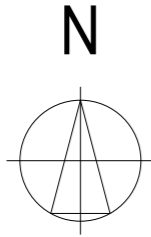
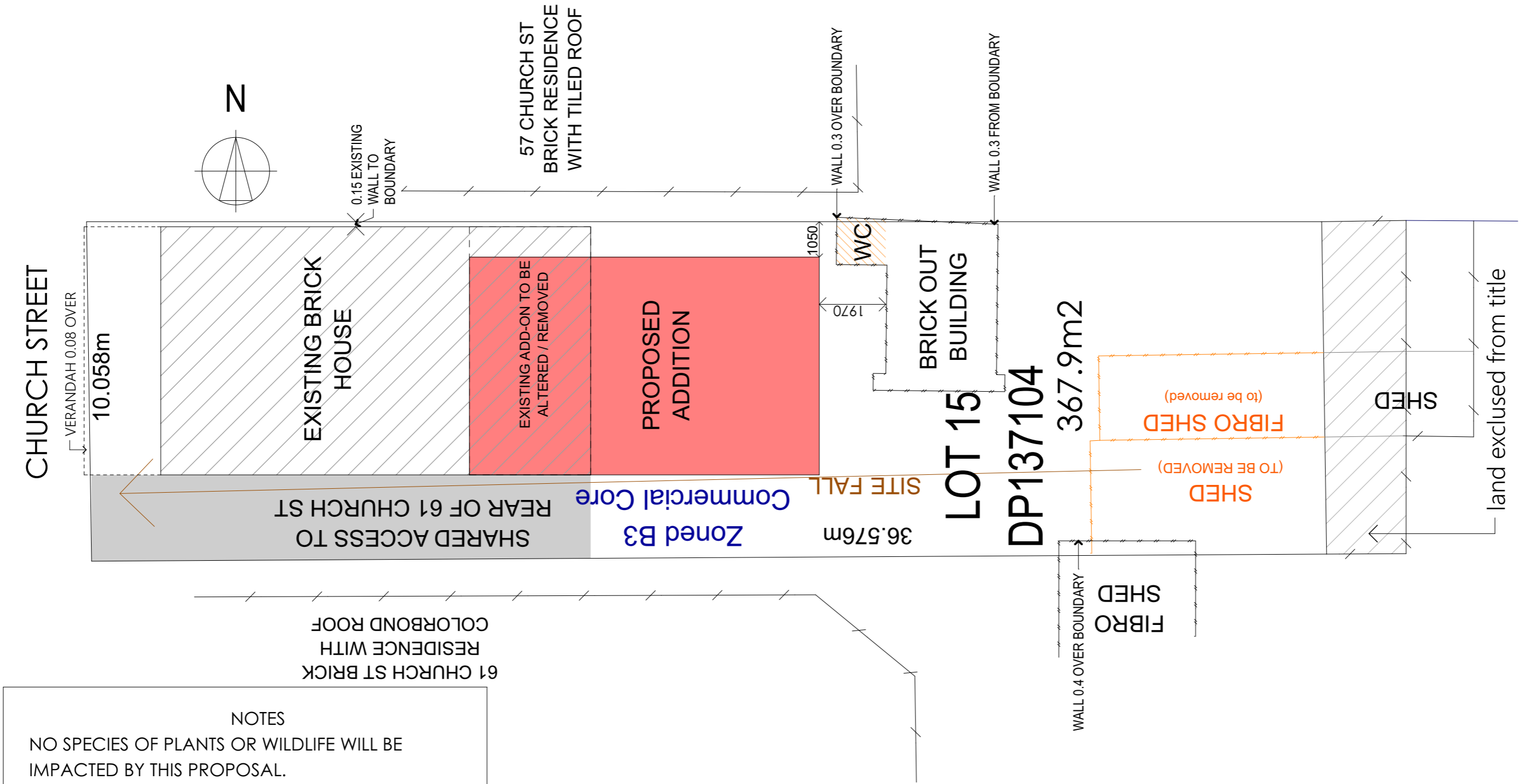


CLIENTS: T + E LLEWELYN
 CUDGEGONG CHIROPRACTIC
 59 CHURCH STREET MUDGEES NSW 2850

ALTERATIONS + ADDITIONS
 BCA Class 6 Commercial Building

DRAWING LIST	SHEET		REVISION	DATE	
SITE PLAN	2	A.101	A	22/03/22	
EXISTING BUILDING	3	A.102	A	22/03/22	
PROPOSED FLOOR PLAN	4	A.105	A	22/03/22	
AMENITIES	5	A.501	A	22/03/22	
ELEVATIONS	6	A.201	A	22/03/22	
ROOF PLAN	7	A.113	A	22/03/22	
PARKING PLAN	8	A.502	A	22/03/22	
OH+S SAFETY IN DESIGN	9	A.001	A	22/03/22	
BASIC IMAGES	10	A.203	A	22/03/22	
ENLARGED FLOOR PLAN	11	A.105.4	A	22/03/22	



NOTES

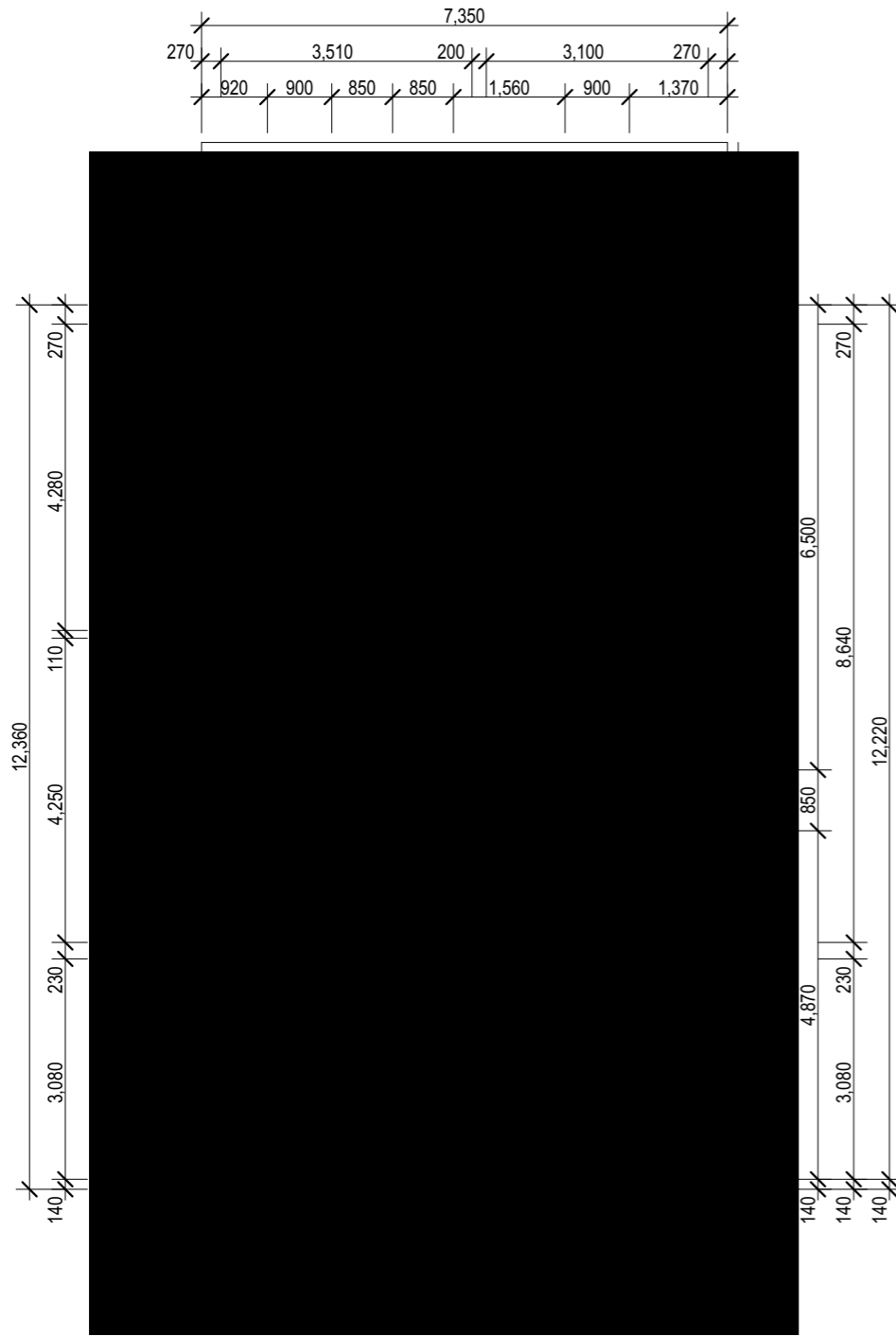
NO SPECIES OF PLANTS OR WILDLIFE WILL BE IMPACTED BY THIS PROPOSAL.

CLIENTS WILL ENSURE THAT NO RUNOFF FROM CONSTRUCTION MATERIALS WILL RUN INTO WATERWAYS OR NEIGHBOURING PROPERTIES

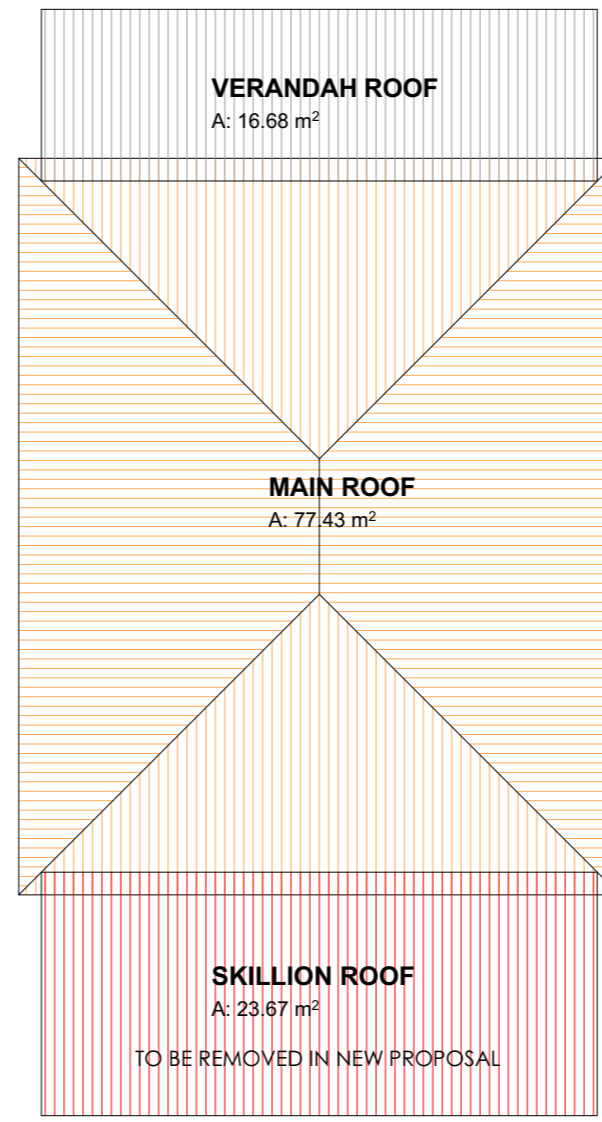
1:125

SITE PLAN

<p>Do not scale drawing. Plans are to scale at A3. All care has been taken to ensure that this drawing is correct. The builder or supervisor are responsible for checking all aspects and dimensions and ensuring their use when accepting this drawing for general use. All engineering items on this plan are subject to verification by an engineer. Information is based on details obtained from the owners and are subject to verification by a registered surveyor or other professional consultant. The responsibility of engineering and surveying rests with the owner. Plans are subject to copyright & can not be reproduced without the permission of the author.</p>		<p>46 Market St P O Box 826 Mudgee NSW 2850 Ph 0428 254 037 ABN 61 989 364 458 gicinta@habitatdesigns.com.au</p>	<p>ACCREDITED BUILDING DESIGNER Chartered Member No. 1187-10</p>	<p>Plans drawn by Gicinta Browning</p>	<p>Client T + E LLEWELLYN CUDGEGONG CHIROPRACTIC Site Address 59 CHURCH STREET MUDGEE NSW 2850</p>	<p>Drawing SITE PLAN</p>	
						<p>Date 22/03/22</p>	<p>Sheet No. 2</p>
						<p>LOT 15 DP137104</p>	<p>Plan/Revision A.101/A</p>



EXISTING FLOOR PLAN 1:100



EXISTING ROOF PLAN 1:100

NOTES:

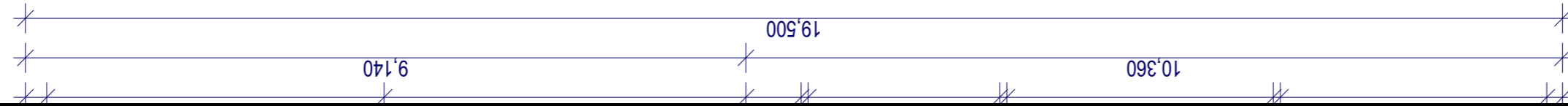
ADDITION NOT ABLE TO BE SEEN FROM CHURCH STREET.
NO CHANGE TO CURRENT FACADE PROPOSED.

EXISTING SKILLION ROOF AT REAR OVER BATH, KITCHEN AND HALL - TO BE REMOVED . NEW ROOF OVER ADDITION TO BE EXTENDED FROM MAIN ROOF.

EXTERNAL WALLS OVER KITCHEN, BATH AND HALL TO BE ALTERED, RECLAD OR REMOVED AS SHOWN ON PROPOSED DRAWINGS.

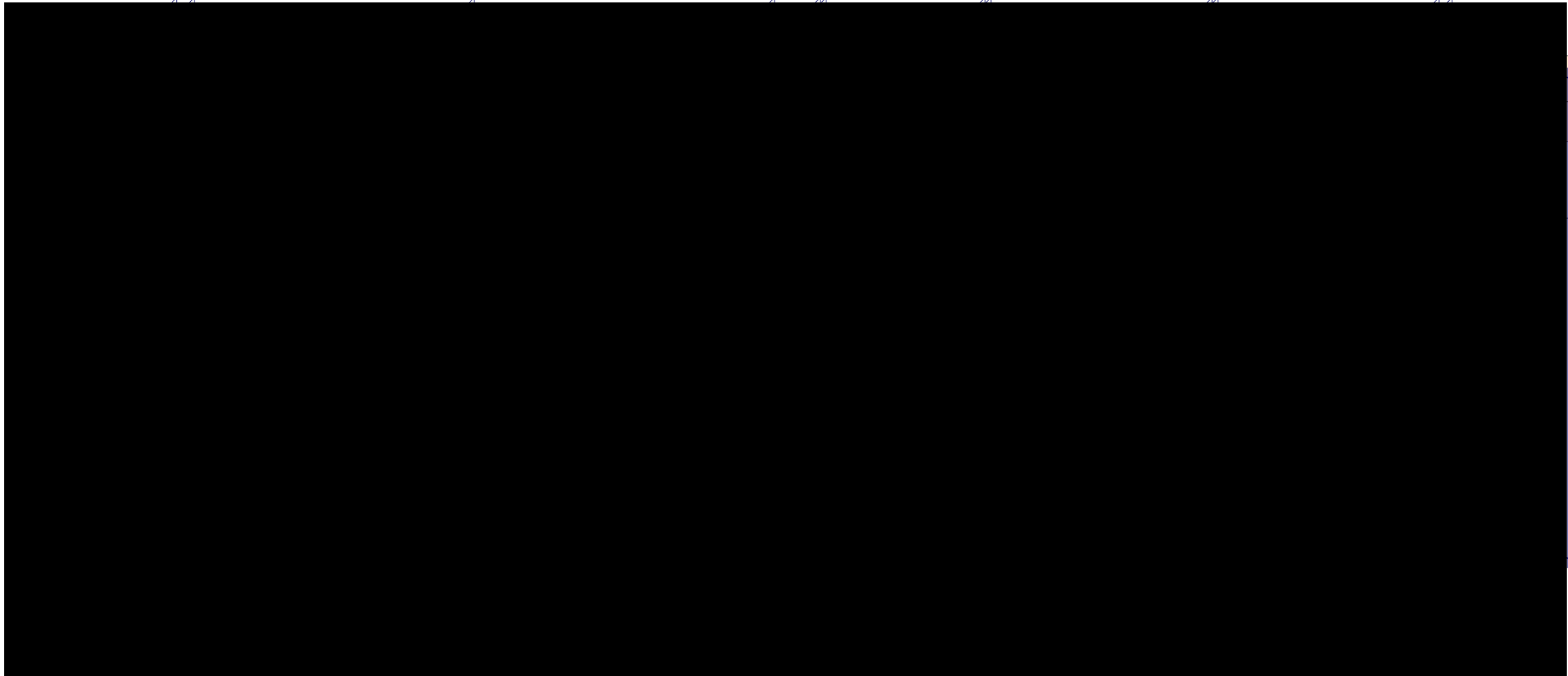
ROOF COLOUR TO MATCH EXISTING
NEW FRAME TO BE CONSTRUCTED FROM TIMBER OR STEEL DEPENDING ON AVAILABILITY OF MATERIALS
EXTERNAL CLADDING TO BE HEBEL OR WEATHERBOARD AS PREFERRED

Client T + E LLEWELLYN		Site Address CUDGEGONG CHIROPRACTIC 59 CHURCH STREET MUDGEE NSW 2850	
Drawing BASIX NOTES & LOCATION PLAN		Sheet No. 3	Plan/Revision A102/A
Plans drawn by Gicinta Browning		Date 22/03/22	Lot/DP LOT 15 DP137104
 ACCREDITED BUILDING DESIGNER		Chartered Member Number 1187-10	
 DESIGNS & DRAFTING		46 Market St * P O Box 826 Mudgee NSW 2850 * Ph 0428 254 037 ABN 61 989 364 458 gicinta@habitatdesigns.com.au	
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EXISTING BUILDING A: 90.85m2
 PROPOSED ADDITION A: 67.03m2
 PROPOSED TOTAL BUILDING: A:134.00m2

1:70



REMOVAL OF UNUSED WC
 EXISTING STRUCTURE
 UNAFFECTED

FLOOR PLAN

KEY	
CONC	CONCRETE
CH	CEILING ACCESS HATCH
COF	CONCRETE WITH OXIDE FINISH
CPT	CARPET
CT	CERAMIC TILE TO CEILING
DW	DISHWASHER
ET	EXTERNAL TILE
FC	FIBRE CEMENT SHEETING PAINT FINISH
X	FLOOR WASTE
HWS	HOT WATER SERVICE
PB	PLASTERBOARD PAINT FINISH
RC A/C	REVERSE CYCLE AIR CONDITIONER
RWT	RAIN WATER TANK
EMB	ELECTRICAL METER BOARD
SA	SMOKE ALARM/DETECTOR
SHR	SHOWER
S/R	SHEET ROOF
TFF	TIMBER FLOATING FLOOR
T/R	TILED ROOF
VNL	VINYL
GAS	GAS OUTLET
■	EXHAUST DUCTED -MANUAL SWITCH
EX/GPO	EXTERNAL POWER OUTLET
□	LIGHT / FAN /HEATER

Window List						
ID	D01	D02	D03	D04	D05	D06
Height	600	600	600	600	600	600
Width	900	900	900	900	900	2,100
Window sill height	1,800	1,800	1,800	1,800	1,800	1,800
Window head height	2,400	2,400	2,400	2,400	2,400	2,400
Surface Area	0.54	0.54	0.54	0.54	0.54	1.26

Door Schedule		
ID	Height	Width
D01	2,040	900
D02	2,040	820
D03	2,040	820
D04	2,100	700
D05	2,100	700
D06	2,040	900
D07	2,350	2,100

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Plans drawn by
 Gicinta Browning

Client T + E LLEWELLYN
 CUDGEGONG CHIROPRACTIC
 Site Address
 59 CHURCH STREET
 MUDGEE NSW 2850

Drawing		FLOOR PLAN SKETCH	
Date	22/03/22	Sheet No.	4
LOT 15 DP137104		Plan/Revision	A.105/A

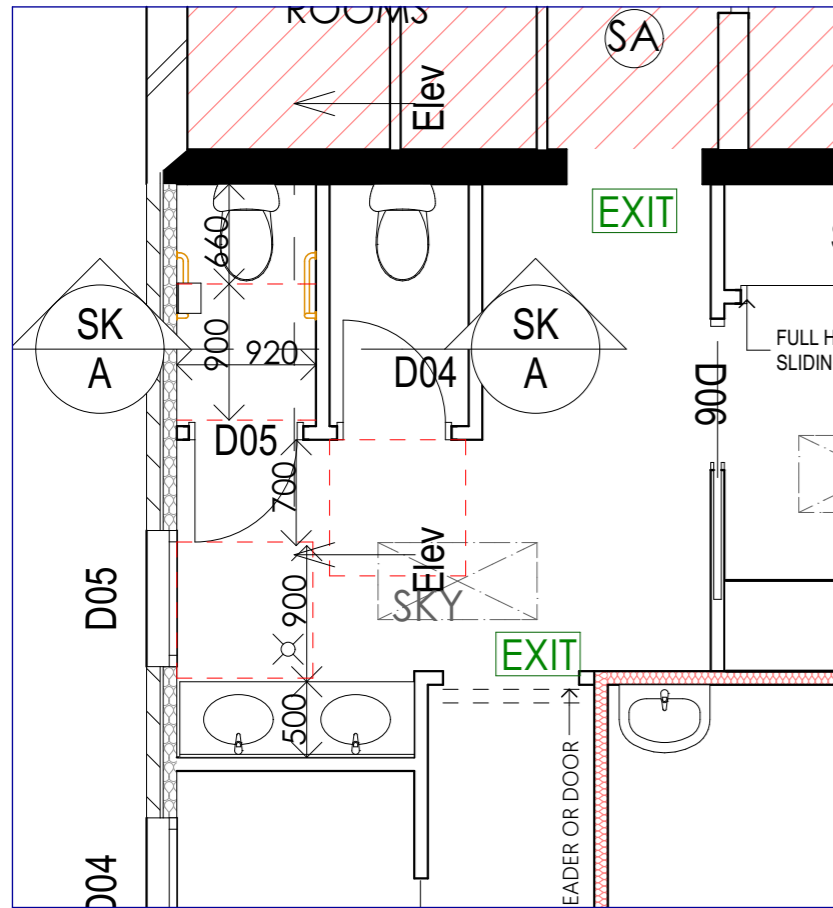


Figure 53A
Floor Plan
AS1428.1-2009

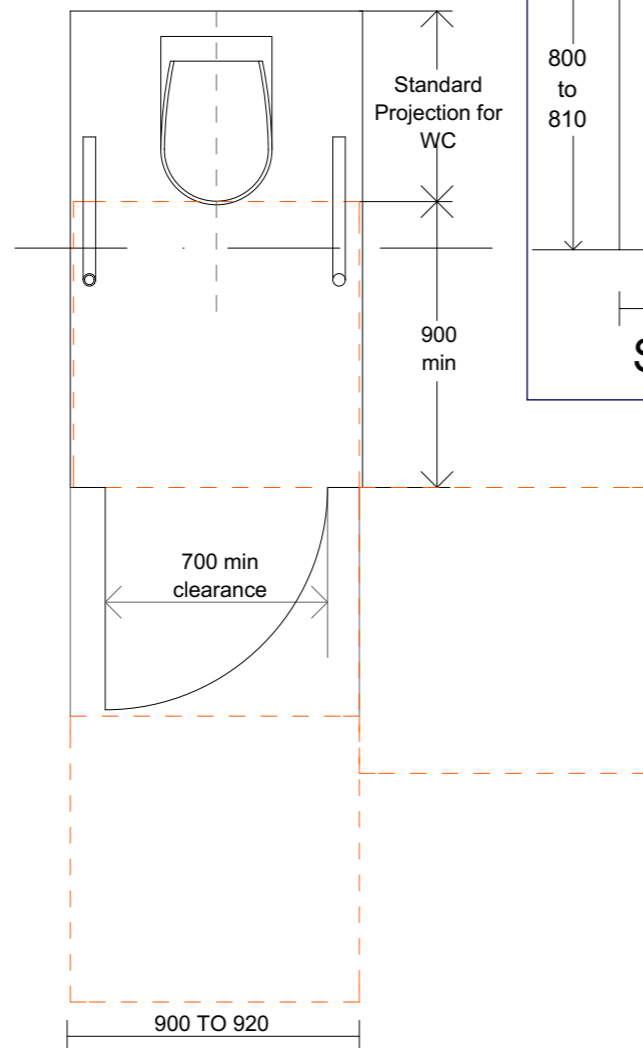
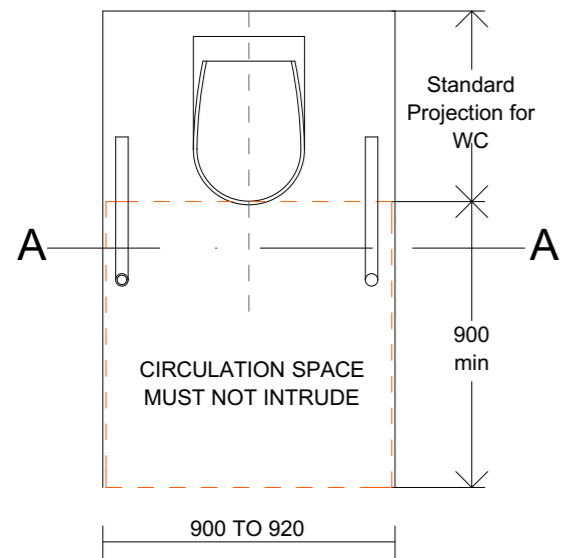
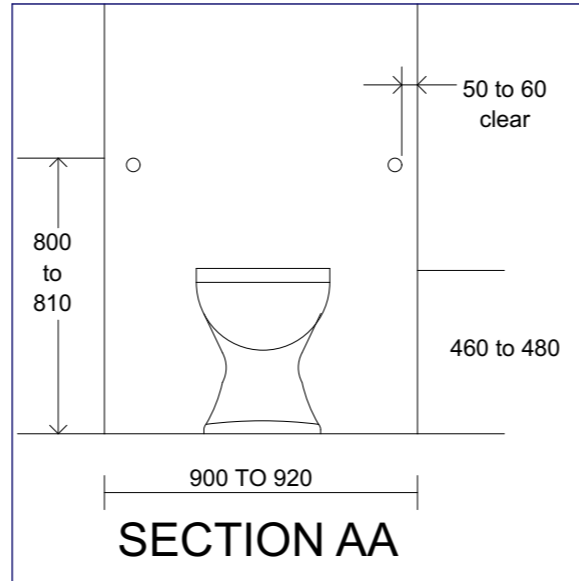
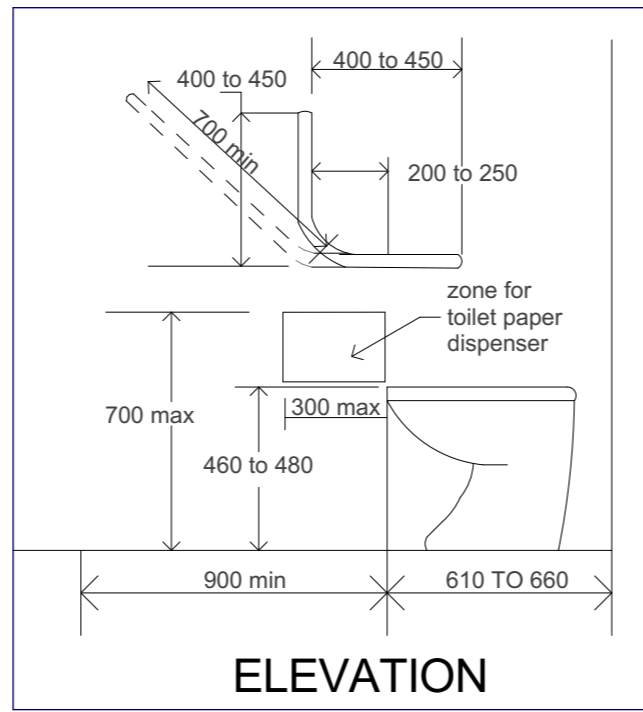


Figure 53A
Floor Plan
AS1428.1-2009

AMBULANT COMPARTMENT DETAILS

NOTES:

* SANITARY COMPARTMENTS FOR PEOPLE WITH AMBULANT DISABILITIES MUST COMPLY WITH FIGURE 53 (A) AND 53 (B) OF AUSTRALIAN STANDARD 1428.1

DOORS

* DOORS TO AMBULANT COMPLIANT SANITARY COMPARTMENTS SHALL HAVE OPENINGS WITH A MINIMUM CLEAR WIDTH OF 700mm AND COMPLY WITH FIGURE 53(B)

* DOORS SHALL BE PROVIDED WITH AN IN-USE INDICATOR AND A BOLT OR CATCH. WHERE A SNIB CATCH IS USED, THE SNIB HANDLE SHALL HAVE A MINIMUM LENGTH OF 45mm FROM THE CENTRE OF THE SPINDLE. IN AN EMERGENCY, THE LATCH MECHANISM SHALL BE OPENABLE FROM THE OUTSIDE

SIGNAGE

* SANITARY COMPARTMENT FOR PEOPLE WITH AMBULANT DISABILITIES SHALL BE IDENTIFIED BY SYMBOL OR WORDS

COAT HOOK

* A COAT HOOK SHALL BE PROVIDED WITHIN THE SANITARY COMPARTMENT AND AT A HEIGHT OF BETWEEN 1350mm TO 1500mm FROM THE FLOOR

GRABRAILS

GRAB RAILS SHALL COMPLY WITH THE FOLLOWING:

* NOT LESS THAN 30mm AND NOT MORE THAN 40mm OUTSIDE DIAMETER

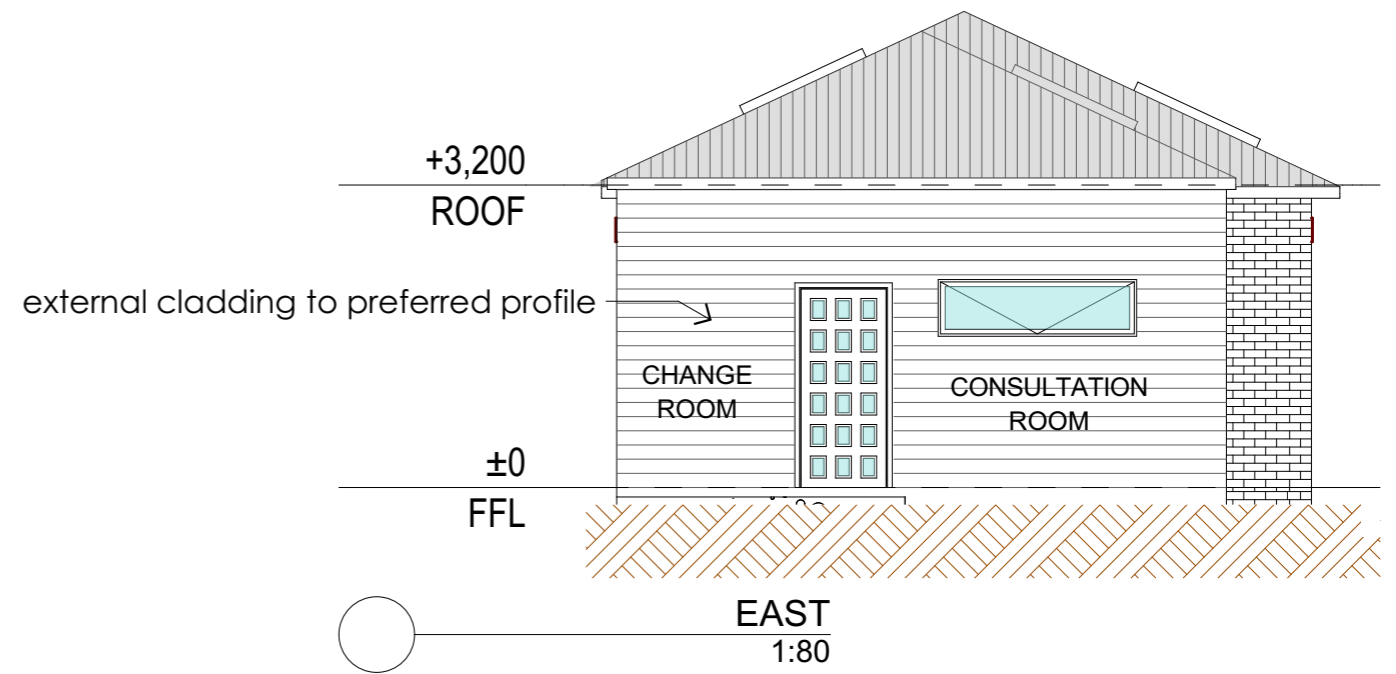
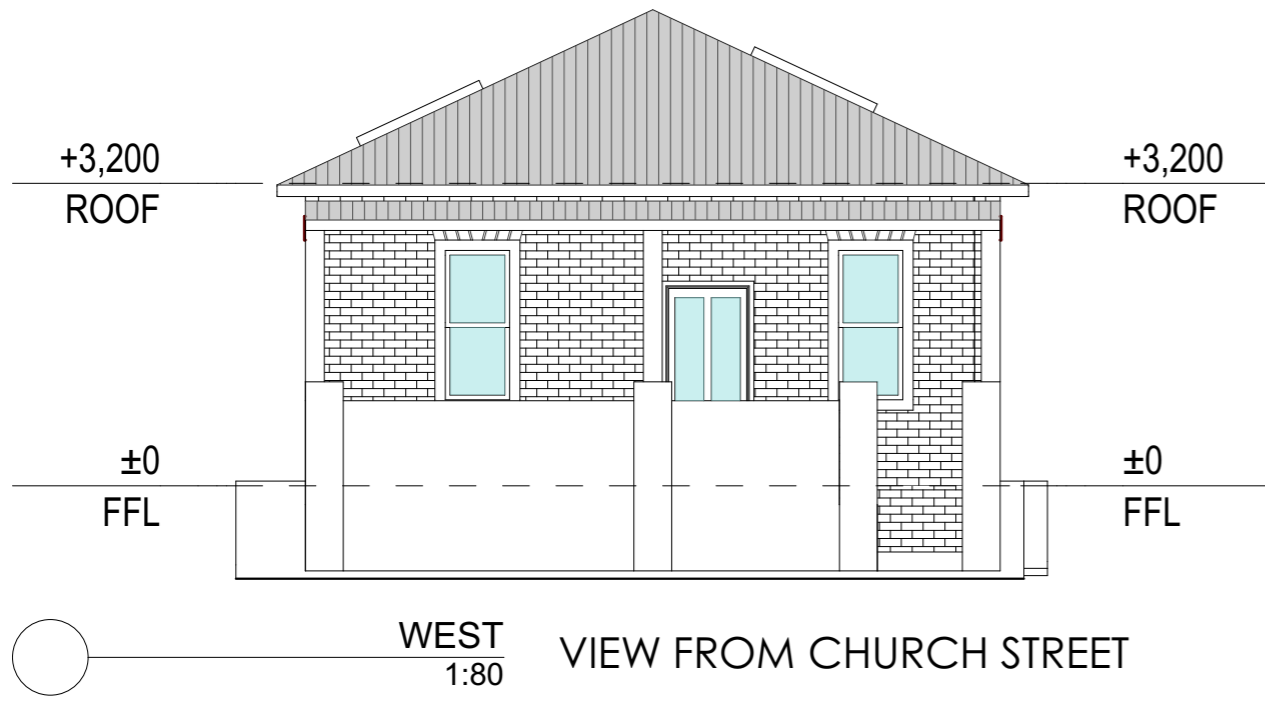
* EXPOSED EDGES AND CORNERS OF GRARAILS SHALL HAVE A RADIUS OF NOT LESS THAN 5mm

* FASTENINGS AND THE MATERIALS + CONSTRUCTION OF GRABRAILS SHALL BE ABLE TO WITHSTAND A FORCE OF 100N APPLIED AT ANY POSITION AND IN ANY DIRECTION WITHOUT DEFORMATION OR LOOSENING OR ROTATION OF THE FASTENINGS OR FITTINGS

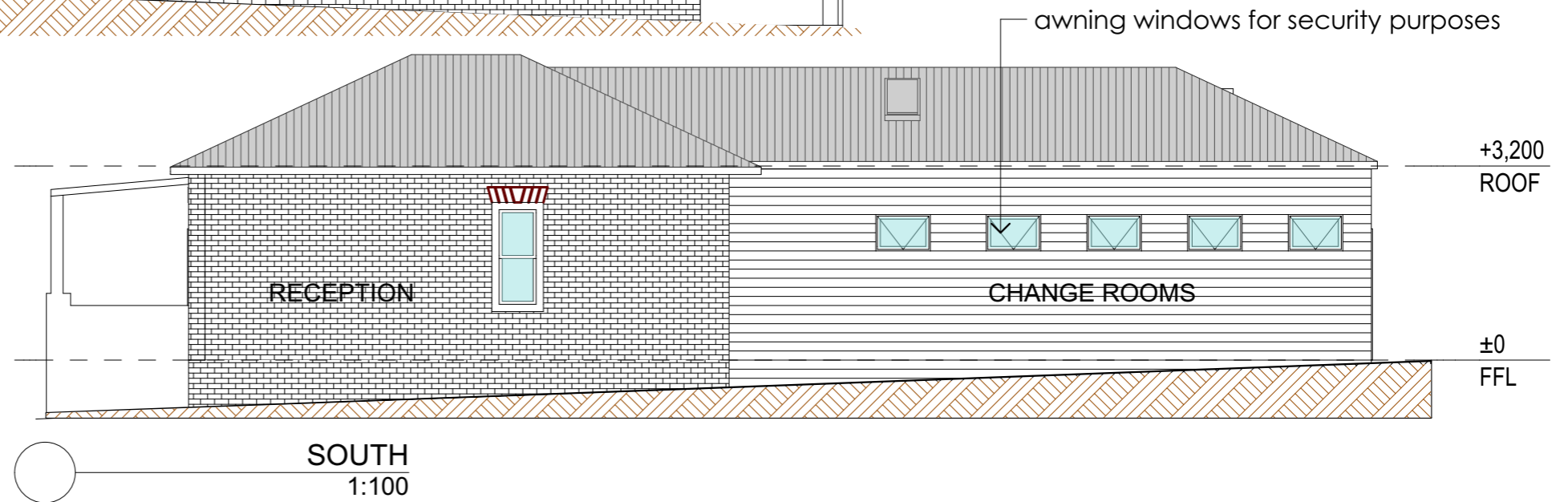
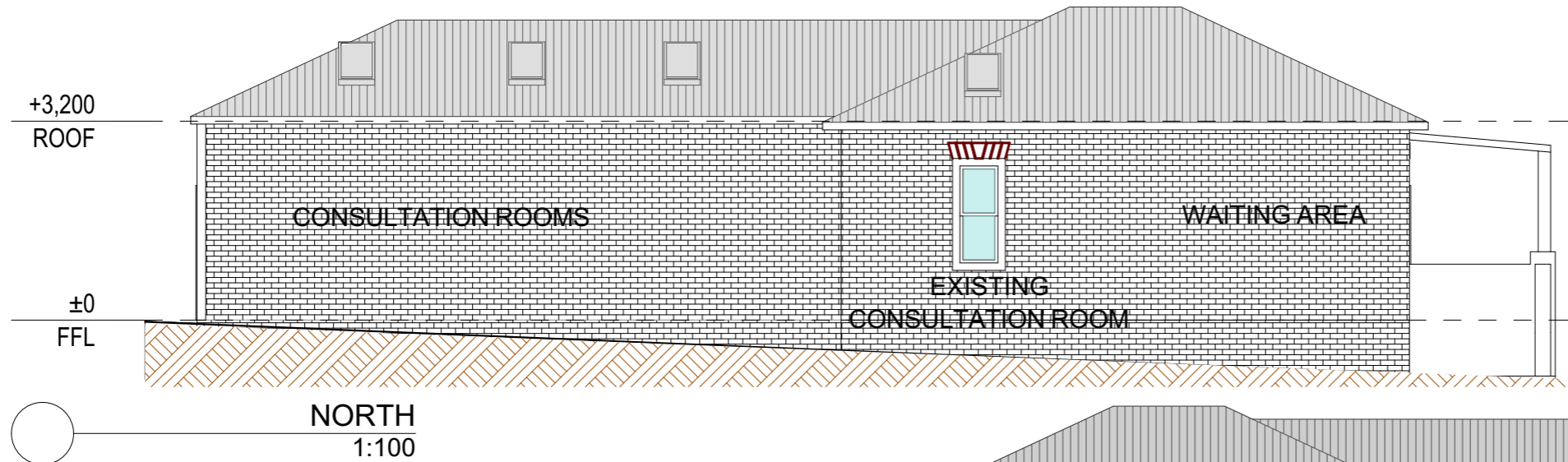
* THE CLEARANCE BETWEEN THE GRABRAIL AND WALL OR ADJACENT WALL SURFACE OF OTHER OBSTRUCTION SHALL NOT BE LESS THAN 50mm AND NOT MORE THAN 60mm. THE CLEARANCE ABOVE THE HORIZONTAL GRAB RAIL SHALL EXTEND ABOVE THE TOP OF THE GRAB RAIL BY NOT LESS THAN 600mm. THE CLEARANCE BELOW A HORIZONTAL OR ANGLED RAIL SHALL BE A MINIMUM OF 50mm EXCEPT AT FIXING POINTS

* GRABRAILS SHALL BE FIXED SO THAT THERE IS NO OBSTRUCTION TO THE PASSAGE OF THE HAND ALONG THE TOP 270° ARC OF THE HORIZONTAL AND ANGLED GRABRAILS. THERE SHALL BE NO OBSTRUCTION TO THE PASSAGE OF THE HAND FOR THE FULL LENGTH OF THE VERTICAL GRABRAILS.

Client	T + E LLEWELLYN	Sheet No.	5
Site Address	CUDGEONG CHIROPRACTIC	Drawing	DETAIL- AMBULANT SANITARY COMPARTMENT
	59 CHURCH STREET MUDGEES NSW 2850	Date	22/03/22
		Plan/Revision	A.501/A
Plans drawn by Gicinta Browning			
 ACCREDITED BUILDING DESIGNER Chartered Member Number 1187-10			
 DESIGNS & DRAFTING 46 Market St * P O Box 826 Mudgee NSW 2850 * Ph 0428 254 037 ABN 61 989 364 458 gicinta@habitatdesigns.com.au			
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ELEVATIONS



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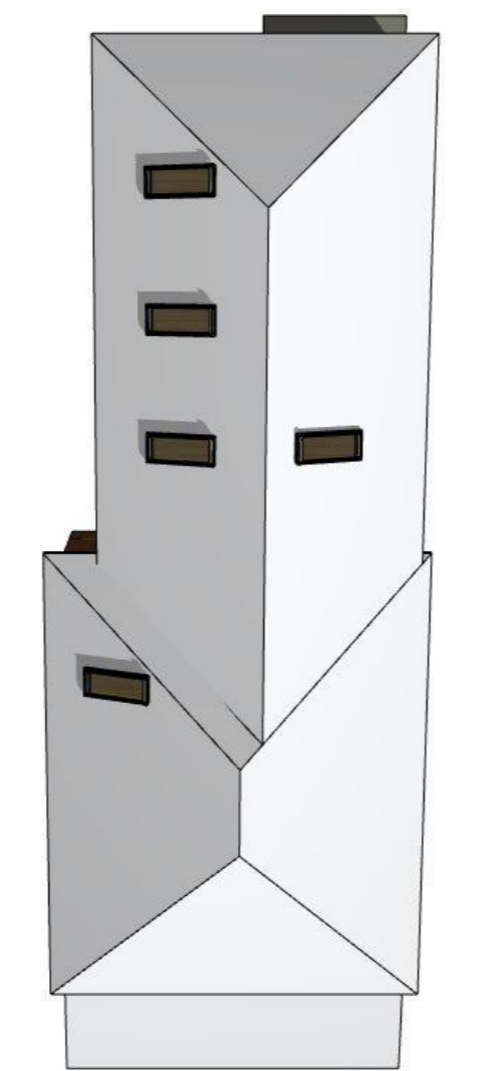
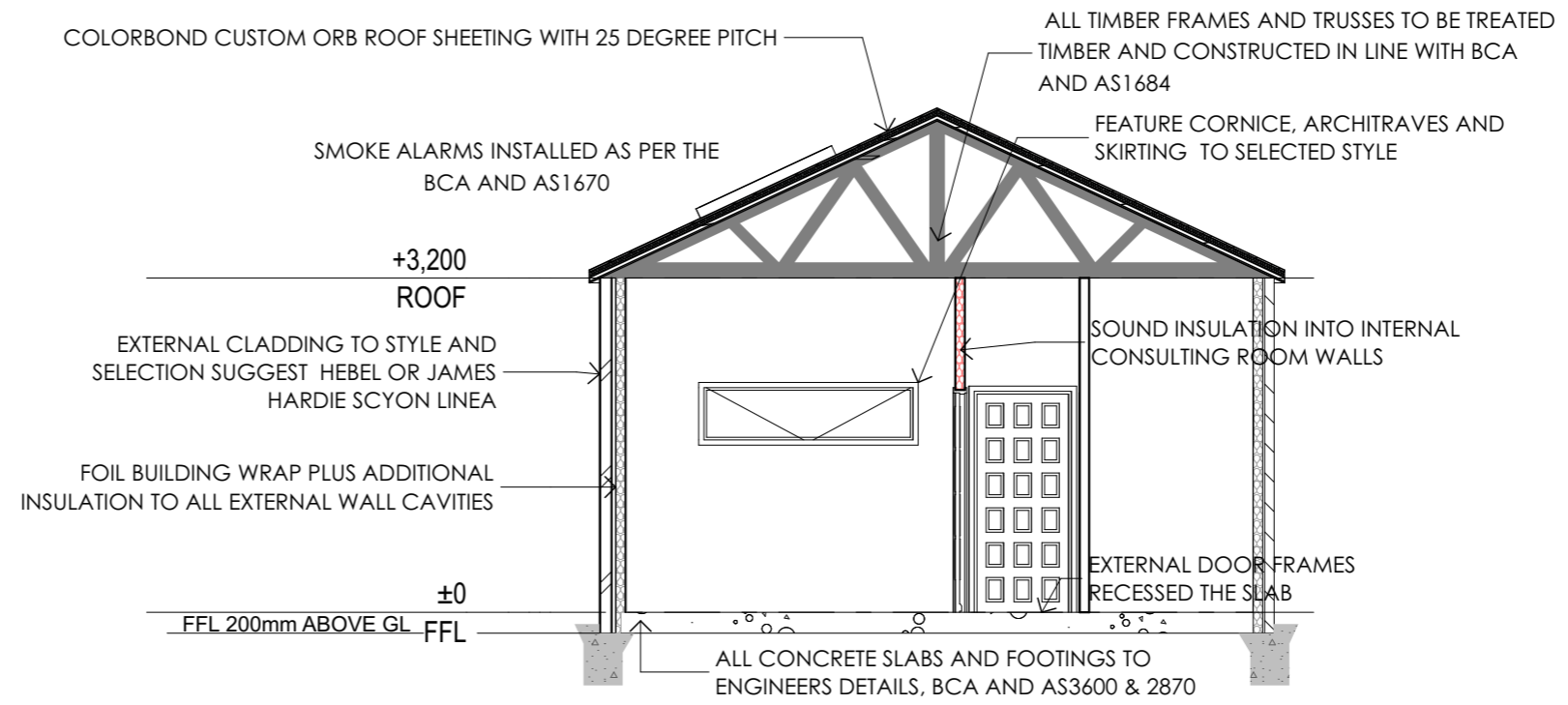
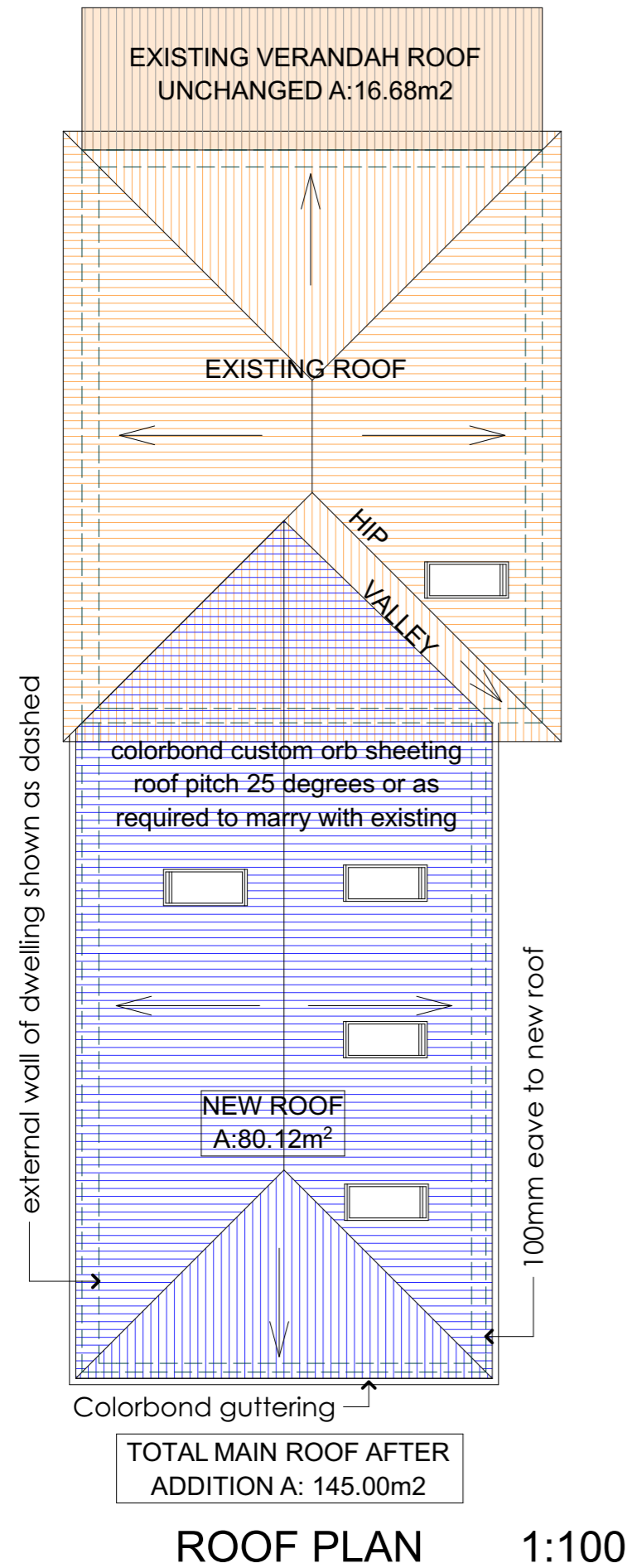
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 gicinta@habitatdesigns.com.au



Plans drawn by
 Gicinta Browning

Client T + E LLEWELLYN
 CUDGEGONG CHIROPRACTIC
Site Address
 59 CHURCH STREET
 MUDGEE NSW 2850

Drawing		ELEVATIONS	
Date	22/03/22	Sheet No.	6
LOT 15 DP137104		Plan/Revision	A.201/A



ROOM SCHEDULE	
Room Name	Measured Area
AMENITIES	7.71
CHANGE ROOMS	9.86
CONSULT RM1	10.82
CONSULT RM2	10.81
EXIST CHANGE RM	14.92
EXIST CONS RM(3)	13.18
NEW HALLWAYS	12.38
RECEPTION / WAITING AREA	29.25
STAFF	7.82
	116.75 m ²

Client **T + E LLEWELLYN**

Site Address **CUDGEONG CHIROPRACTIC**

59 CHURCH STREET MUDGEONG NSW 2850

Drawing **ROOF PLAN** Sheet No. **7**

LOT 15 Date **22/03/22** Plan/Revision **A.113/A**

DP137104

Plans drawn by **Gicinta Browning**

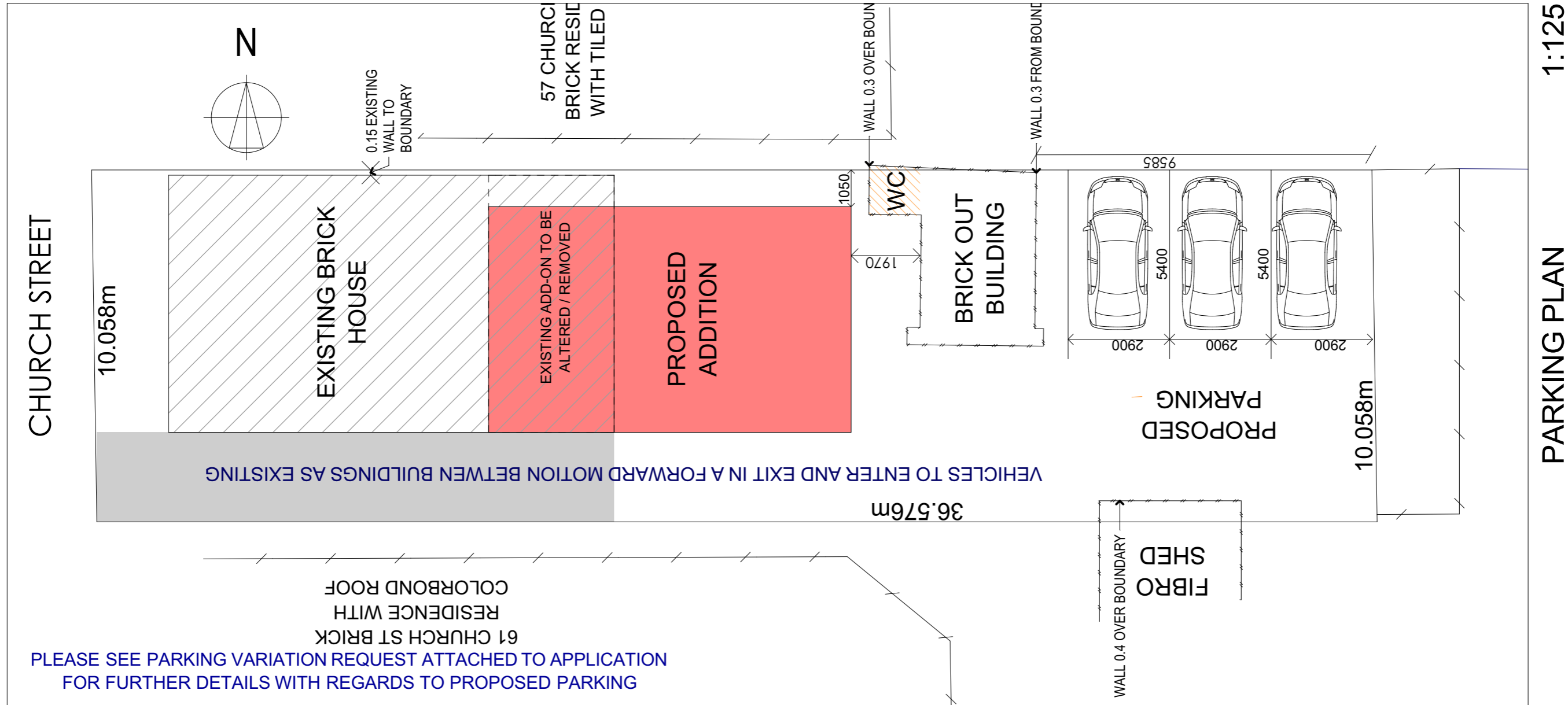
bd ACCREDITED BUILDING DESIGNER

Chartered Member Number 1187-10

Habitat DESIGNS & DRAFTING

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NO HARD SURFACE PROPOSED FOR PARKING AREA
EITHER AS EXISITING (GRASS) OR CRUSHED ROCK AS PREFERRED

TOTAL SITE AREA
TOTAL COVERED AREA

BUILDING FOOTPRINT (INCLUDES VERANDAH)	152.97m ²
EXISTING DRIVEWAY	37.79m ²
OUT BUILDINGS	16.63m ²
TOTAL SITE COVERAGE	207.39m²
TOTAL SITE AREA	367.90m ²
SITE COVERAGE	56.37%

MAXIMUM GFA (>300m²)
25% +150m²= 241.975m²

WIND CLASSIFICATION	
CLIMATE ZONE	6
GEOGRAPHICAL REGION	A
WIND CLASSIFICATION	N1
FULL SHEILDING	

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Plans drawn by Gicinta Browning
Client T + E LLEWELLYN
CUDGEGONG CHIROPRACTIC
Site Address 59 CHURCH STREET MUDGEE NSW 2850

Drawing		PARKING LAYOUT	
Date	22/03/22	Sheet No.	8
LOT 15 DP137104		Plan/Revision	A.502/A

1. FALLS, SLIPS, TRIPS

a) WORKING AT HEIGHTS

DURING CONSTRUCTION

Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility.

DURING OPERATION OR MAINTENANCE

For houses or other low-rise buildings where scaffolding is appropriate:

Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislation.

For buildings where scaffold, ladders, trestles are not appropriate:

Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, fall barriers or Personal Protective Equipment (PPE) should be used in accordance with relevant codes of practice, regulations or legislation.

b) SLIPPERY OR UNEVEN SURFACES

FLOOR FINISHES Specified

If finishes have been specified by designer, these have been selected to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes/feet. Any changes to the specified finish should be made in consultation with the designer or, if this is not practical, surfaces with an equivalent or better slip resistance should be chosen.

FLOOR FINISHES By Owner

If designer has not been involved in the selection of surface finishes, the owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZ 4586:2004.

STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace.

Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways.

Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

2. FALLING OBJECTS

LOOSE MATERIALS OR SMALL OBJECTS

Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below.

1. Prevent or restrict access to areas below where the work is being carried out.
2. Provide toeboards to scaffolding or work platforms.
3. Provide protective structure below the work area.
4. Ensure that all persons below the work area have Personal Protective Equipment (PPE).

BUILDING COMPONENTS

During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility.

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted.

3. TRAFFIC MANAGEMENT

For building on a major road, narrow road or steeply sloping road: Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas.

For building where on-site loading/unloading is restricted:

Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas. For all buildings:

Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

4. SERVICES

GENERAL

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig), appropriate excavation practice should be used and, where necessary, specialist contractors should be used.

Locations with underground power:

Underground power lines MAY be located in or around this site. All underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing.

Locations with overhead power lines:

Overhead power lines MAY be near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

5. MANUAL TASKS

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass.

All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur. Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's specification.

6. HAZARDOUS SUBSTANCES

ASBESTOS

For alterations to a building constructed prior to 1990:

If this existing building was constructed prior to:

1990 - it therefore may contain asbestos

1986 - it therefore is likely to contain asbestos

either in cladding material or in fire retardant insulation material. In either case, the builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

POWDERED MATERIALS

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

TREATED TIMBER

The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

SYNTHETIC MINERAL FIBRE

Fibreglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts or the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material.

TIMBER FLOORS

This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

7. CONFINED SPACES

EXCAVATION

Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

ENCLOSED SPACES

For buildings with enclosed spaces where maintenance or other access may be required:

Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

SMALL SPACES

For buildings with small spaces where maintenance or other access may be required:

Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

8. PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

9. OPERATIONAL USE OF BUILDING RESIDENTIAL BUILDINGS

This building has been designed as a residential building. If it, at a later date, it is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.

10. OTHER HIGH RISK ACTIVITY

All electrical work should be carried out in accordance with Code of Practice: Managing Electrical Risks at the Workplace, AS/NZ 3012 and all licensing requirements.

All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace. All work should be carried out in accordance with Code of Practice: Managing Noise and Preventing Hearing Loss at Work. Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.

Client T + E LLEWELLYN	Site Address CUDGEGONG CHIROPRACTIC 59 CHURCH STREET MUDGEE NSW 2850	Sheet No. 9	Plan/Revision A.001/A
Plans drawn by Gicinta Browning			
 ACCREDITED BUILDING DESIGNER Chartered Member Number 1187-10			
 Habitat DESIGNS & DRAFTING 46 Market St * P O Box 826 Mudgee NSW 2850 * Ph 0428 254 037 ABN 61 989 364 458 gicinta@habitatdesigns.com.au			
Do not scale drawing. Plans are to scale at A3. All care has been taken to ensure that this drawing is correct. The builder or supervisor are responsible for checking all aspects and dimensions and ensuring their use when accepting this drawing for general use. All engineering items on this plan are subject to verification by an engineer. Information is based on details obtained from the owners & are subject to verification by a registered surveyor or other professional consultant. The responsibility of engineering & surveying rests with the owner. Plans are subject to copyright & can not be reproduced without the permission of the author.			

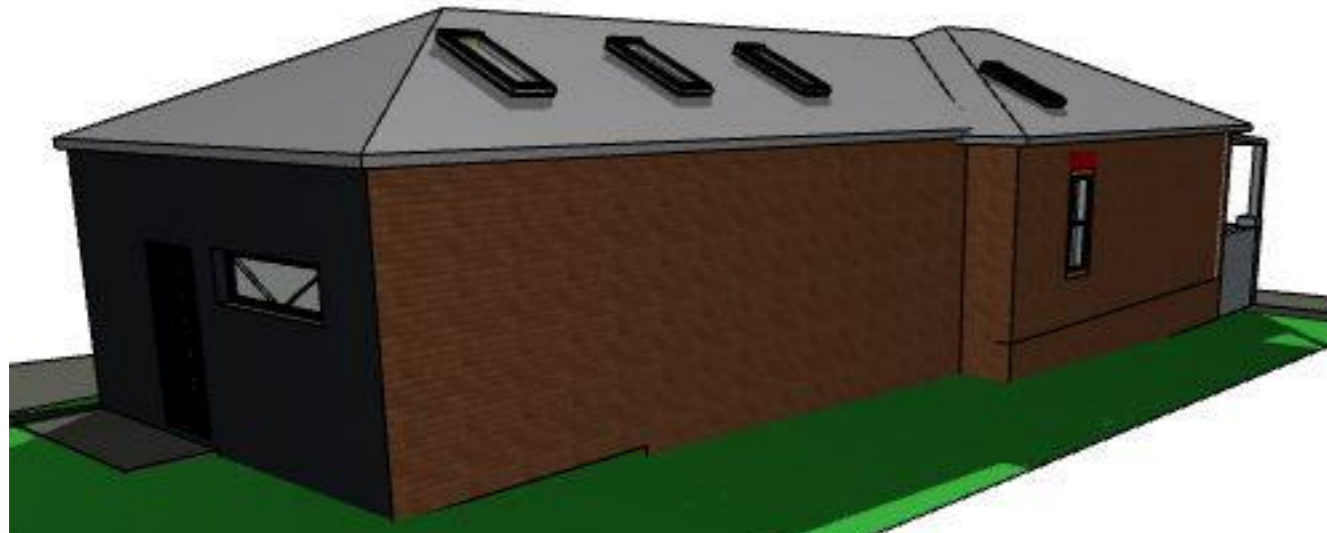
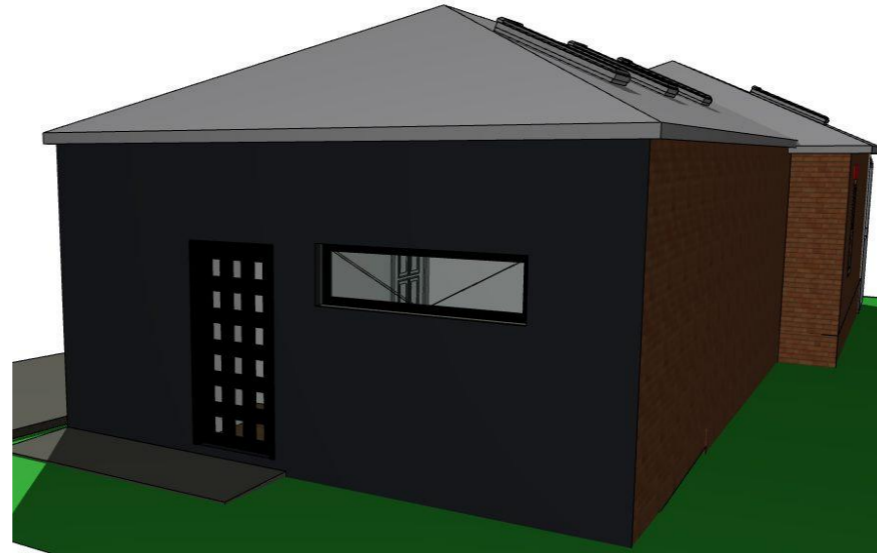
THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT.

THIS INCLUDES (but is not excluded to): OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINTENORS, DEMOLISHERS.

3D VIEWS

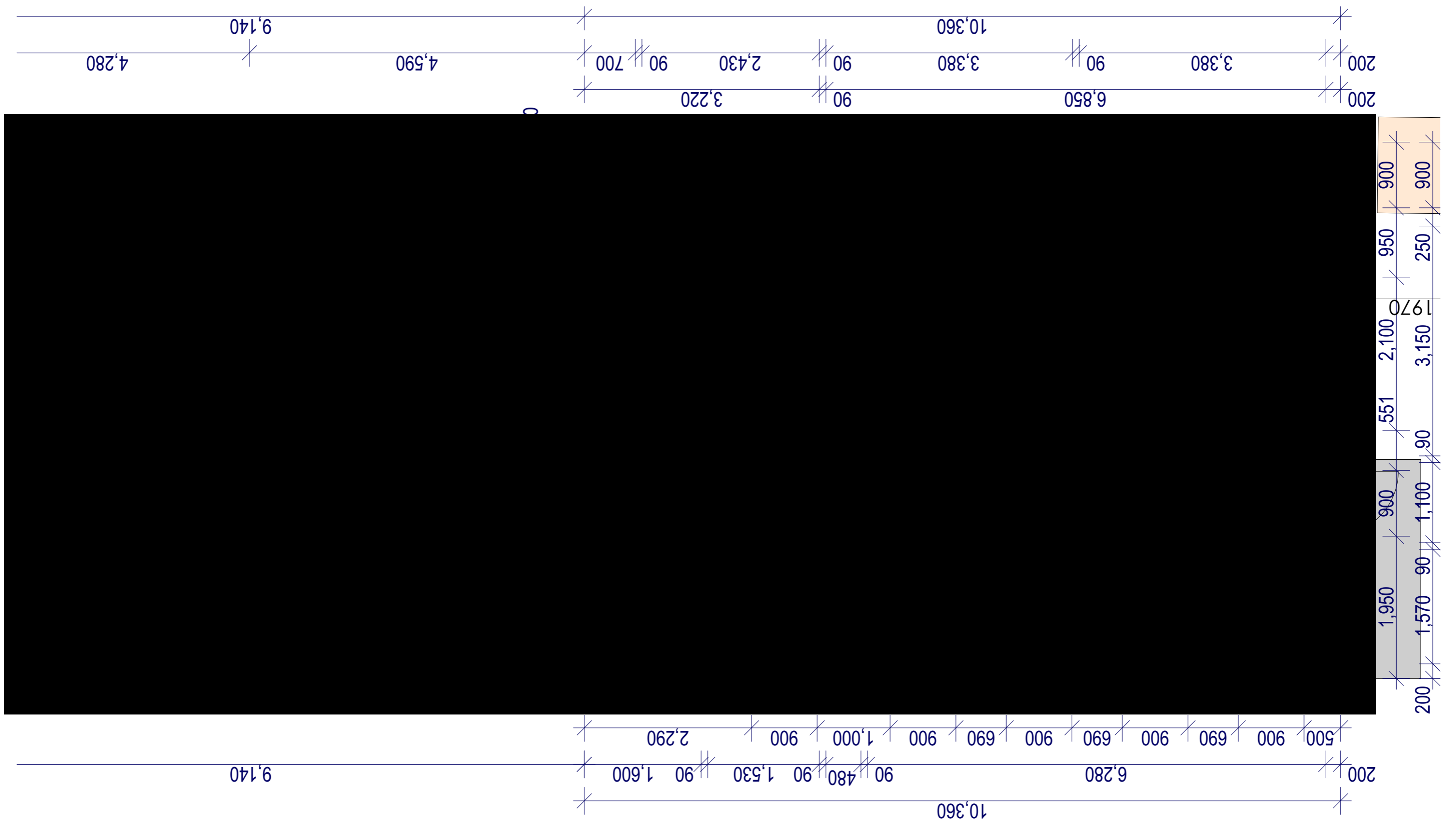


VIEW FROM CHURCH STREET UNCHANGED



INTERNAL VIEW OF FLOOR LAYOUT

Client T + E LLEWELLYN		Site Address CUDGEGONG CHIROPRACTIC	
59 CHURCH STREET MUDGEES NSW 2850		Sheet No. 10	
Drawing 3D IMAGES		Plan/Revision A.203/A	
LOT 15		Date 22/03/22	
DP137104			
Plans drawn by Gicinta Browning			
 ACCREDITED BUILDING DESIGNER Chartered Member Number 1187-10			
 Habitat DESIGNS & DRAFTING 46 Market St * P O Box 826 Mudgee NSW 2850 * Ph 0428 254 037 ABN 61 989 364 458 gicinta@habitatdesigns.com.au			
<p>Do not scale drawing. Plans are to scale at A3. All care has been taken to ensure that this drawing is correct. The builder or supervisor are responsible for checking all aspects and dimensions and ensuring their use when accepting this drawing for general use. All engineering items on this plan are subject to verification by an engineer. Information is based on details obtained from the owners & are subject to verification by a registered surveyor or other professional consultant. The responsibility of engineering & surveying rests with the owner. Plans are subject to copyright & can not be reproduced without the permission of the author.</p>			



ENLARGED FLOOR PLAN FOR READING PURPOSES ONLY SCALE 1:50

Do not scale drawing. Plans are to scale at A3.
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Plans drawn by Gicinta Browning
Client T + E LLEWELLYN
CUDGEGONG CHIROPRACTIC
Site Address
 59 CHURCH STREET
 MUDGEE NSW 2850

Drawing	ENLARGED FLOOR PLAN NEW ADDITION	
Date	22/03/22	Sheet No. 11
LOT 15 DP137104	Plan/Revision A.105.4/A	