

DUAL OCCUPANCY

# STATEMENT OF ENVIRONMENTAL EFFECTS

12 Little Bayly Street  
Gulgong NSW 2852

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ISSUE A

Prepared for  
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SUNRAI*designs*<sup>o</sup>  
innovative • eco • developments

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## 1.0 INTRODUCTION

This Statement of Environmental Effects has been prepared by Sunrai Designs and forms part of the Development Application Documentation for a Proposed Dual Occupancy to be located at 12 Little Bayly Street, Gulgong NSW 2852.

This statement seeks to demonstrate that the proposal complies with the Mid-Western Regional Council Development Control Plan 2013 Amendment 5 (MWRC DCP) and the Mid-Western Regional Council Local Environmental Plan 2012 (MWRC LEP)

This Statement should be read in conjunction with the following plans;

<b>Title</b>	<b>Drawing no.</b>	<b>Prepared by</b>
Title Page	611CHA-00 ISSUE C	SUNRAI <i>designs</i>
Site Plan	484STO-01 ISSUE C	SUNRAI <i>designs</i>
Subdivision & Area Calculations	484STO-02 ISSUE C	SUNRAI <i>designs</i>
Survey Plan	484STO-03 ISSUE C	SUNRAI <i>designs</i>
Floor Plan	484STO-04 ISSUE C	SUNRAI <i>designs</i>
North & East Elevations	484STO-05 ISSUE C	SUNRAI <i>designs</i>
South & West Elevations	484STO-06 ISSUE C	SUNRAI <i>designs</i>
Section	484STO-07 ISSUE C	SUNRAI <i>designs</i>
Perspectives	485STO-08 ISSUE C	SUNRAI <i>designs</i>
Level & Detail Survey Plan	38188-L01	Barnson
BASIX Certificate	1185468S	Planning Industry & Env.

## 2.0 SUBJECT PROPERTY

### 2.1 Description

Title Description:	Lot 4	Sec 21	DP758482
Site Area:	1011 m2	Parent Lot	
Frontage:	20.115m	Parent Lot to Little Bayly Street	
Frontage:	20.115m	Parent Lot to Belmore Street	
Zone:	R1	General Residential	
Map Reference	005C	MWRC LEP	
Heritage	Yes	Located within the Heritage Conservation Area	
Building Height	5m	Maximum for zone	



**Mid-Western  
Regional Local  
Environmental  
Plan 2012**

Land Zoning Map - Sheet LZN\_005C

Zone	
B1	Neighbourhood Centre
B2	Local Centre
B3	Commercial Core
B4	Mixed Use
B5	Business Development
E1	National Parks and Nature Reserves
E3	Environmental Management
IN1	General Industrial
IN2	Light Industrial
IN3	Heavy Industrial
R1	General Residential
R2	Low Density Residential
R3	Medium Density Residential
R5	Large Lot Residential
RE1	Public Recreation
RE2	Private Recreation
RU1	Primary Production
RU3	Forestry
RU4	Primary Production Small Lots
RU5	Village
SP1	Special Activities
SP2	Infrastructure
SP3	Tourist

**Cadastre**  
 Cadastre 23/12/2021 © Spatial Services

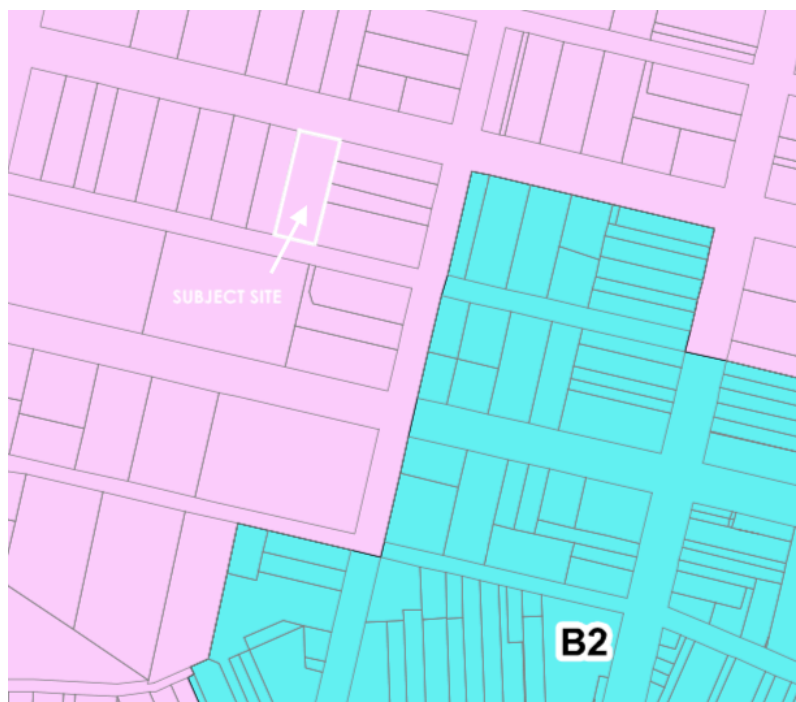


Figure 1 - Extract from MWRC LEP Land Zoning Map - Sheet LNZ\_005C



Figure 2 - Extract from Six Maps <https://maps.six.nsw.gov.au> - Satellite View of Site (shown shaded)

This site is located within a Heritage Conservation Area under the MWRC LEP. The property is not listed as a significant Item on the local register however the neighbouring properties at No's. 56,58,60,62 Medley Street are listed as a locally significant items - I321,I322, I324 respectively. There are also significant items located across the street on Little Bayly Street.

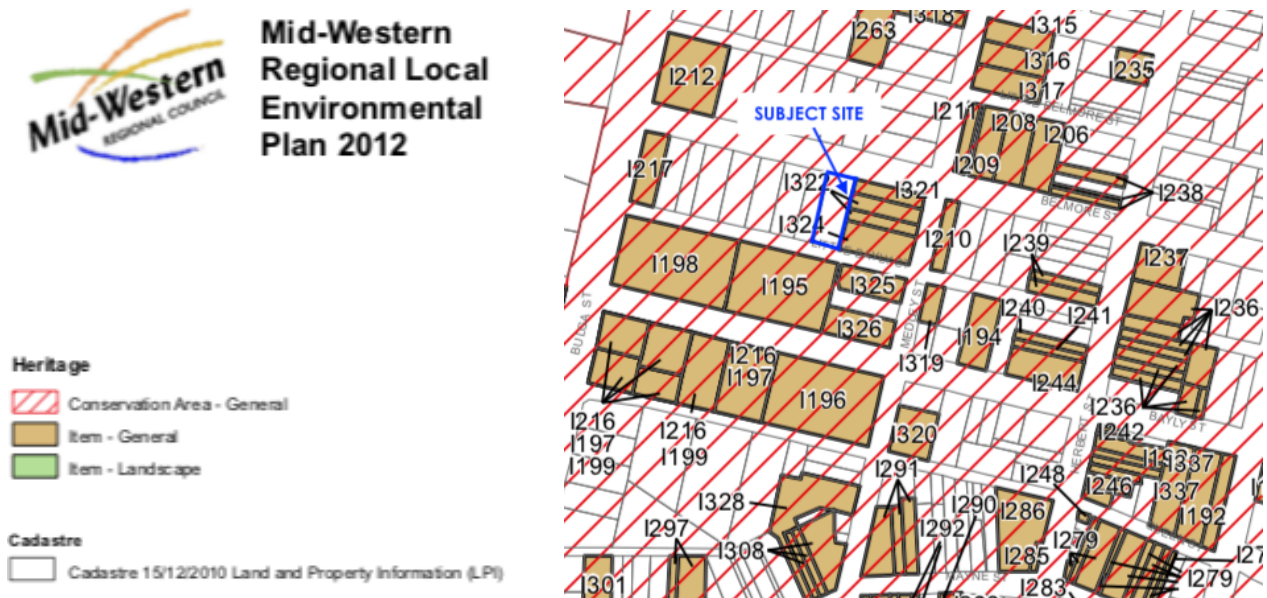


Figure 3 - Extract from MWRC LEP Heritage Map - Sheet HER\_005C

## 2.2 Existing Building & Site

The existing site is located wholly within the Mid-Western Regional Council government area and within the limits of Gulgong township.

The site is relatively level, clear of vegetation with exception of three established trees and fenced with a mix of materials including metal and timber paling. The allotment is rectilinear with a street frontage to Little Bayly Street and to Belmore Street.

An existing dwelling and multiple small fibre cement clad outbuildings are erected on the site. The existing dwelling is in average condition and is occupied occasionally. The dwelling is fibre cement clad with pitched iron roof and front verandah. It is not listed as a significant item on the local heritage register however it has some heritage significance. It is proposed that this residence remain.

Three additional fibre cement clad outbuildings are located behind the residence and are used for storage. It is proposed that one will remain as ancillary to the existing residence and two will be demolished.

The site has two street frontages. The existing dwelling addresses Little Bayly Street with the rear yard extending all the way through to Belmore Street.

## **2.3 Adjacent Buildings & Streetscape**

The site is located within an early settled area of the township between Little Bayly and Belmore Streets. The nearest cross street is Medley Street.

Neighbouring the site in all directions are residential homes and buildings of heritage value. The site is located within the Heritage Conservation Area of Gulgong. The neighbouring dwellings to the east at 56,58,60 & 62 Medley Street all have their rear yards adjoining the subject site. They are listed on the local heritage register. The buildings front Medley Street and are some distance from the subject site due to the land size.

The streetscape on Little Bayly Street is inconsistent, most allotments on this street within this town block use Belmore Street as their primary frontage, there are only two other dwellings on the same side of this street that address Little Bayly Street, the neighbouring property that has been recently constructed as a dual occupancy to 62 Medley Street and 1 Bulga Street several lots away. The street has no kerb or gutter, is sealed for single width only and is a relatively minor street.

The streetscape on Belmore Street is more consistent with the majority of dwellings on both sides of the street facing Belmore Street all with similar setbacks. Some of these allotments also address Medley Street, meaning the first allotment on each side of the street is the secondary boundary dominated by fencing. The road is double width with kerb and guttering. The dwellings in Belmore Street are of mixed construction and styles, including a modern brick veneer double garage dwellings, weatherboard clad cottages and fibre cement bungalows.

## **3.0 PROPOSED DEVELOPMENT**

### **3.1 General Description**

It is proposed that the existing dwelling and adjacent outbuilding remain on the allotment, while the rear of the site is developed as a dual occupancy. The proposed residence will address Belmore Street and provide appropriate infill development to this street continuing the consistency and maximising land use in a residential area.

The proposed dwelling will have three bedrooms be weatherboard clad with colorbond roof. A front verandah will wrap around the gabled facade. The double garage will be setback to minimise bulk. The design has a cottage feel, the roof mass has been minimised to match the mass of neighbouring dwellings maintaining the heritage character of the street.

It is proposed that the parent allotment be subdivided into two Torrens Title lots as demonstrated on the attached Subdivision Plan.

### **3.2 Building Setbacks**

The MWRC DCP, Part 3 Discretionary Development Standards - Single Dwellings & Dual Occupancy requires a 6.5m setback to the street (Garage 7.5m) and 900mm to side and rear boundaries. It is proposed that a 4.5m setback be considered in this instance to be consistent with the streetscape. The neighbouring two properties, to the west, have a 4.5m front setback. The site to the east has no setback to Belmore Street, the fence is located

on the boundary with the dwelling fronting Medley Street and having a secondary frontage setback of approximately 1m.

The side setbacks are 900mm or greater.

Variation: Front setback from 6.5m to 4.5m.

### **3.3 Building Height**

The proposed dwelling will be single storey. A slightly higher roof pitch is proposed at 27 degrees to be sympathetic with the character of the area. There is a mix of roof pitch and building styles in this street and nearby streets, the nearby weatherboard clad Church buildings and federation cottages have been used to inform the design. All of which have a steep roof pitch.

The site is subject to a 5m height limit under the MWRC LEP. We would like a to vary this requirement by 8% with the overall ridge height being 5.4m above natural ground. The roof form has been minimised by setting the garage back and centring the ridge lengthways over a narrower section of the building rather than the more modern construction of including it under the main roof towards the front of the site.

The site is relatively level and the dwelling will be constructed on concrete slab on the ground, the finished floor level will be less than 300mm above natural ground level.

Variation: 8% variation to Height limit. 5.4m rather than the required 5m.

### **3.4 Site coverage**

The development bulk and scale is consistent with the immediate vicinity, the site coverage is 30.5%, less than the maximum of 35% for Deemed to Satisfy Provisions and 50% for Discretionary Standards.

### **3.5 Design**

The proposed dual occupancy will not result in a mirror reverse duplication of design. One dwelling is existing, the second dwelling will face the opposite street and be newly constructed.

The living areas and master bedroom are located to receive north or north eastern sunlight, with the remainder of the rooms receiving sunlight throughout the day. The proposed dwelling will have good access to sunlight and will not impede solar access of neighbouring properties.

The dwellings on this site will be separated by more than 3m.

The design will compliment the streetscape in scale, articulation, roof form, setbacks and landscaping. It fronts the street with a clearly defined entrance, has a wrap around verandah, gable with fenestration, is articulated to create multiple gables. There is outlook over the street from the bedrooms, a living area that opens to the north, east and south providing good connection with outdoor areas. The master bedroom is located away from



the street for privacy with outlook to the east and south. The service rooms are located on the west providing additional privacy for the proposed dwelling and neighbours.

Both dwellings have direct access to a street, for both pedestrians and car parking.

The garage doors account for 31% of the front elevation, less than the maximum of 45%. Two smaller doors have been used rather than a single large door to be sympathetic to the area, like the single door free standing garages common to many allotments in the area. The garage has also be setback 6m from the facade to minimise its appearance in the street.

The proposed dwelling is not transportable or relocated.

### **3.6 Slope / Cut and Fill**

The slope of the development is less than 15 degrees, cut will be less than 1m and fill will be less than 600mm.

Minimal earthworks are proposed for the site.

### **3.7 Open Space**

The majority of the private open space for dwelling one is achieved on the north. The area exceeds the minimum size of 80sqm and the width and length of 5m x 5m. The possible private open space is approximately 200sqm.

The private open space has been provided in two areas for dwelling two. The total area is 162sqm exceeding the 80sqm minimum and achieves a minimum of 5m x 5m. The area is located on the south east and south west of the site however the minimum area is setback from the building to ensure minimal overshadowing. In addition there is secondary private open space of 58sqm for this dwelling to the east, less than 5m wide but useable. The living area also has direct access to a north facing verandah. The front yard will include additional garden space on the north.

An alfresco area is accessed directly from the living area and is at ground level for easy access to open space.

### **3.8 Parking**

The proposed dwelling will have two undercover car parking spaces plus an area for two more spaces behind the boundary. The proposed driveway will be concrete and is access directly from Belmore Street.

### **3.9 Utilities, Waste & Surface Infrastructure**

The dwellings are located clear of all utility infrastructure.

All structures will be located more than 1.5m to the centre line of water or sewer mains.

Reticulated water, electricity, telecommunications and sewer are currently provided to the site and it is proposed that the development be connected to the existing infrastructure.

The stormwater will be gravity fed to the street network.

Surface infrastructure such as tanks and clothes lines will not be located within the front setback. There is ample space behind the building lines to store garbage bins and this infrastructure. The bins will be taken to the street for collection at the appropriate time. All infrastructure will be clear of the minimum primary open space.

Each dwelling will have its own individual mailbox.

### **3.10 Fencing**

Fencing in this area is generally 1.5m high and consists of wire netting, timber paling, colorbond, zincalume and galvanised fencing.

The existing fence on the eastern boundary is not located on the boundary as determined by survey. It is out by more than a 1m in some places. Four individual properties have their rear boundary as part of this eastern boundary on the subject site. A recently completed dual occupancy dwelling at 62 Medley Street has a 1.5m zincalume fence close to the actual boundary, this will remain. The remaining galvanised fencing is located incorrectly. The neighbours have been notified of this discrepancy and are willing to demolish the existing fence and re-instate in the correct position. It is proposed that the entire eastern fence be demolished and a new 1.5m colorbond fence be installed on the actual boundary to meet up with the newly constructed fence to 62 Medley Street rear boundary.

The existing fence on the western boundary is new and will remain. The southern boundary is un-fenced and will remain unchanged. No fence is proposed on the north boundary as part of the proposal.

A 1.5m colorbond dividing fence will be erected between the two dwellings on this site with a minimum of 3m rear setback to each.

#### 4.0 OBJECTIVES OF THE ZONE

The subject land is zoned R3 - Medium Density Residential. The proposal is permitted with consent in this zone.

The objectives of the zone are;

- **To provide for the housing needs of the community.**

The proposal will provide housing for the community.

- **To provide for a variety of housing types and densities.**

The proposal will provide a variety of housing types. This development provides an opportunity for modern living within the heritage conservation area close to the town centre in a streetscape that will benefit from infill housing.

- **To enable other land uses that provide facilities or services to meet the day to day needs of residents.**

The proposal meets this objective by providing residential infill development that can better address the streetscape and compliment the surroundings than the current dilapidated outbuildings that currently exist on the site.

#### 5.0 CONCLUSION

This Statement of Environmental Effects when read in conjunction with the plans, as prepared by Sunrai Designs clearly outlines the proposed development and demonstrates that there will be no significant impact on the environment or locality. The proposal satisfies Part 3 'Discretionary Development Standards' of MWRC DCP Amendment 5 with exception to two minor variations that we seek approval for.

1. Variation: Front setback from 6.5m to 4.5m.
2. Variation: 8% variation to Height limit. 5.4m rather than the required 5m.

The proposal also complies with the MWRC LEP 2012 meeting all the objectives of the zone.