT TENANTS (CN AQ816531)

SECOND SCHEDULE (14 NOTIFICATIONS)

- 1 RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
- 2 LAND EXCLUDES THE CREEK SHOWN IN THE TITLE DIAGRAM
- 3 LIMITED TITLE. LIMITATION PURSUANT TO SECTION 28T(4) OF THE REAL PROPERTY ACT, 1900. THE BOUNDARIES OF THE LAND COMPRISED HEREIN HAVE NOT BEEN INVESTIGATED BY THE REGISTRAR GENERAL.
- 4 BK 3312 NO 78 EASEMENT FOR TRANSMISSION LINE 45 METRE(S) WIDE AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
- 5 DP1084401 EASEMENT TO DRAIN SEWAGE 3 METRE(S) WIDE AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
- 6 DP1084401 RESTRICTION(S) ON THE USE OF LAND
- 7 DP1172455 POSITIVE COVENANT
- 8 DP1172455 EASEMENT TO DRAIN SEWAGE 3 METRE(S) WIDE AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
- 9 DP1202406 EASEMENT TO DRAIN WATER 3 WIDE & 18 METRE(S) WIDE AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
- 10 DP1202406 EASEMENT TO DRAIN WATER 3 WIDE & 18 METRE(S) WIDE APPURTENANT TO THE LAND ABOVE DESCRIBED
- 11 DP1202406 EASEMENT TO DRAIN WATER 1 METRE(S) WIDE APPURTENANT TO THE LAND ABOVE DESCRIBED
- 12 DP1202406 EASEMENT FOR OVERHEAD POWER LINE(S) 20 METRE(S) WIDE AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
- 13 DP1202406 RESTRICTION(S) ON THE USE OF LAND
- 14 AK582986 MORTGAGE TO COMMONWEALTH BANK OF AUSTRALIA

Barnson Pty Ltd (Mudgee)

END OF PAGE 1 - CONTINUED OVER
 PRINTED ON 30/11/2021

NEW SOUTH WALES LAND REGISTRY SERVICES - TITLE SEARCH

FOLIO: 10/1202406

PAGE 2

NOTATIONS

UNREGISTERED DEALINGS: NIL

*** END OF SEARCH ***

Barnson Pty Ltd (Mudgee)

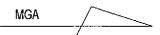
PRINTED ON 30/11/2021

* Any entries preceded by an asterisk do not appear on the current edition of the Certificate of Title.
Warning: the information appearing under notations has not been formally recorded in the Register.

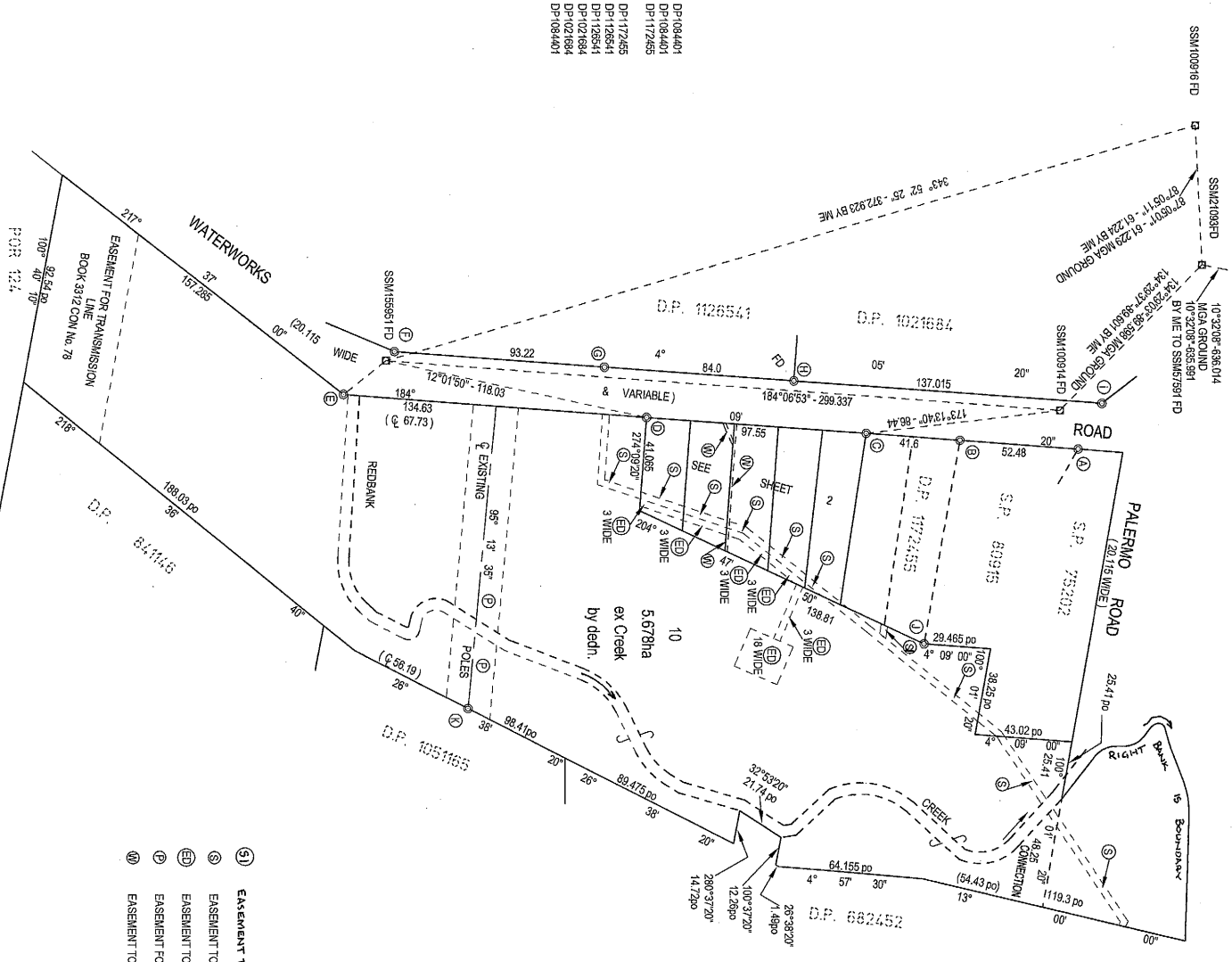
GLOBALX TERRAIN PTY LTD - hereby certifies that the information contained in this document has been provided electronically by the Registrar General in accordance with section 96B(2) of the Real Property Act 1900.

Note: Information contained in this document is provided by GLOBALX TERRAIN PTY LTD (ABN 35 164 894 517), <http://www.globalxterrain.com/> an approved NSW Information Broker

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CDK	BEARING	FROM	DISTANCE	
A	95°53'00"	DH & W FD	6.045	DP-1084401
B	23°18'00"	DH & W FD	18.035	DP-1084401
C	95°49'30"	DH & W FD	3.98	DP-1172455
D	144°21'00"	SM/55851 FD	3.98	DP-1172455
E	319°04'45"	SM/55851 FD	2.525	DP-1172455
F	289°29'20"	DH & W FD	4.495	DP-1172455
G	287°33'40"	DH & W FD	4.41	DP-1021684
H	380°32'40"	SM/100914 FD	18.9	DP-1021684
I	1°55'00"	G/P FD	9.365	DP-1084401
J	103°00'00"		8.1	
K				



- ① EASEMENT TO DRAIN SEWERAGE 3 WIDE (DP-1172455)
- ② EASEMENT TO DRAIN SEWERAGE 3 WIDE (DP-1084401)
- ③ EASEMENT TO DRAIN WATER 3 AND 18 WIDE
- ④ EASEMENT FOR OVERHEAD POWER LINES 20 WIDE
- ⑤ EASEMENT TO DRAIN WATER 1 WIDE

DAIUM LINE OF SURVEY: SSM/21093 - SSM/57391

MARK	EASTING	NORTHING	CLASS	ORDER
SSM/100916	742061.64	6388461.77	C	3
SSM/21093	742128.329	6388464.995	C	3
SSM/100914	742190.267	6388402.089	C	3
SSM/57391	742242.646	6389060.326	C	3
SSM/55851	742188.82	6388103.45	D	4

SCHEDULE OF ZONES:
 HIGH CO-ORDINATES
 COMBINED SCALE FACTOR 1.002298
 DATE FROM SCANS 12TH JUNE 2014

Surveyor: ROBERT JOHN CHROOKS
 Date of Survey: 16TH JUNE 2014
 Surveyor's Ref: BK064-FILE2014/0010340
 PARTIAL SURVEY

PLAN OF SUBDIVISION OF LOT 5 DP-1172455

LGA: MID WESTERN REGIONAL COUNCIL
 Locality: MUDGEE
 Subdivision No: 004/2015
 Lengths are in metres, Reduction Ratio 1: 1800

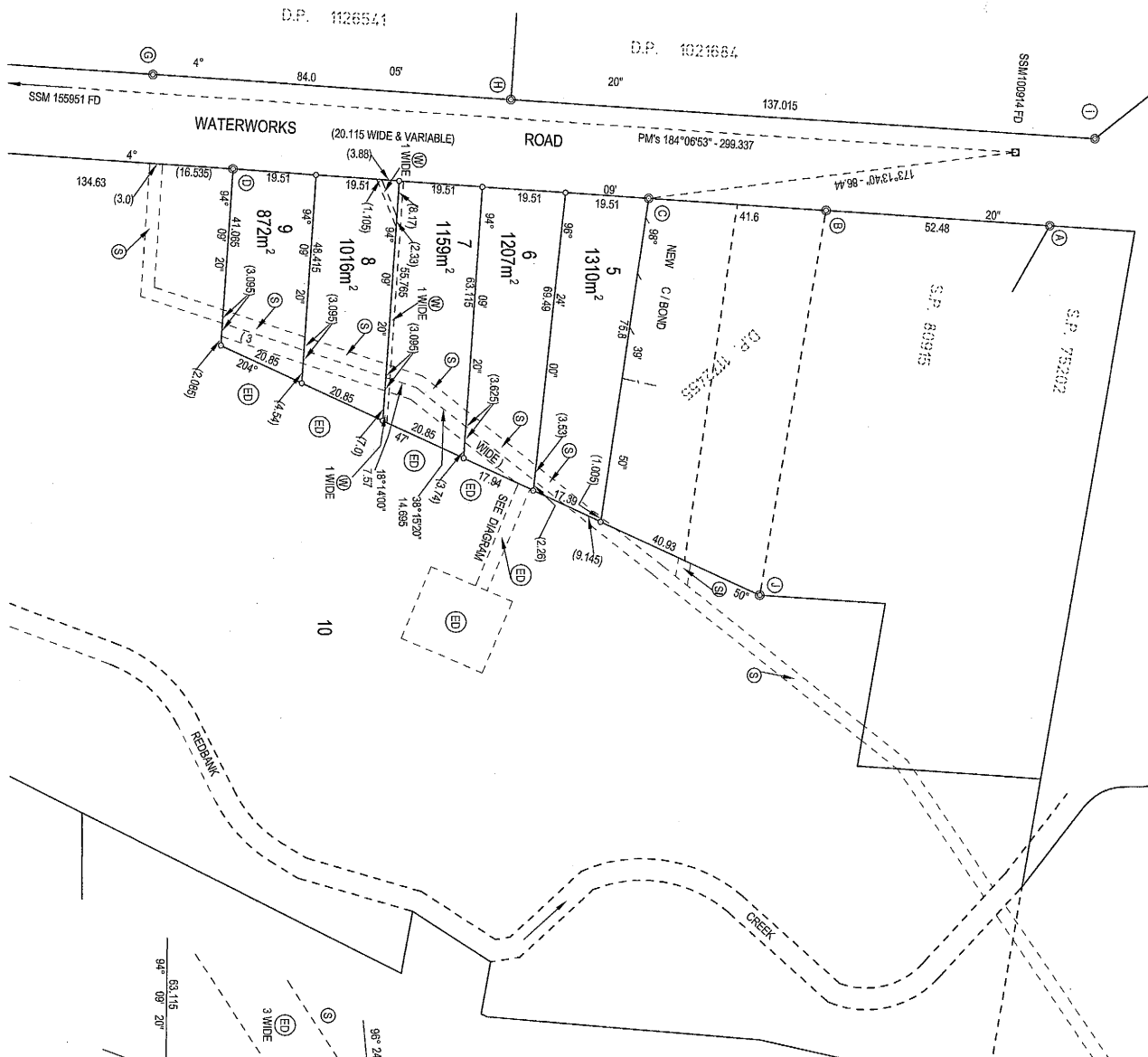
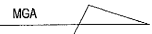
Registered
 11.11.2014



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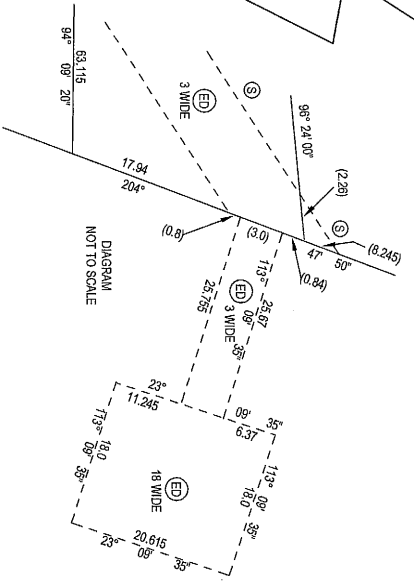
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COR	BEARINGS	FROM	DISTANCE
A	95°53'00"	DH & WFD	6.045
B	23°45'00"	DH & WFD	18.055
C	93°46'30"	DH & WFD	5.98
D	103°21'00"	DH & W	6.0
G	288°29'20"	DH & WFD	4.495
H	287°33'40"	DH & WFD	4.41
I	350°32'40"	SSM100914 FD	18.9
J	1°55'00"	GIP FD	9.955



MARK	EASTING	NORTHING	CLASS	ORDER
SSM100916	74205.164	639461.77	C	3
SSM10093	74276.239	639464.866	C	3
SSM100914	742790.297	639462.288	C	3
SSM10091	742742.648	639460.328	C	3
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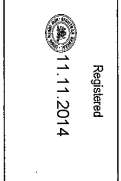
- ⑤ EASEMENT TO DRAIN SEWAGE 3 WIDE (DP 1172455)
- ⑥ EASEMENT TO DRAIN SEWAGE 3 WIDE (DP 1084401)
- ⑦ EASEMENT TO DRAIN WATER 3 AND 18 WIDE
- ⑧ EASEMENT TO DRAIN WATER 1 WIDE



Surveyor : ROBERT JOHN CROOKS
 Date of Survey : 16TH JUNE 2014
 Surveyor's Ref : BK054 FILED 2014 JUNE 10 09:30 AM
 PARTIAL SURVEY


PLAN OF SUBDIVISION OF LOT 5 DP 1172455

L.G.A. MID WESTERN REGIONAL COUNCIL
 Locality : MUDGEE
 Subdivision No: 004/2015
 Lengths are in metres. Reduction Ratio: 1: 800



DP1202406

DEPOSITED PLAN ADMINISTRATION SHEET

Registered:  11.11.2014
 Title System: TORRENS
 Purpose: SUBDIVISION

Office Use Only



Use Only

DP1202406 S

PLAN OF SUBDIVISION OF LOT 5 DP1172455

LGA: MID WESTERN REGIONAL COUNCIL

Locality: MUDGEES

Parish: MUDGEES

County: WELLINGTON

Crown Lands NSW/Western Lands Office Approval

I, (Authorised Officer) in approving this plan certify that all necessary approvals in regard to the allocation of the land shown herein have been given.

Signature:

Date:

File Number:

Office:

Survey Certificate

I, ROBERT JOHN CROOKS

of JABEK PTY LTD - 107-125 BELLEVUE ROAD, MUDGEES NSW 2850

a surveyor registered under the *Surveying and Spatial Information Act 2002*, certify that:

*~~(a) The land shown in the plan was surveyed in accordance with the *Surveying and Spatial Information Regulation 2012*, is accurate and the survey was completed on~~

*~~(b) The part of the land shown in the plan (excluding ^ Boundaries shown as po) was surveyed in accordance with the *Surveying and Spatial Information Regulation 2012*, is accurate and the survey was completed on, 16th June 2014 the part not surveyed was compiled in accordance with that Regulation.~~

*~~(c) The land shown in this plan was compiled in accordance with the *Surveying and Spatial Information Regulation 2012*.~~

Signature: Dated: 19.6.14

Surveyor ID: 884

Datum Line: SSM21093 - SSM57591

Type: *Urban

The terrain is *Level-Undulating

*Strike through if inapplicable.

^Specify the land actually surveyed or specify any land shown in the plan that is not the subject of the survey.

Subdivision Certificate

I, GARY BRUCE
 *Authorised Person/*General Manager/*Accredited Certifier, certify that the provisions of s.109J of the *Environmental Planning and Assessment Act 1979* have been satisfied in relation to the proposed subdivision, new road or reserve set out herein

Signature:

Accreditation number:

Consent Authority: MID WESTERN REGIONAL COUNCIL

Date of endorsement: 11/8/2014

Subdivision Certificate number: 004/2015

File number: DA 0009/2015

*Strike through if inapplicable.

Statements of intention to dedicate public roads, public reserves and drainage reserves.

Plans used in the preparation of survey/compilation:


DP1172455; DP1084401; DP862452; DP8411146; DP1126541

If space is insufficient continue on PLAN FORM 6A

Signatures, Seals and Section 88B Statements should appear on PLAN FORM 6A

Surveyor's Reference: BK054 2014M7100(340)PARTIAL SURVEY

DEPOSITED PLAN ADMINISTRATION SHEET Sheet 2 of 2 sheet(s)

<p style="text-align: right;">Office Use Only</p> <p>Registered:  11.11.2014</p>	<p style="text-align: right;">Use Only</p> <h1 style="text-align: center;">DP1202406</h1>
<p>PLAN OF SUBDIVISION OF LOT 5 DP1172455</p>	
<p>This sheet is for the provision of the following information as required:</p> <ul style="list-style-type: none"> • A schedule of lots and addresses - See 60(c) SSI Regulation 2012 • Statements of intention to create and release affecting interests in accordance with section 88B Conveyancing Act 1919 • Signatures and seals- see 195D Conveyancing Act 1919 • Any information which cannot fit in the appropriate panel of sheet 1 of the administration sheets. 	
<p>Subdivision Certificate number: <i>004/2015</i></p> <p>Date of Endorsement: <i>11/8/2014</i></p>	

PURSUANT TO SECTION 88B OF THE CONVEYANCING ACT 1919 AS AMENDED , IT IS INTENDED TO CREATE:

1. EASEMENT TO DRAIN WATER 3 AND 18 WIDE
2. EASEMENT TO DRAIN WATER 1 WIDE
3. EASEMENT FOR OVERHEAD POWER LINES 20 WIDE
4. POSITIVE COVENANT
5. RESTRICTIONS ON THE USE OF LAND



LOT NO	STREET NO	STREET NAME	STREET TYPE	LOCALITY
5	9	WATERWORKS	ROAD	MUDGEES
6	11	WATERWORKS	ROAD	MUDGEES
7	13	WATERWORKS	ROAD	MUDGEES
8	15	WATERWORKS	ROAD	MUDGEES
9	17	WATERWORKS	ROAD	MUDGEES
10	19-47	WATERWORKS	ROAD	MUDGEES

Mortgagee under Mortgage No. *AH48768*

Signed at *MUDGEES* this *11TH* day of *SEPTEMBER* 20*14* for National Australia Bank Limited ABN 12 004 044 937

by *PETER WILLIAM COTTEN*.
 its duly appointed *Power of Attorney*

Witness/Bank Officer
STEVEN GREGORY PRIEST

If space is insufficient use additional annexure sheet

Appendix B - Aboriginal Heritage Information Management System Search

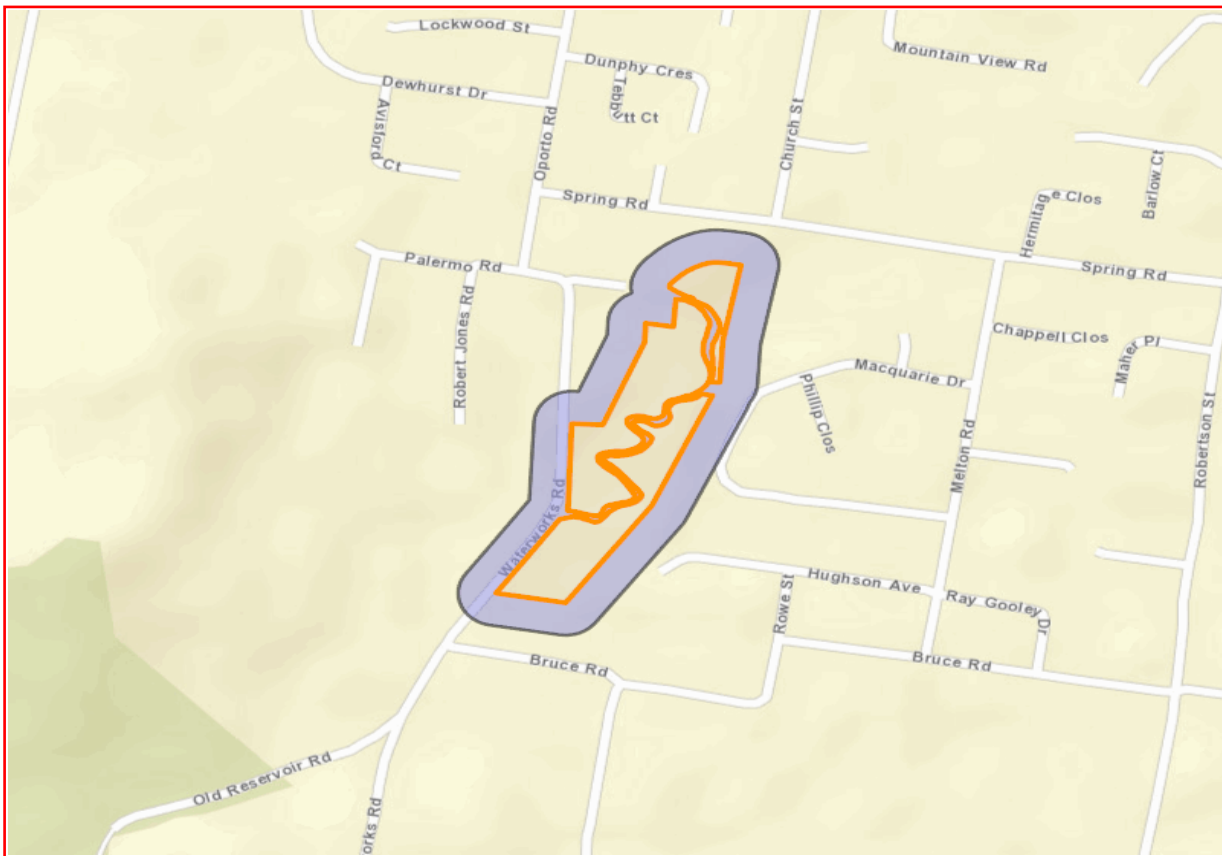
Luke Bonnell
 539 Armidale Road
 East Tamworth New South Wales 2340
 Attention: Luke Bonnell
 Email: lbonnell@barnson.com.au

Date: 20 May 2022

Dear Sir or Madam:

AHIMS Web Service search for the following area at Lot : 10, DP:DP1202406, Section : - with a Buffer of 50 meters, conducted by Luke Bonnell on 20 May 2022.

The context area of your search is shown in the map below. Please note that the map does not accurately display the exact boundaries of the search as defined in the paragraph above. The map is to be used for general reference purposes only.



A search of Heritage NSW AHIMS Web Services (Aboriginal Heritage Information Management System) has shown that:

0	Aboriginal sites are recorded in or near the above location.
0	Aboriginal places have been declared in or near the above location. *

If your search shows Aboriginal sites or places what should you do?

- You must do an extensive search if AHIMS has shown that there are Aboriginal sites or places recorded in the search area.
- If you are checking AHIMS as a part of your due diligence, refer to the next steps of the Due Diligence Code of practice.
- You can get further information about Aboriginal places by looking at the gazettal notice that declared it. Aboriginal places gazetted after 2001 are available on the [NSW Government Gazette \(https://www.legislation.nsw.gov.au/gazette\)](https://www.legislation.nsw.gov.au/gazette) website. Gazettal notices published prior to 2001 can be obtained from Heritage NSW upon request

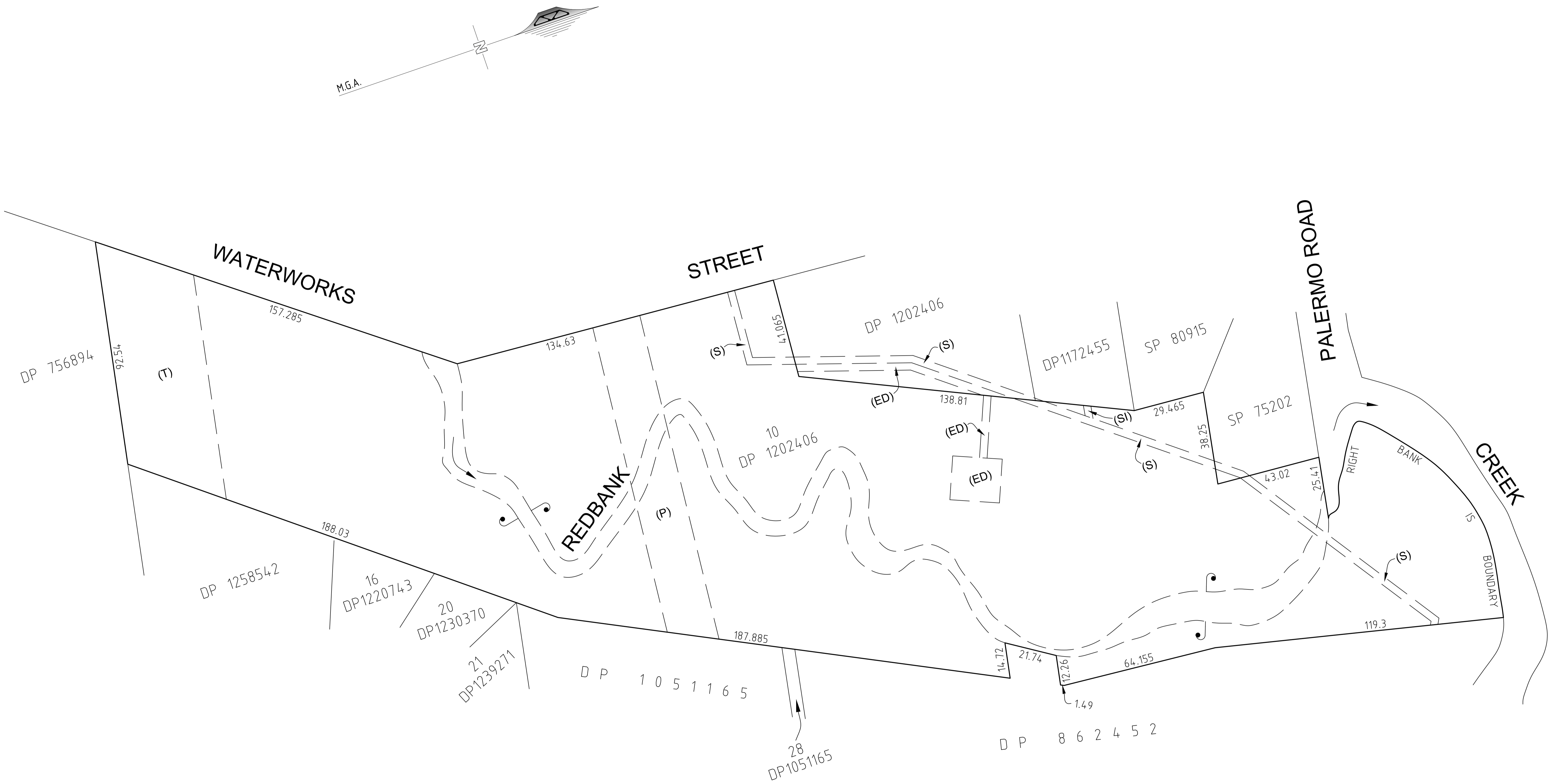
Important information about your AHIMS search

- The information derived from the AHIMS search is only to be used for the purpose for which it was requested. It is not to be made available to the public.
- AHIMS records information about Aboriginal sites that have been provided to Heritage NSW and Aboriginal places that have been declared by the Minister;
- Information recorded on AHIMS may vary in its accuracy and may not be up to date. Location details are recorded as grid references and it is important to note that there may be errors or omissions in these recordings,
- Some parts of New South Wales have not been investigated in detail and there may be fewer records of Aboriginal sites in those areas. These areas may contain Aboriginal sites which are not recorded on AHIMS.
- Aboriginal objects are protected under the National Parks and Wildlife Act 1974 even if they are not recorded as a site on AHIMS.
- This search can form part of your due diligence and remains valid for 12 months.

Appendix C - Development Plans



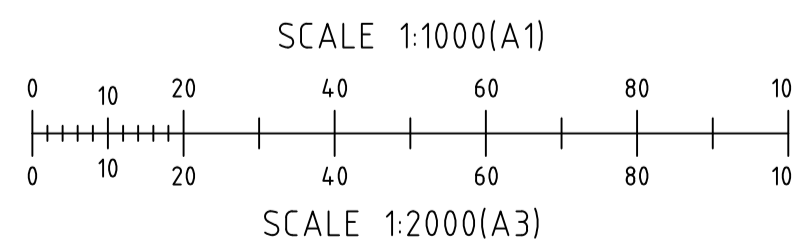
M.G.A.



(ED) EASEMENT TO DRAIN WATER 3 AND 18 WIDE (DP1202406)
 (P) EASEMENT FOR OVERHEAD POWER LINES 20 WIDE (DP1202406)
 (S) EASEMENT TO DRAIN SEWAGE 3 WIDE (DP1084401)
 (SI) EASEMENT TO DRAIN SEWAGE 3 WIDE (DP1172455)
 (T) EASEMENT FOR TRANSMISSION LINE (BOOK 3312 CON NO.78)

EXISTING SITE PLAN

REDUCTION RATIO 1:1000 @ A1
1:2000 @ A3



PRELIMINARY DRAWING
Not to be used for construction purposes



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 generalenquiry@barnson.com.au
 www.barnson.com.au

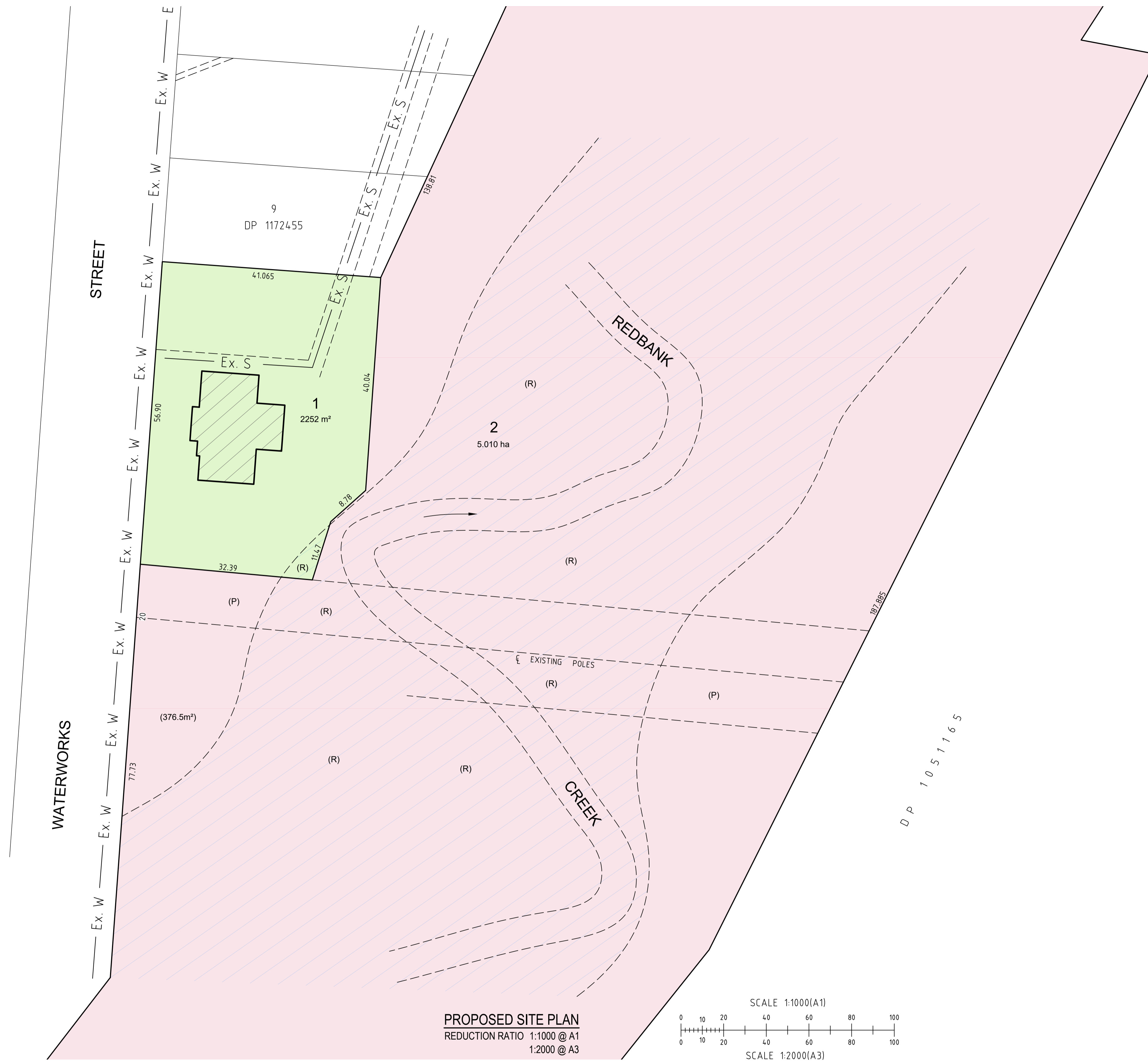
bathurst | coffs harbour | dubbo | mudgee | orange | sydney | tamworth

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH GENERAL BUILDING DRAWINGS, SPECIFICATIONS & OTHER CONSULTANTS DRAWINGS APPLICABLE TO THIS PROJECT. ALL DIMENSIONS IN MILLIMETRES. DO NOT SCALE. DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCEMENT OF WORK. REPORT DISCREPANCIES TO BARNSON PTY LTD. NO PART OF THIS DRAWING MAY BE REPRODUCED IN ANY WAY WITHOUT THE WRITTEN PERMISSION OF BARNSON PTY LTD.

Client: **ASHLEA AND NICK FLETCHER**
 Project: **PROPOSED SUBDIVISION OF 19-47 WATERWORKS ROAD MUDGEES**
 Drawing Title: **EXISTING SITE SITE PLAN**

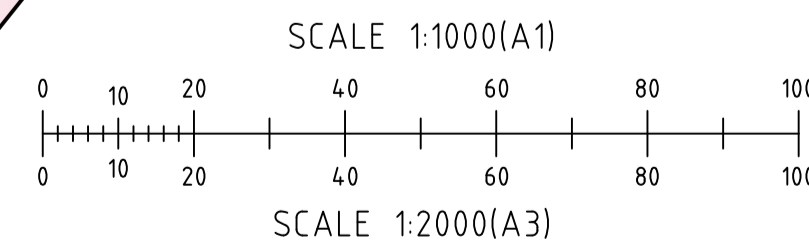
Rev	Date	Amendment
A	19-05-2022	PRELIMINARY DRAWING

Design	LM	Certification	
Drawn	MK		
Check	LM	Drawing Number	
Original Sheet Size = A1		38164 - C01	Revision A



(ED) EASEMENT TO DRAIN WATER 3 AND 18 WIDE (DP12024.06)
 (P) EASEMENT FOR OVERHEAD POWER LINES 20 WIDE (DP12024.06)
 (S) EASEMENT TO DRAIN SEWAGE 3 WIDE (DP1084.01)

PROPOSED SITE PLAN
 REDUCTION RATIO 1:1000 @ A1
 1:2000 @ A3



PRELIMINARY DRAWING
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Client: ASHLEA AND NICK FLETCHER
 Project: PROPOSED SUBDIVISION OF 19-47 WATERWORKS ROAD MUDGEES
 Drawing Title: PROPOSED SITE PLAN

Rev	Date	Amendment
A	19-05-2022	PRELIMINARY DRAWING
B	23-05-2022	LOT LAYOUT UPDATES

Design LM Certification

Drawn MK

Check LM Drawing Number

Original Sheet Size = A1 38164 - C02

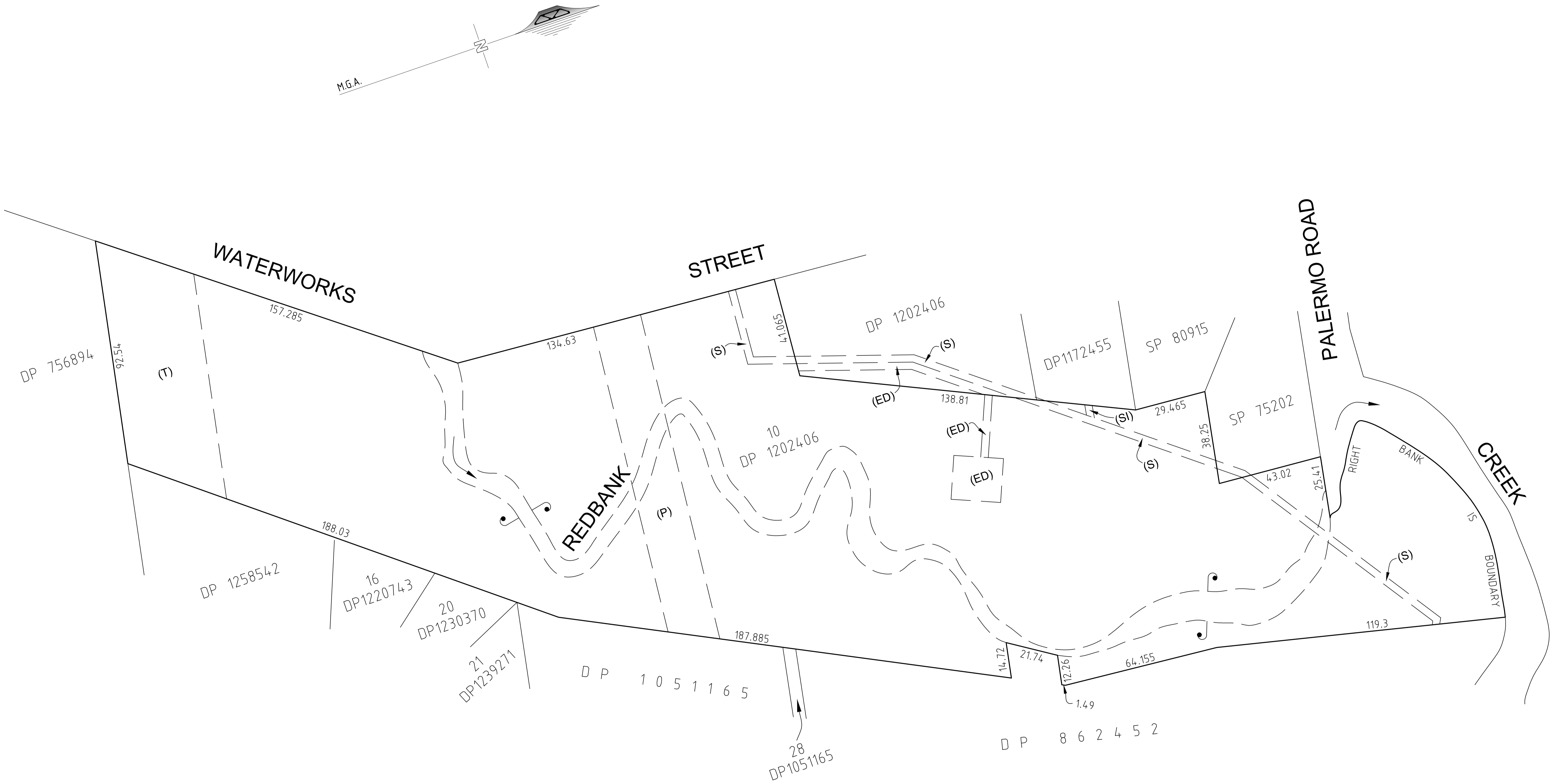
Revision

B

Appendix D - Preliminary Civil Design Drawings

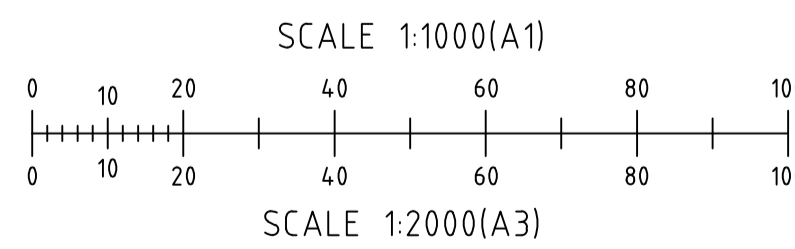


M.G.A.



(ED) EASEMENT TO DRAIN WATER 3 AND 18 WIDE (DP1202406)
 (P) EASEMENT FOR OVERHEAD POWER LINES 20 WIDE (DP1202406)
 (S) EASEMENT TO DRAIN SEWAGE 3 WIDE (DP1084401)
 (SI) EASEMENT TO DRAIN SEWAGE 3 WIDE (DP1172455)
 (T) EASEMENT FOR TRANSMISSION LINE (BOOK 3312 CON NO.78)

EXISTING SITE PLAN
 REDUCTION RATIO 1:1000 @ A1
 1:2000 @ A3



SUBMISSION FOR DA



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THIS DRAWING IS TO BE READ IN CONJUNCTION WITH GENERAL BUILDING DRAWINGS, SPECIFICATIONS & OTHER CONSULTANTS DRAWINGS APPLICABLE TO THIS PROJECT. ALL DIMENSIONS IN MILLIMETRES. DO NOT SCALE. DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCEMENT OF WORK. REPORT DISCREPANCIES TO BARNSON PTY LTD. NO PART OF THIS DRAWING MAY BE REPRODUCED IN ANY WAY WITHOUT THE WRITTEN PERMISSION OF BARNSON PTY LTD.

Client: **ASHLEA AND NICK FLETCHER**
 Project: **PROPOSED SUBDIVISION OF 19-47 WATERWORKS ROAD MUDGEES**
 Drawing Title: **EXISTING SITE SITE PLAN**

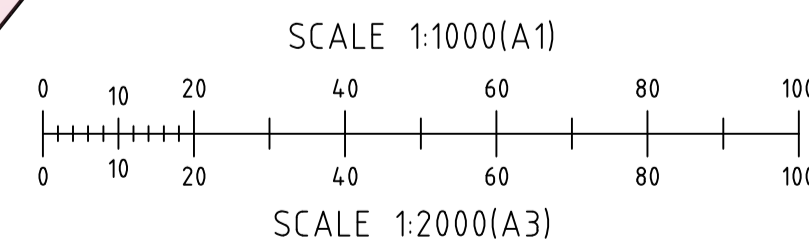
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Check	LM	Drawing Number	
Original Sheet Size = A1		38164 - C01	Revision A



(ED) EASEMENT TO DRAIN WATER 3 AND 18 WIDE (DP12024.06)
 (P) EASEMENT FOR OVERHEAD POWER LINES 20 WIDE (DP12024.06)
 (S) EASEMENT TO DRAIN SEWAGE 3 WIDE (DP1084.01)

PROPOSED SITE PLAN
 REDUCTION RATIO 1:1000 @ A1
 1:2000 @ A3



D.P. 1051165

SUBMISSION FOR DA



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Client: ASHLEA AND NICK FLETCHER
 Project: PROPOSED SUBDIVISION OF 19-47 WATERWORKS ROAD MUDGEES
 Drawing Title: PROPOSED SITE PLAN

Rev	Date	Amendment
A	19-05-2022	ISSUED FOR DA

Design LM Certification

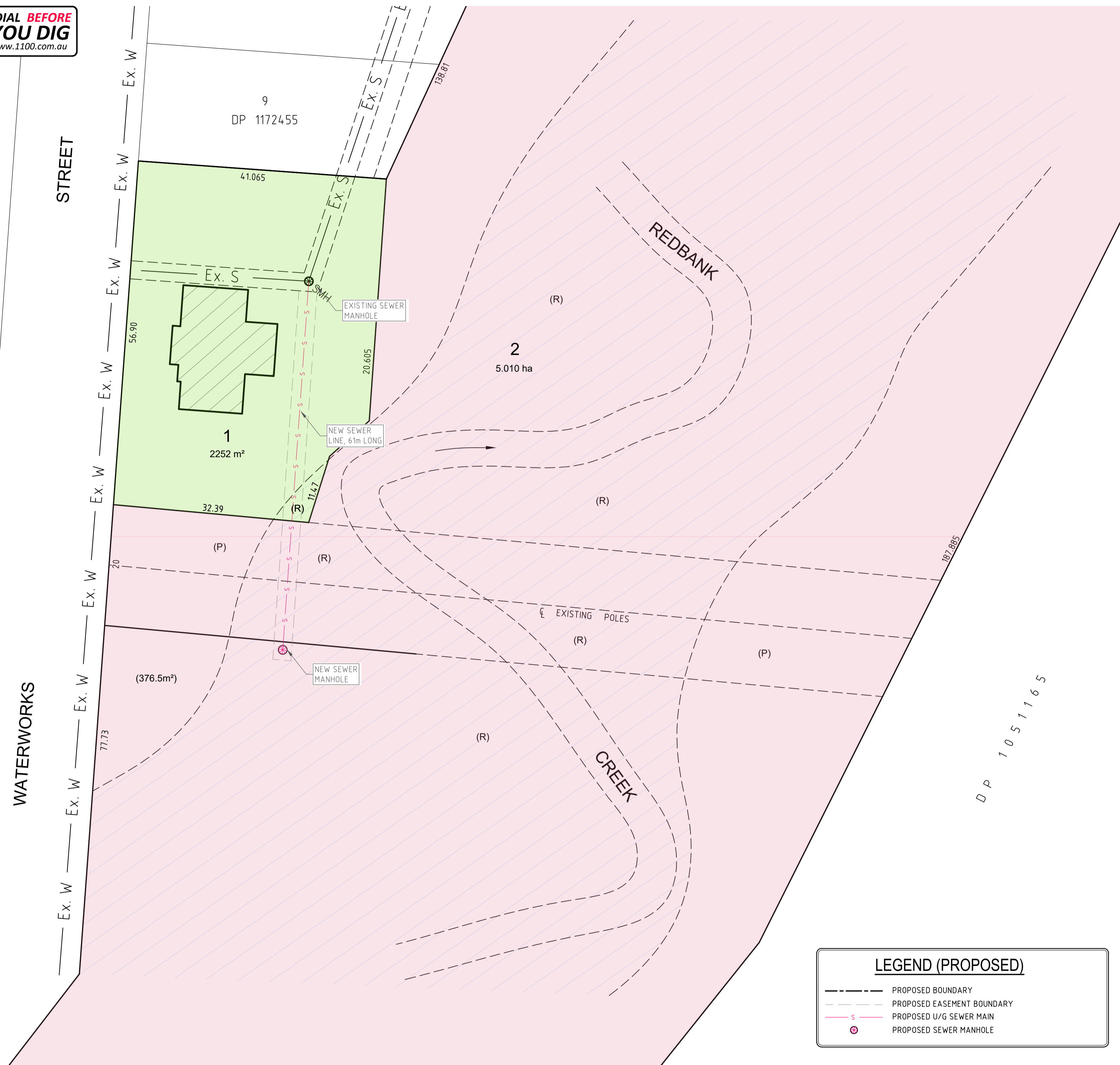
Drawn MK

Check LM Drawing Number

Original Sheet Size = A1 38164 - C02

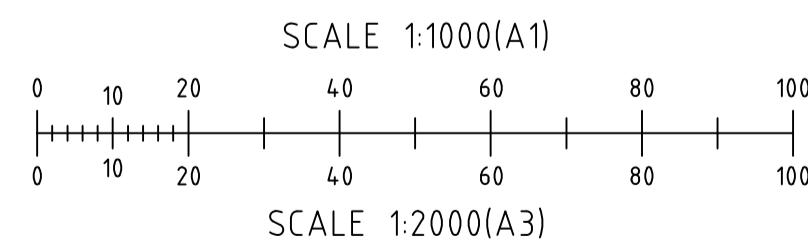
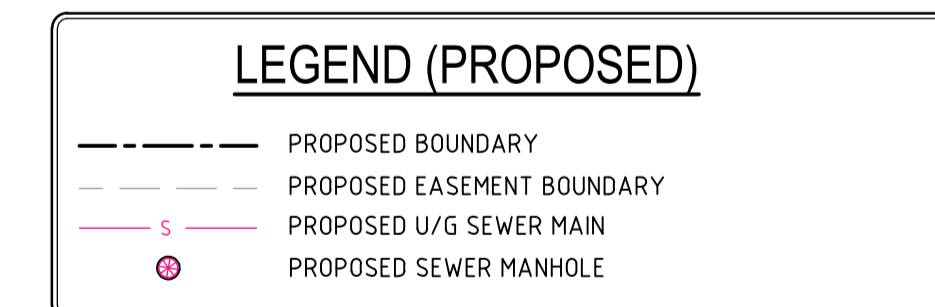
Revision

A



(ED) EASEMENT TO DRAIN WATER 3 AND 18 WIDE (DP12024.06)
 (P) EASEMENT FOR OVERHEAD POWER LINES 20 WIDE (DP12024.06)
 (S) EASEMENT TO DRAIN SEWAGE 3 WIDE (DP1084.4.01)

PROPOSED SEWER PLAN
 REDUCTION RATIO 1:1000 @ A1
 1:2000 @ A3

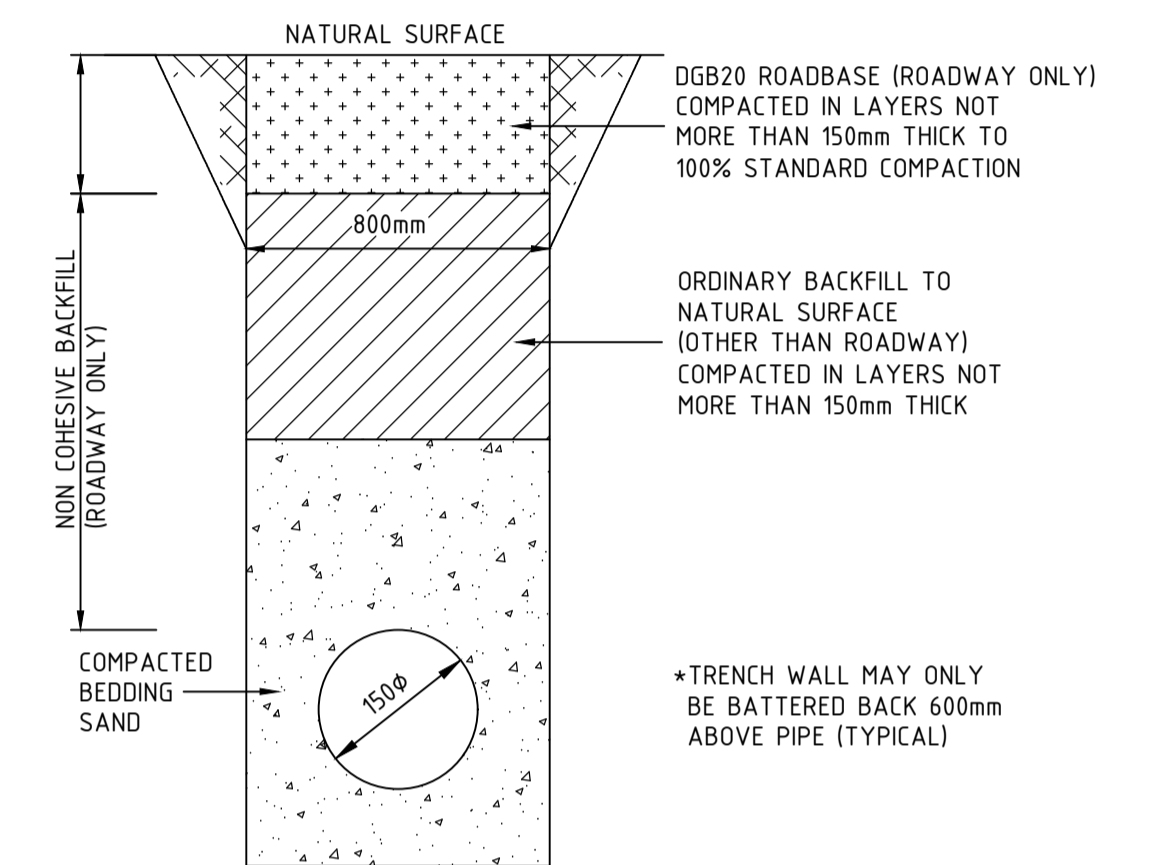


NOTES

1. ALL SEWER MAINS SHALL BE 150mm Ø CLASS SN8 RRJ UPVC PIPE. ALL GRAVITY LINES TO USE SEWER GRADE FITTINGS WHERE REQUIRED.
2. CONSTRUCTION OF SEWER MAINS AND MANHOLES SHALL BE CARRIED OUT IN ACCORDANCE WITH THE WSA SEWERAGE CODE, WSA-02, 2002.
3. ANY OTHER SERVICES INCLUDING TELSTRA, GAS, POWER, WATER AND STORMWATER MUST BE LOCATED BEFORE WORK COMMENCES.
4. MANHOLES SHALL BE PRECAST CONCRETE FROM A SUPPLIER APPROVED BY COUNCIL AND HAVE A ROUND REMOVABLE LIGHT DUTY GATIC COVER (UNO) AND A MINIMUM INTERNAL DIAMETER OF 1020mm.
5. 150mm Ø BOUNDARY RISERS SHALL BE PROVIDED TO EACH LOT TO BATHURST REGIONAL COUNCIL'S GUIDELINES FOR ENGINEERING WORKS.
6. RISERS AND SIDELINES TO BE CONSTRUCTED TO WSA-02 2002.
7. FLOW LINE CHANNELS AND INTERSECTIONS SHALL BE CONSTRUCTED THROUGH MANHOLES AS PER WSA-02 2002.
8. ALL SEWER MAINS TO BE PRESSURE TESTED AS PER WSA-02 2002 AND BATHURST REGIONAL COUNCIL'S GUIDELINES FOR ENGINEERING WORKS.

BEDDING NOTES

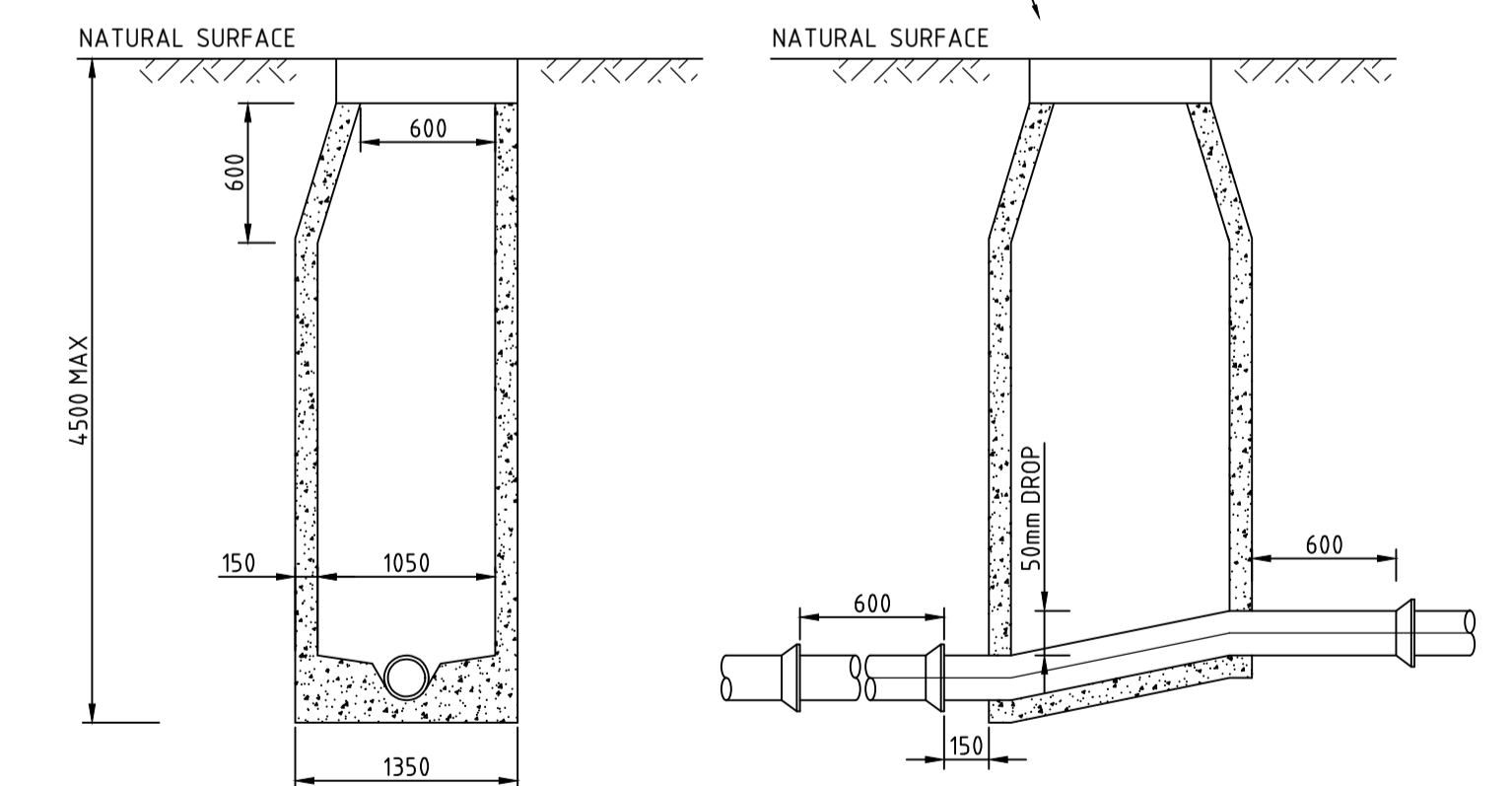
1. THE MINIMUM DEPTH TO TOP OF PIPE SHALL BE 1000mm, EXCEPT UNDER ROAD PAVEMENT WHERE MINIMUM COVER TO TOP OF PIPE SHALL BE 1200mm MINIMUM UNLESS SHOWN OTHERWISE. PIPES WITH LESS COVER THAN THESE LIMITS TO BE CONCRETE ENCASED, AND DICL UNDER ROADS.
2. GRADES OF GRAVITY SEWER NOT TO BE FLATTER THAN 1:179 (0.55%) FOR 150mm DIAMETER PIPES AS PER WSA-2014.
3. MANHOLES SHALL BE PLACED AT EACH CHANGE IN DIRECTION OR GRADE OF THE PIPE LINE AT INTERVALS ALONG THE LINE NOT EXCEEDING 80m.



TYPICAL TRENCH SECTION
 N.T.S.

* INSTALLATION OF UPVC PIPES SHALL TO CONFORM TO AS2032-1977 "INSTALLATION OF UPVC PIPE SYSTEMS", AS2566-1998 "BURIED FLEXIBLE PIPELINES", WSA-02 2002 AND MANUFACTURERS INSTRUCTIONS.

COVERS TO BE ADJUSTED FOR LEVEL & GRADE OF SURROUNDING NATURAL SURFACE AND FLUSH SURFACE IN FOOTWAYS AND CARRIAGEWAYS & PROTRUDING 25mm IN GRASSED AREAS & 75mm IN OPEN COUNTRY.



TYPICAL MANHOLE SECTION (150mm Ø)
 N.T.S.

SUBMISSION FOR DA



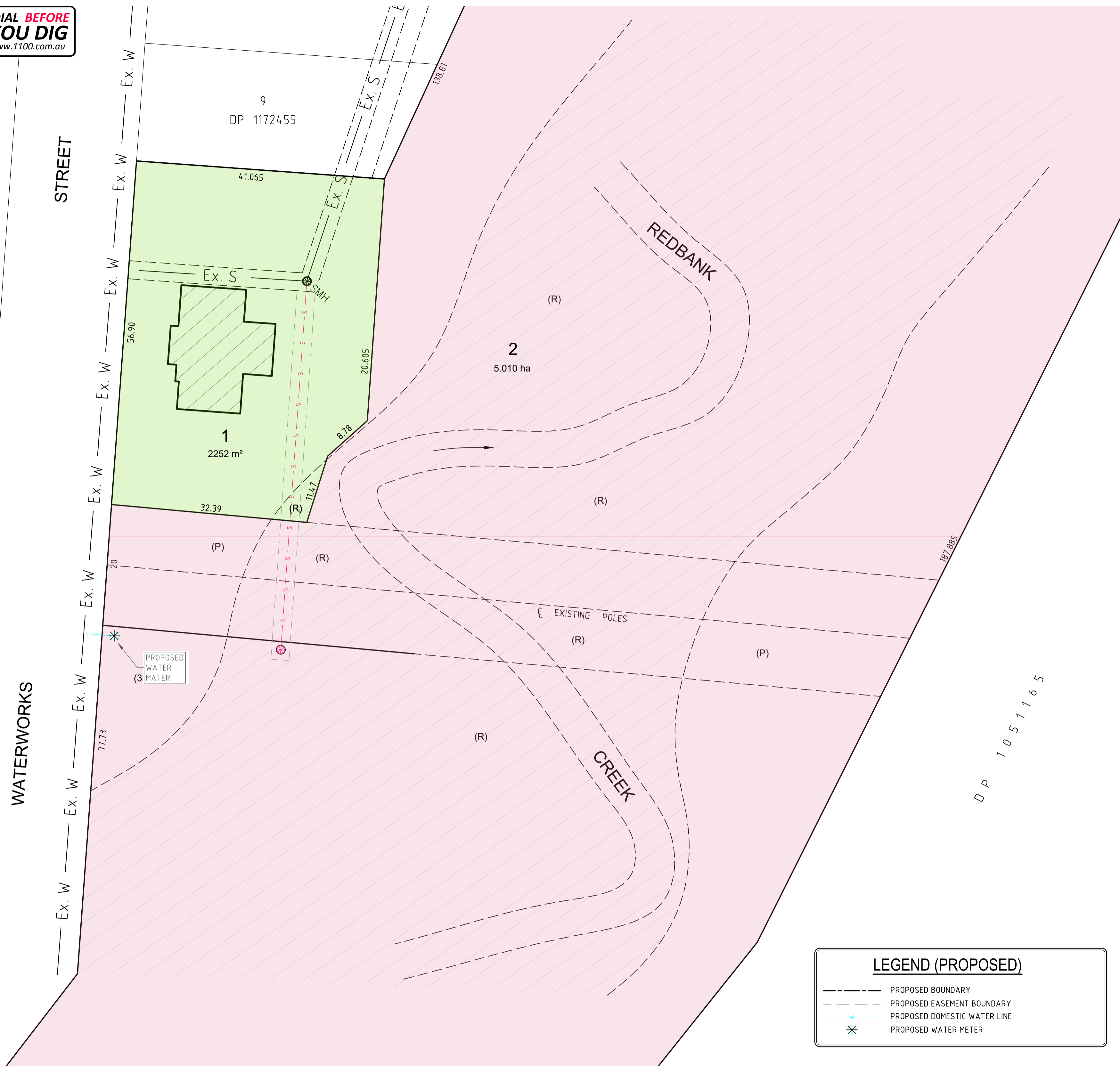
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Client: **ASHLEA AND NICK FLETCHER**
 Project: **PROPOSED SUBDIVISION OF 19-47 WATERWORKS ROAD MUDGEE**
 Drawing Title: **PROPOSED SEWER PLAN**

Rev	Date	Amendment
A	19-05-2022	ISSUED FOR DA
B	23-05-2022	LOT LAYOUT AMENDED

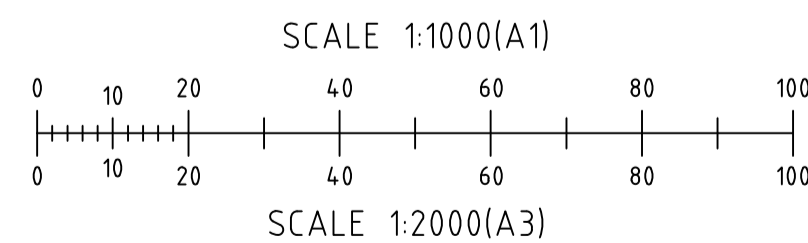
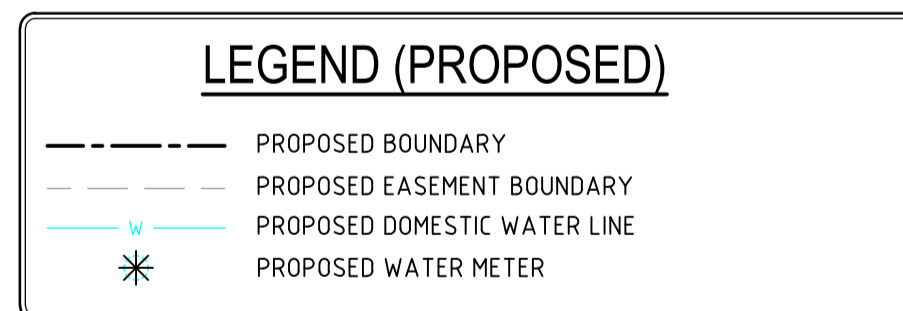
Design	LM	Certification	
Drawn	MK		
Check	LM	Drawing Number	
Original Sheet Size = A1		38164 - C03	Revision B



(ED) EASEMENT TO DRAIN WATER 3 AND 18 WIDE (DP12024.06)
 (P) EASEMENT FOR OVERHEAD POWER LINES 20 WIDE (DP12024.06)
 (S) EASEMENT TO DRAIN SEWAGE 3 WIDE (DP1084.01)

RELOCATE EXISTING WATER METER

PROPOSED WATER PLAN
 REDUCTION RATIO 1:1000 @ A1
 1:2000 @ A3

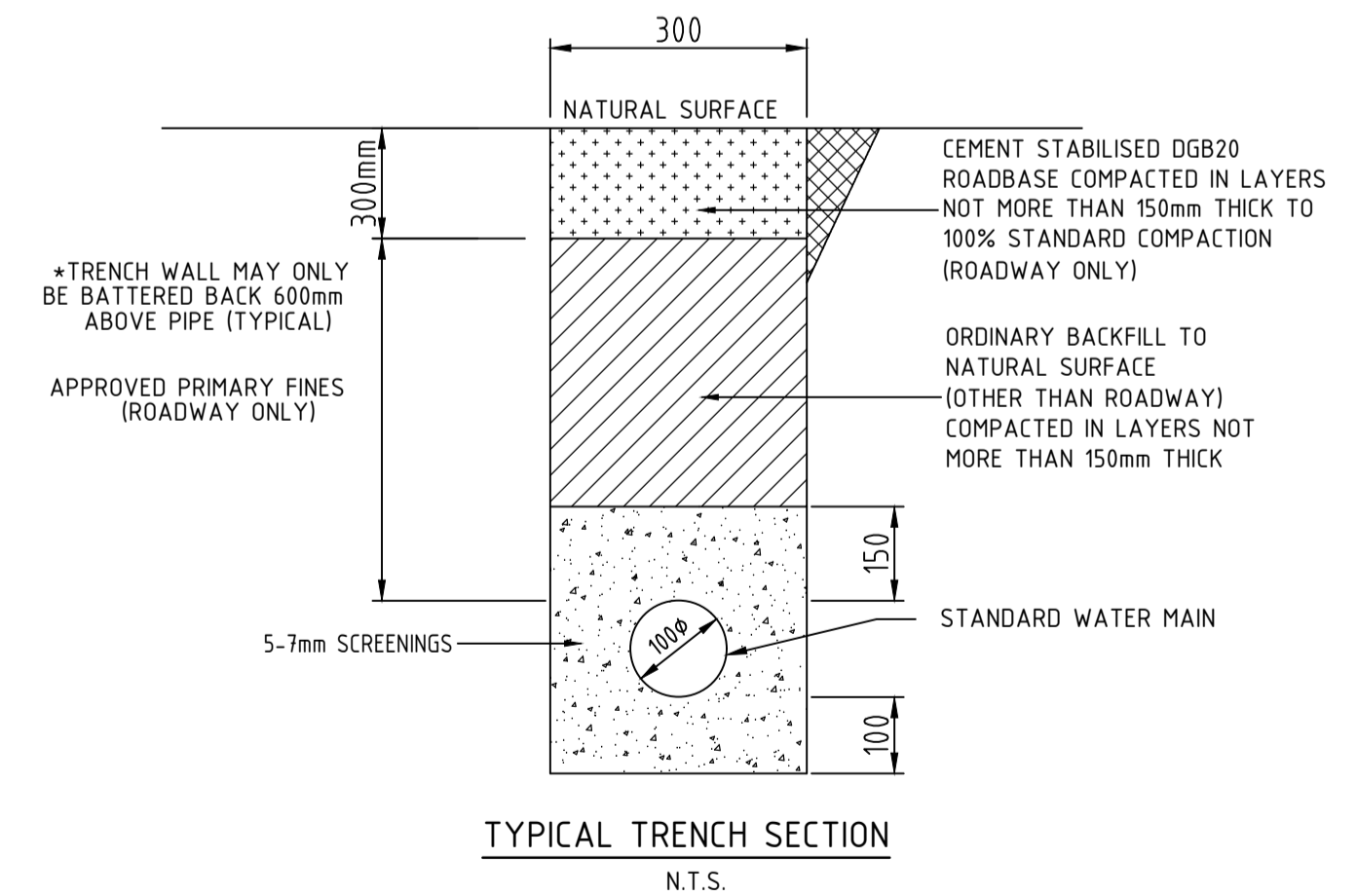


NOTES:

- STOP VALVE & SCOUR VALVE CHAMBERS MAY EITHER BE CONSTRUCTED USING PREFABRICATED POLYPROPYLENE UNITS, 375mm DIAM. PVC OR CONCRETE PIPE, INTERLOCKING CONCRETE BLOCKS OR BRICKS WITH SAND/CEMENT MORTAR JOINTS.
- THE BOTTOM OF THE BRICK, INTERLOCKING CONCRETE BLOCK OR PIPE CHAMBERS SHALL NOT REST DIRECTLY ON THE PIPE BUT ON A COURSE OF BRICKS OR A 100mm THICK CONCRETE FOUNDATION.
- MINIMUM COVER OVER PIPELINES (ALL TYPES) SHALL BE 750mm IN AREAS SUBJECT TO VEHICULAR LOADING SUCH AS ROADS & FOOTPATHS AND 600mm ELSEWHERE.
- IN AREAS PAVED WITH BITUMEN SEALING, ASPHALT, CONCRETE OR PAVING BLOCKS THE SURFACE OF VALVE AND HYDRANT COVERS SHALL FINISH FLUSH WITH THE PAVED SURFACE.
- FOR STOP VALVES INSTALLATION, SOCKETS SHALL BE BUTTED UP TO SPIGOTS AND TRENCH WIDTHS SHALL BE KEPT TO A MINIMUM.
- FILL SAND SHALL BE COMPACTED IN LAYERS NOT EXCEEDING 150mm AND COMPACTED TO ACHIEVE A MINIMUM 70 INDEX AND TO THE SATISFACTION OF THE SUPERINTENDENT DENSITY.
- INDICATOR POSTS SHALL BE WHITE IN COLOUR AND ONE OF THE FOLLOWING TYPES :
 - 100mm x 100mm REINFORCED CONCRETE WITH 20mm CHAMFERS.
 - POWDER COATED METAL SUCH AS "EZIDRIVE" POST OR EQUIVALENT.
 - RECYCLED PLASTIC POST WITH RECESSES FOR MARKER PLATES.
 - OTHER POSTS APPROVED BY COUNCIL.
- DIMENSIONS OF SURFACE BOX COVERS SHOWN ON THIS DRAWING ARE NOMINAL. IF SURFACE BOX COVERS OTHER THAN THOSE SHOWN ARE SUPPLIED, THE DIMENSIONS OF THE CONCRETE SURROUNDS SHALL BE ADJUSTED ACCORDINGLY.
- CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 20 MPa AND COMPLY WITH THE AUS-SPEC SPECIFICATION FOR MINOR CONCRETE WORKS.
- THE DIMENSION BETWEEN THE UNDERSIDE OF THE STOP VALVE SURFACE BOX LID AND THE TOP OF THE VALVE SPINDLE SHALL BE A MINIMUM OF 80mm. THE TOP OF VALVE SPINDLE SHALL BE NO MORE THAN 300mm BELOW TOP SURFACE OF SURFACE BOX LID. IF THIS CANNOT BE ATTAINED, A GALVANIZED OR EPOXY PAINTED VALVE KEY EXTENSION SECURED BY GRUB SCREWS SHALL BE FITTED. IF NECESSARY, TO ENSURE THAT THE KEY EXTENSION IS CENTERED CORRECTLY A SPIDER ASSEMBLY SHALL BE INCORPORATED IN THE EXTENSION.

CONSTRUCTION NOTES

- WATER MAINS TO HAVE MINIMUM 800mm COVER IN FOOTPATH AND 800mm COVER IN ROADWAYS.
- PIPES TO BE RACKED & BENDS PLACED AS REQUIRED.
- STOP VALVES TO BE FBE/RILSAN COATED, ANTI-CLOCKWISE CLOSING AND TABLE FLANGES.
- ALL PIPES AND FITTINGS AND MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS & WSA WATER RETICULATION CODE.
- MAIN SHALL BE PRESSURE-TESTED TO AS PER MID-WESTERN REGIONAL COUNCIL'S ENGINEERING GUIDELINE'S FOR ENGINEERING WORKS, SECTION 8.3.2.
- ALL MAINS FOR CONNECTION TO THE PUBLIC WATER SUPPLY SYSTEM SHALL BE DISINFECTED TO THE SATISFACTION OF COUNCIL INSPECTOR.
- ALL CONCRETE SHALL BE 20MPa.
- WATER MAINS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH MID-WESTERN REGIONAL COUNCIL'S SPECIFICATIONS.
- THE CONTRACTOR SHALL LOCATE AND POTHOLE ALL UTILITIES AND SERVICES INTERSECTING THE WORKS AND CONNECTIONS TO THE EXISTING WATER MAINS PRIOR TO COMMENCEMENT OF TRENCH EXCAVATION. PIPES SHALL BE DEFLECTED AT JOINTS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS SUCH THAT CLEARANCES ARE MAINTAINED TO MEET UTILITY OR SERVICE OWNERS REQUIREMENTS



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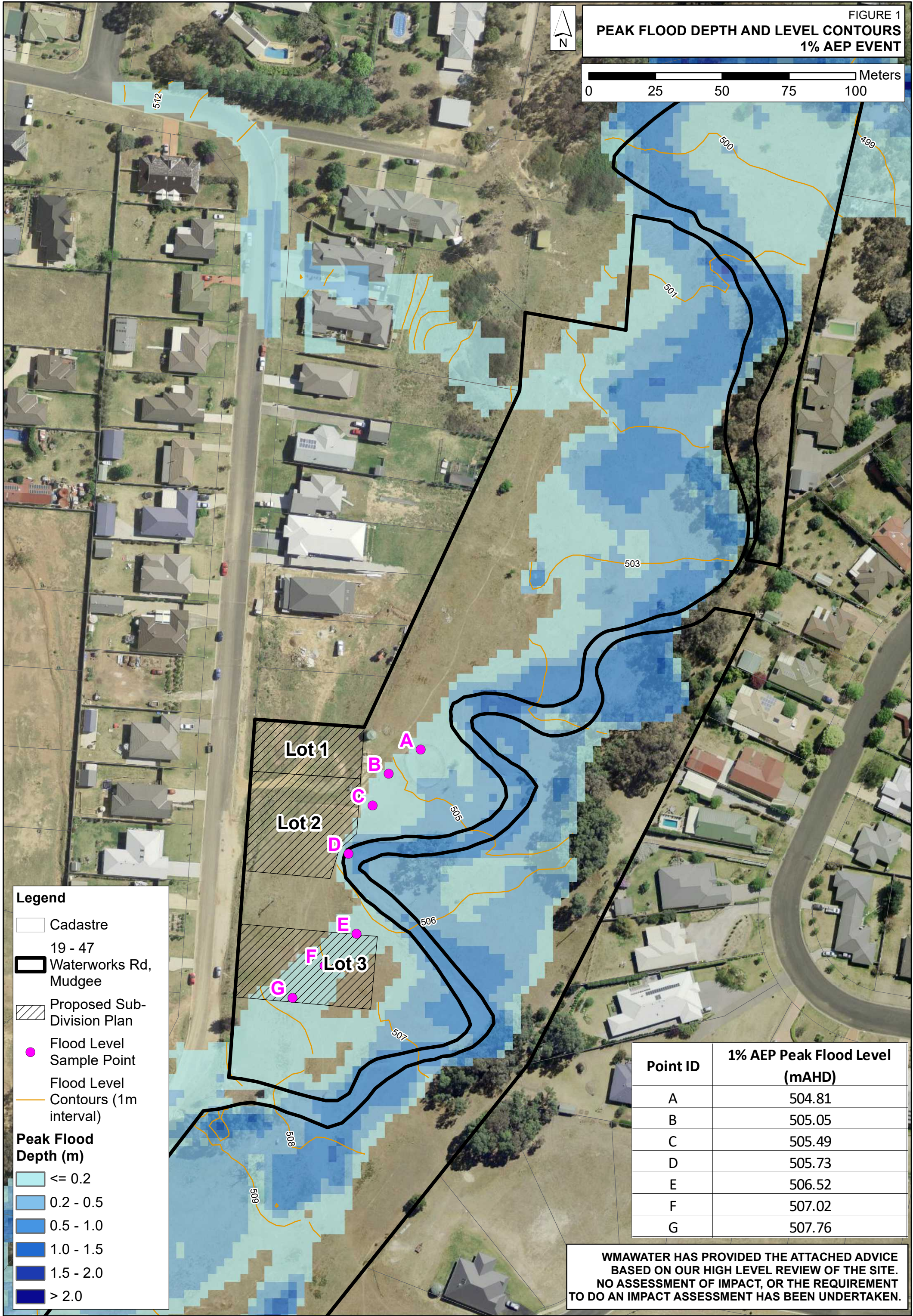
Client: **ASHLEA AND NICK FLETCHER**
 Project: **PROPOSED SUBDIVISION OF 19-47 WATERWORKS ROAD MUDGEE**
 Drawing Title: **PROPOSED WATER PLAN**

Rev	Date	Amendment
A	19-05-2022	ISSUED FOR DA
B	23-05-2022	LOT LAYOUT AMENDED

Design	LM	Certification	
Drawn	MK		
Check	LM	Drawing Number	
Original Sheet Size = A1		38164 - C04	Revision B

Appendix E - Flood Study Mapping

FIGURE 1
**PEAK FLOOD DEPTH AND LEVEL CONTOURS
 1% AEP EVENT**



Legend

- Cadastre
- 19 - 47
- Waterworks Rd, Mudgee
- Proposed Sub-Division Plan
- Flood Level Sample Point
- Flood Level Contours (1m interval)

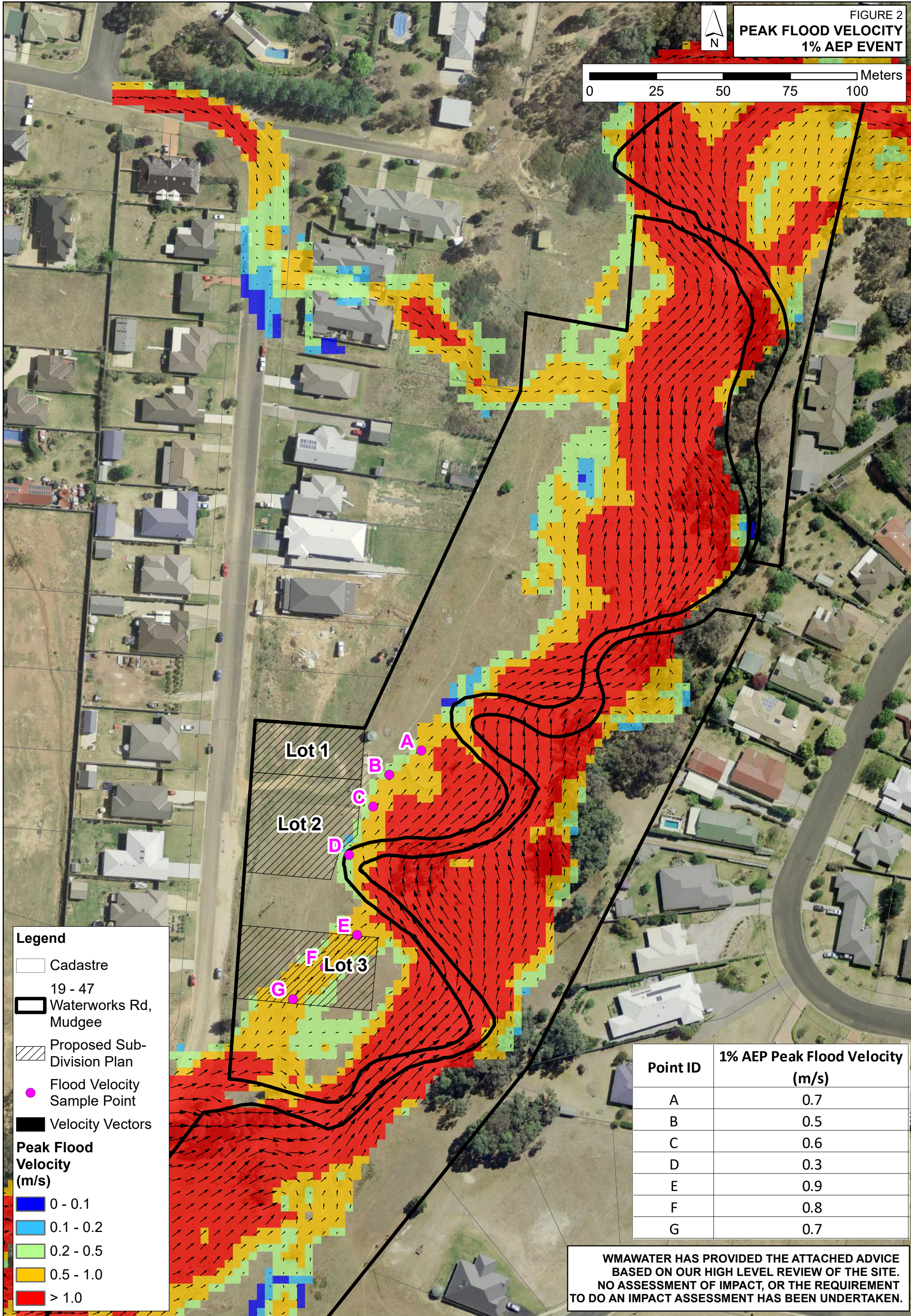
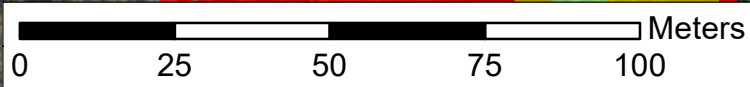
Peak Flood Depth (m)

- <= 0.2
- 0.2 - 0.5
- 0.5 - 1.0
- 1.0 - 1.5
- 1.5 - 2.0
- > 2.0

Point ID	1% AEP Peak Flood Level (mAHD)
A	504.81
B	505.05
C	505.49
D	505.73
E	506.52
F	507.02
G	507.76

WMAWATER HAS PROVIDED THE ATTACHED ADVICE BASED ON OUR HIGH LEVEL REVIEW OF THE SITE. NO ASSESSMENT OF IMPACT, OR THE REQUIREMENT TO DO AN IMPACT ASSESSMENT HAS BEEN UNDERTAKEN.

FIGURE 2
PEAK FLOOD VELOCITY
1% AEP EVENT



Legend

- Cadastre
- 19 - 47
- Waterworks Rd, Mudgee
- Proposed Sub-Division Plan
- Flood Velocity Sample Point
- Velocity Vectors

Peak Flood Velocity (m/s)

- 0 - 0.1
- 0.1 - 0.2
- 0.2 - 0.5
- 0.5 - 1.0
- > 1.0

Point ID	1% AEP Peak Flood Velocity (m/s)
A	0.7
B	0.5
C	0.6
D	0.3
E	0.9
F	0.8
G	0.7

WMAWATER HAS PROVIDED THE ATTACHED ADVICE BASED ON OUR HIGH LEVEL REVIEW OF THE SITE. NO ASSESSMENT OF IMPACT, OR THE REQUIREMENT TO DO AN IMPACT ASSESSMENT HAS BEEN UNDERTAKEN.

Appendix F - Flood Impact Analysis

date
23.05.2022

reference
38164-CR01_A

receiver
Mid-Western
Regional Council
86 Market Street
Mudgee NSW 2850

Dear Sir/Madam,

Flood Impact Analysis

Subdivision of Lot 10 DP 1202406, 19-47 Waterworks Road, Mudgee

Reference is made to the submission of a Torrens Title subdivision (1 Lot into 2 Lots) of Lot 10 DP 1202406, known as 19-47 Waterworks Road. The subject site is located within the Flood Planning Area pursuant to the *Mid-Western Regional Local Environmental Plan 2012*, and as such, this letter, along with the appendices attached, address the flooding impacts of the development.

A subdivision sketch plan has been prepared and is provided in **Appendix A**.

We have reviewed the following Mid-Western Regional Council documents:

- Mudgee Flood Study 2021 (WMA Water); and
- Mid-Western Regional Development Control Plan 2013 (DCP) – Section 5.2m.

Mid-Western Regional Council's Development Control Plan 2013 (DCP) has section (5.2) for flooding. The procedure for determining what controls apply is as follows:

1. Identify which risk matrix applies – Urban;
2. Identify what part of the floodplain the land is located. In this instance, it is the **Low flood Risk**.

By definition from Table 6 of the "Mudgee Local Creeks Floodplain Risk Management Study and Plan Volume 1 – Draft Study and Plan", a low Hazard where land may be affected by floodway or flood storage subject to a combination of floodwater velocities less than 2m/s with shallow depth or flood water depths less than 0.8 metres with low velocity.

WMA Water were requested to provide flood and overland flow data for the subject site. The data indicated the following floor levels for the 1% AEP flood event with the Flood Planning Level (FPL) also shown to allow for 0.5m of flood freeboard.

The data indicated that for the proposed Lots 1 and 2 there was no impact to the site. For the proposed Lot 3, the depth of flooding to the east of the site was less

than 0.2m with a velocity of between 0.5m/s and 1m/s. This confirms the site to be Low Flood Risk. This is shown in **Appendix B**.

For the purposes of analysis, we have assumed that the development will be for **residential use**, as per the zoning.

It has been determined that the site is therefore subject to the following controls, based on Matrix 1 (Appendix A) of the *Mid-Western-Regional Council Development Control Plan 2013* (DCP) as shown below:

MATRIX 1 URBAN FLOODPLAINS

Urban Floodplains

Planning & Development Controls

	Flood Risk Precincts (FRP's)																											
	Low Flood Risk						Medium Flood Risk						High Flood Risk															
	Essential Community Facilities	Critical Facilities	Subdivision	Residential	Commercial & Industrial	Tourist Related Development	Recreation & Agriculture	Minor Development	Essential Community Facilities	Critical Facilities	Subdivision	Residential	Commercial & Industrial	Tourist Related Development	Recreation & Agriculture	Minor Development	Essential Community Facilities	Critical Facilities	Subdivision	Residential	Commercial & Industrial	Tourist Related Development	Recreation & Agriculture	Minor Development				
Planning Consideration																												
Floor Level		3	2	2	2					2	2	2	2	1	2,4										1	2,4		
Building Components		2		1	1	1					1	1	1	1	1											1	1	
Structural Soundness		2									2	2	2	2	2											1	1	
Flood Affection		2	2		2	2				1	2	2	2	2	2												1	1
Evacuation		2								1	1	1	1	1	1												1	1
Management & Design	4,5								1			2,3,5	2,3,5	2,3,5	2,3,5												2,3,5	2,3,5

Figure 1 – Matrix 1 (Appendix A) of the Mid-Western-Regional Council DCP

Floor level

- DCP Requirements - Habitable floor levels to be equal to or greater than the 100-year ARI flood (plus freeboard).
- Barnson Response – WMA Water were requested to provide flood and overland flow data for the subject site. The data indicated the following floor levels for the 1% AEP flood event with the Flood Planning Level (FPL) also shown to allow for 0.5m of flood freeboard. This is shown in **Appendix B**.
 - Point A – 504.81m (505.31m incl freeboard)
 - Point B – 505.05m (505.55m incl freeboard)
 - Point C – 505.49m (505.99m incl freeboard)
 - Point D – 505.73m (506.23m incl freeboard)

- Point E – 506.52m (507.02m incl freeboard)
- Point F – 507.02m (507.52m incl freeboard)
- Point G – 507.76m (508.26m incl freeboard)

Building Components

- DCP Requirements – All structures to have flood compatible building components below or at the 100-year ARI flood level (plus freeboard).
- Barnson Response – There will be no structures below the 1:100yr ARI plus freeboard on Lot 1. There is potential for parts of a structure to be below the 1:100yr ARI plus freeboard on the proposed Lot 2. For that site, it is recommended that any residence be constructed flood compatible building components below or at the 100-year ARI flood level.

Flood Affection

- DCP Requirements – The impact of the development on flooding elsewhere to be considered.
- Barnson Response – There will be no structures below the 1:100yr ARI plus freeboard on Lot 1 so there is no cumulative impact. There is potential for parts of a structure to be below the 1:100yr ARI plus freeboard on the proposed Lot 2. For that site, it is recommended that any residence be constructed on steel columns with bearers and joists to negate any cumulative impact. This would allow any flood water (ie: less than 0.2m deep) to freely pass under the house.

It is therefore recommended that:

1. Proposed Lot 1 – Nil requirements as site is not mapped within the flood area (refer to **Appendix B**);
2. Proposed Lot 2 – The minimum finished floor level for future development is 507.76m AHD plus 0.5m freeboard (508.26m AHD).

If you have any further enquiries regarding this matter, please contact the undersigned.

Yours faithfully,

BARNSON PTY LTD



Luke Morris

BE MIEAust CPEng NPER

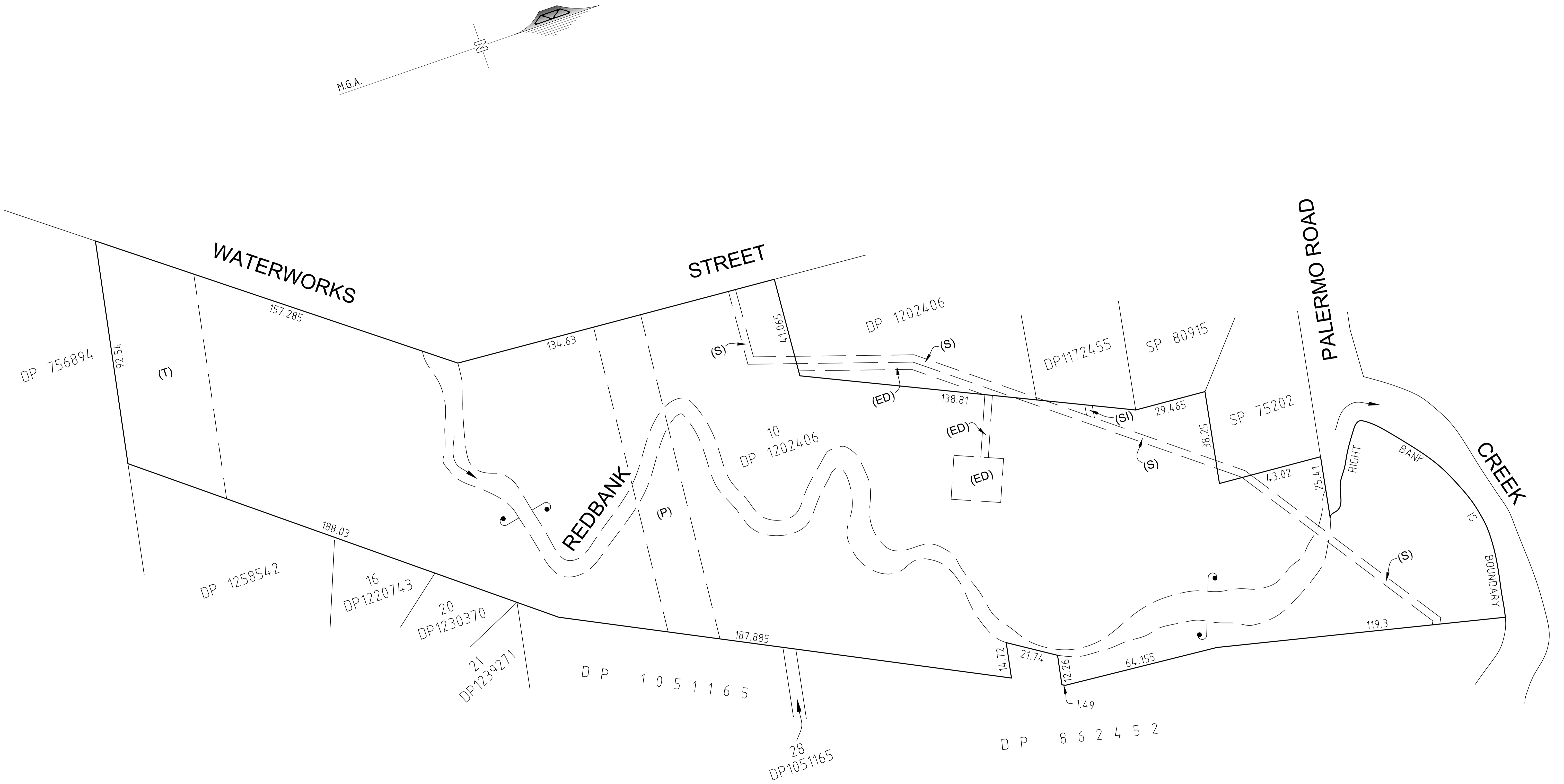
Director

Appendix A

Subdivision Sketch Plan



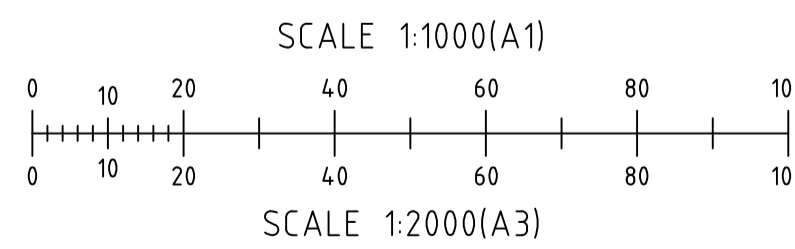
M.G.A.



(ED) EASEMENT TO DRAIN WATER 3 AND 18 WIDE (DP1202406)
 (P) EASEMENT FOR OVERHEAD POWER LINES 20 WIDE (DP1202406)
 (S) EASEMENT TO DRAIN SEWAGE 3 WIDE (DP1084401)
 (SI) EASEMENT TO DRAIN SEWAGE 3 WIDE (DP1172455)
 (T) EASEMENT FOR TRANSMISSION LINE (BOOK 3312 CON NO.78)

EXISTING SITE PLAN

REDUCTION RATIO 1:1000 @ A1
1:2000 @ A3



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 Project: **PROPOSED SUBDIVISION OF 19-47 WATERWORKS ROAD MUDGEE**
 Drawing Title: **EXISTING SITE SITE PLAN**

Rev	Date	Amendment
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Design **LM** Certification

Drawn **MK**

Check **LM** Drawing Number

Original Sheet Size = A1 **38164 - C01**

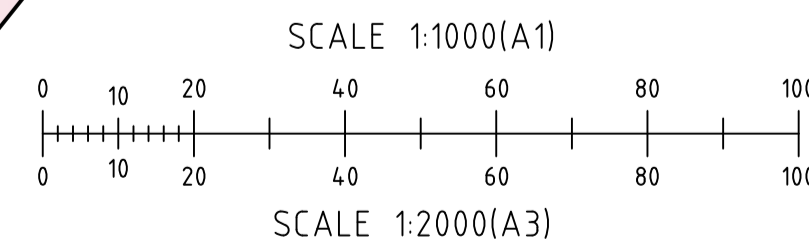
Revision

A



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 (P) EASEMENT FOR OVERHEAD POWER LINES 20 WIDE (DP12024.06)
 (S) EASEMENT TO DRAIN SEWAGE 3 WIDE (DP1084.01)

PROPOSED SITE PLAN
 REDUCTION RATIO 1:1000 @ A1
 1:2000 @ A3



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Client: ASHLEA AND NICK FLETCHER
 Project: PROPOSED SUBDIVISION OF 19-47 WATERWORKS ROAD MUDGEES
 Drawing Title: PROPOSED SITE PLAN

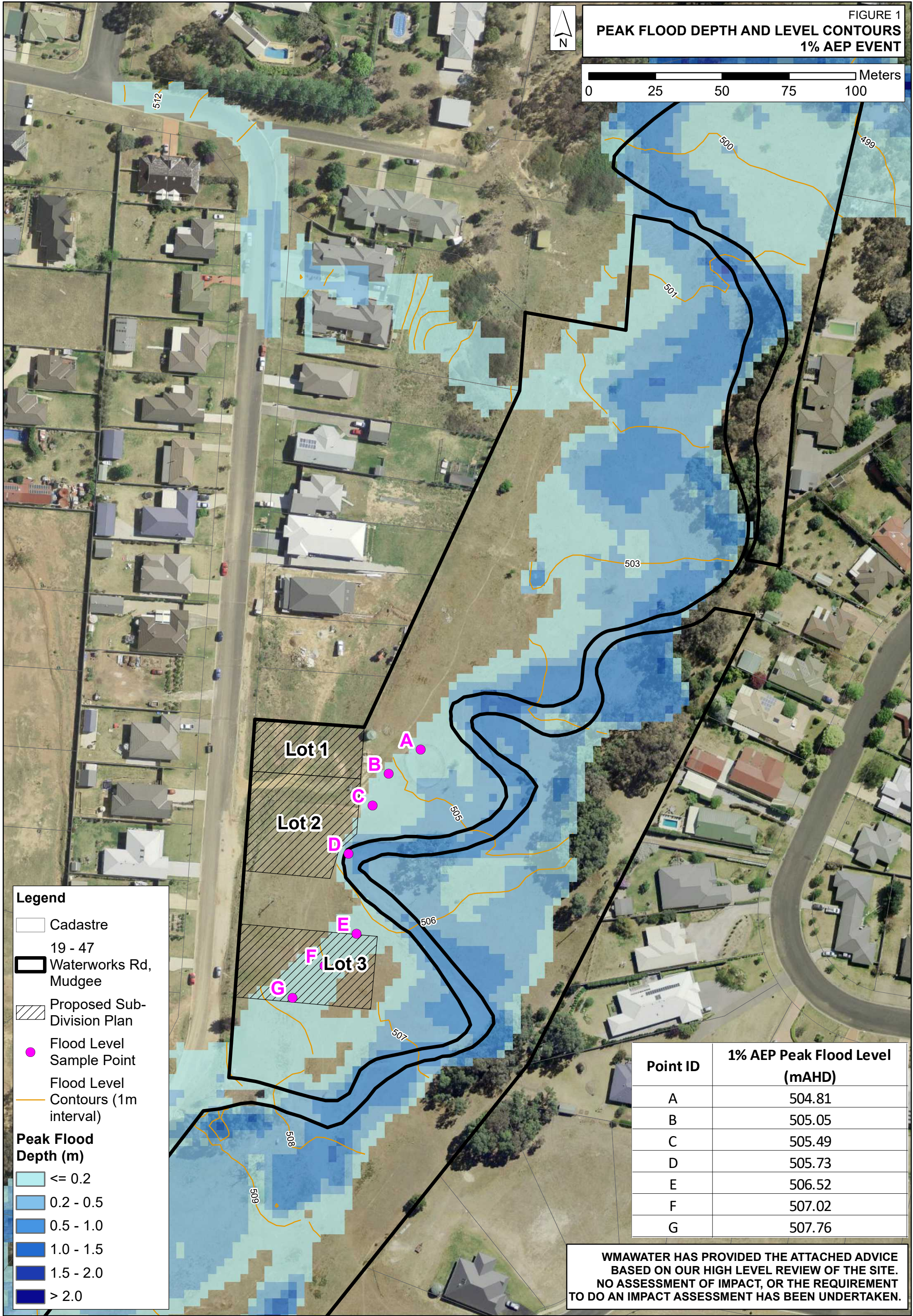
Rev	Date	Amendment
A	19-05-2022	PRELIMINARY DRAWING
B	23-05-2022	LOT LAYOUT UPDATES

Design	LM	Certification	
Drawn	MK		
Check	LM	Drawing Number	Revision
Original Sheet Size = A1		38164 - C02	B

Appendix B

WMA Water Flood Mapping

FIGURE 1
**PEAK FLOOD DEPTH AND LEVEL CONTOURS
 1% AEP EVENT**



Legend

- Cadastre
- 19 - 47 Waterworks Rd, Mudgee
- Proposed Sub-Division Plan
- Flood Level Sample Point
- Flood Level Contours (1m interval)

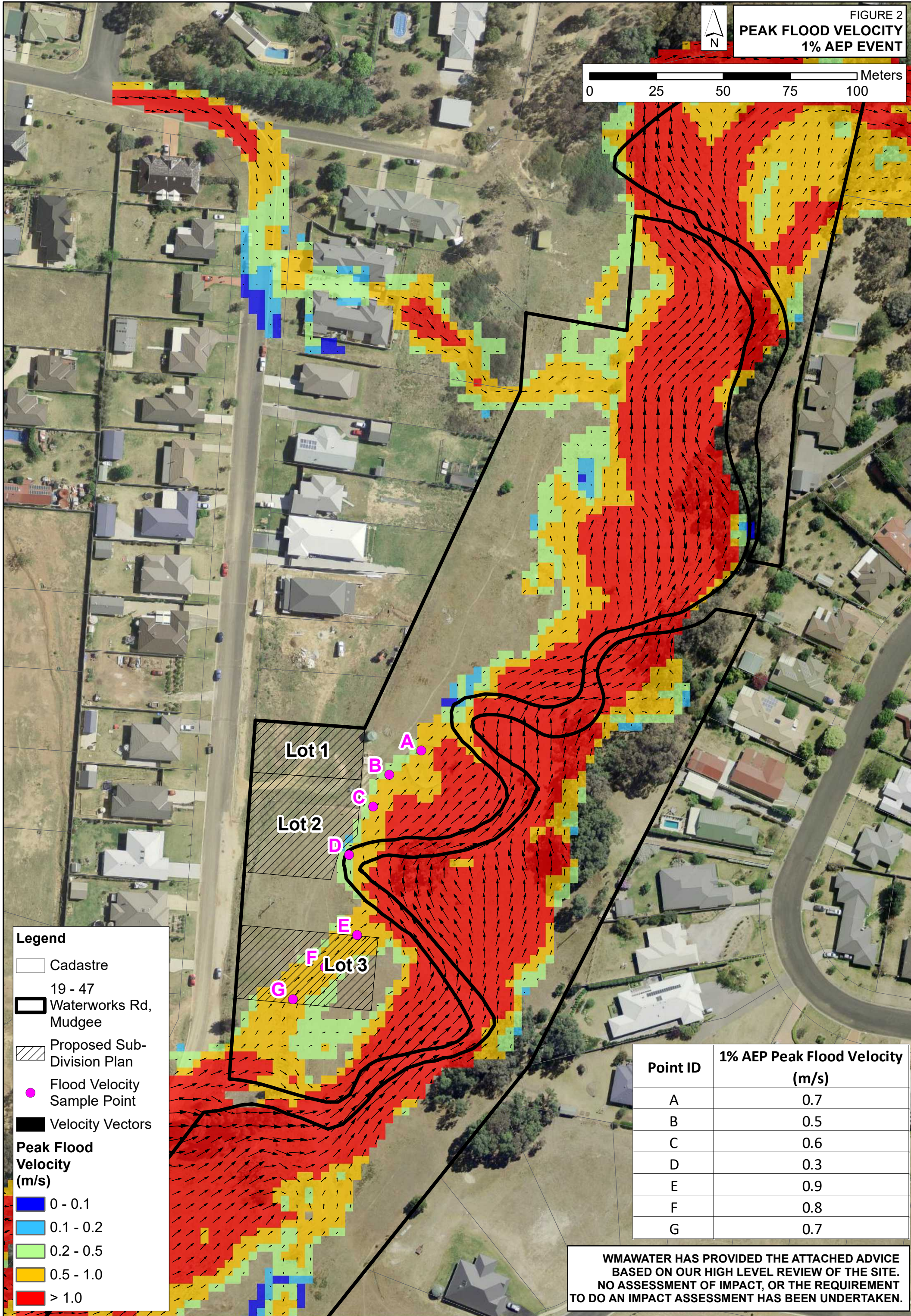
Peak Flood Depth (m)

- <= 0.2
- 0.2 - 0.5
- 0.5 - 1.0
- 1.0 - 1.5
- 1.5 - 2.0
- > 2.0

Point ID	1% AEP Peak Flood Level (mAHD)
A	504.81
B	505.05
C	505.49
D	505.73
E	506.52
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G	507.76

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FIGURE 2
PEAK FLOOD VELOCITY
1% AEP EVENT



Legend

- Cadastre
- 19 - 47
- Waterworks Rd, Mudgee
- Proposed Sub-Division Plan
- Flood Velocity Sample Point
- Velocity Vectors

Peak Flood Velocity (m/s)

- 0 - 0.1
- 0.1 - 0.2
- 0.2 - 0.5
- 0.5 - 1.0
- > 1.0

Point ID	1% AEP Peak Flood Velocity (m/s)
A	0.7
B	0.5
C	0.6
D	0.3
E	0.9
F	0.8
G	0.7

WMAWATER HAS PROVIDED THE ATTACHED ADVICE BASED ON OUR HIGH LEVEL REVIEW OF THE SITE. NO ASSESSMENT OF IMPACT, OR THE REQUIREMENT TO DO AN IMPACT ASSESSMENT HAS BEEN UNDERTAKEN.