



Proposed Detached Dual Occupancy  
 Lot 510, 41 Suttor Avenue  
 Caerleon NSW 2850

**DRAWING SCHEDULE - FILE NO: 0465-A01**

0465-A01	TITLE SHEET & BASIX COMMITMENTS
0465-A02	LOCATION, SITE, SUBDIVISION & LANDSCAPE PLAN
0465-A03	FLOOR PLAN - DWELLING ONE
0465-A04	FLOOR PLAN - DWELLING TWO
0465-A05	ELEVATIONS - DWELLING ONE
0465A06	ELEVATIONS - DWELLING TWO
0465-A07	SECTION & GENERAL NOTES
0465-A08	ELECTRICAL & MECHANICAL PLANS - DWELLING ONE
0465-A09	ELECTRICAL & MECHANICAL PLANS - DWELLING TWO

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REV	DATE	DESCRIPTION	NOTE:	 <b>BUILDING DESIGNERS</b> ASSOCIATION OF AUSTRALIA	LYNCH BUILDING GROUP CLIENT: PROPOSED DETACHED DUAL OCCUPANCY LOT 510, 41 SUTTOR AVENUE CAERLEON NSW 2850 PROJECT:	 <b>LYNCH BUILDING</b> GROUP	POSTAL: PO BOX 1298 Mudgee NSW 2850  CONTACT US: P. 0411 761 934 E. info@jhlbuildingdesigns.com.au FB. @jhlbuildingdesigns	<b>TITLE SHEET</b>		
A	17/12/2021	CONCEPT PLANS FOR REVIEW	ALL DRAWINGS TO BE READ IN CONJUNCTION WITH -					DRAWING TITLE: DESIGN: LBG DRAFTED: J.LYNCH CHECKED: A.LYNCH	FILE NO: 0465-A01 PAPER SIZE: A3	01 OF 10 DRAWING NO:

# BASIX COMMITMENTS - Dwelling One

## THERMAL COMFORT

- > See Typical Section, Floor Plan and Basix Certificate for further Thermal Comfort Commitments.
- > The proposed construction must have the following applied to the floors, walls and ceiling / roof of the dwelling.

CONSTRUCTION	ADDITIONAL INSULATION REQUIRED	OTHER
Floor - concrete slab on ground	Nil	
External wall - brick veneer/framed & cladded	R2.06/R2.2 (or R2.60 including construction)	
Internal wall shared with Garage - plasterboard	Nil	
Ceiling and roof - flat ceiling / pitched roof	Ceiling: R4.0 (up), Roof: foil / sarking	Unventilated; Dark (solar absorptance >0.70)

## ENERGY

### HOT WATER

- > A Gas Instantaneous Hot Water System must be installed with 4 star rating

### COOLING & HEATING SYSTEM: Day/night zoned

- > Living Area - 1-phase air conditioning, 3.5 Star (cold zone)
- > Bedroom - 1-phase air conditioning, 3.5 Star (cold zone)

### VENTILATION EXHAUST SYSTEMS:

- > At least 1 Bathroom - individual fan not ducted - manual on/off
- > Kitchen - individual fan, not ducted - manual on/off
- > Laundry - natural ventilation only.

### NATURAL LIGHTING:

- > A window and / or skylight must be installed in 2 bathrooms / toilet(s) of the development

## GLAZING REQUIREMENTS

### WINDOWS & GLAZED DOORS

- > The applicant must install all proposed windows, glazed doors and shading devices as listed below.

WINDOW/DOOR NO.	ORIENTATION	MAX. SIZE	OVER-SHADOWING	SHADING (mm)	TYPE
Family	N	1.2 x 2.1	0	E-0.6, A/H-0.0	Aluminium, single, clear
Ensuite, Kitchen, Family	E	0.6 x 0.9, 2.1 x 1.0, 1.8 x 2.1	0	E-0.6, A/H-0.0	Aluminium, single, clear
Dining	E	2.6 x 2.7	0	E-3.55, A/H-0.15	Aluminium, single, clear
Bed 1, Bed 2	S	2.0 x 2.1, 2.0 x 0.6(x3)	0	E-0.6, A/H-0.0	Aluminium, single, clear
Laundry, Bath, Bed 3	W	2.1 x 1.5, 0.9 x 1.5, 1.8 x 1.8	0	E-0.6, A/H-0.0	Aluminium, single, clear

> Note: E = Eave | A/H = Above Head | S/O = Solid Overhang | A/B = Above Base

## WATER

### FIXTURES

- > Showerheads - 4 Star (>4.5 <=6L/min)
- > Toilet Flushing System - 4 Star Rating
- > Kitchen Taps - 4 Star Rating
- > Bathroom Basin Taps - 4 Star Rating

### RAINWATER TANK

- > A rainwater tank of at least 2,000L capacity must be installed
- > The rainwater tank must collect rainwater from at least 150m<sup>2</sup> of the roof area
- > The rainwater tank must be connected to:
  - The cold water tap that supplies each clothes washer, and at least one outdoor tap in the development

### LANDSCAPING

- > Minimum of 3m<sup>2</sup> of low water use species used in the development

## BASIX NOTES:

- 1 | THE APPLICANT MUST COMPLY WITH THE BASIX COMMITMENTS WITHIN BASIX CERTIFICATE PROVIDED DURING THE CONSTRUCTION OF THIS PROPOSED DEVELOPMENT.

# BASIX COMMITMENTS - Dwelling Two

## THERMAL COMFORT

- > See Typical Section, Floor Plan and Basix Certificate for further Thermal Comfort Commitments.
- > The proposed construction must have the following applied to the floors, walls and ceiling / roof of the dwelling.

CONSTRUCTION	ADDITIONAL INSULATION REQUIRED	OTHER
Floor - concrete slab on ground	Nil	
External wall - brick veneer	R2.06(or R2.60 including construction)	
Internal wall shared with Garage - plasterboard	Nil	
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Dining	N	2.0 x 2.7	0	E-3.52, A/H-0.15	Aluminium, single, clear
Bed 4, Bath	N	1.5 x 1.5, 0.9 x 1.5	0	E-0.6, A/H-0.0	Aluminium, single, clear
Ensuite, Family, Dining	E	0.9x0.6, 2.1x1.0 (x2), 1.8x2.1	0	E-0.6, A/H-0.0	Aluminium, single, clear
Bed 1	S	1.8 x 0.6(x3)	0	E-0.6, A/H-0.0	Aluminium, single, clear
Bed 2, Bed 3	W	1.5 x 1.5 (x2)	0	E-0.6, A/H-0.0	Aluminium, single, clear

> Note: E = Eave | A/H = Above Head | S/O = Solid Overhang | A/B = Above Base

## WATER

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### LANDSCAPING

- > Minimum of 3m<sup>2</sup> of low water use species used in the development

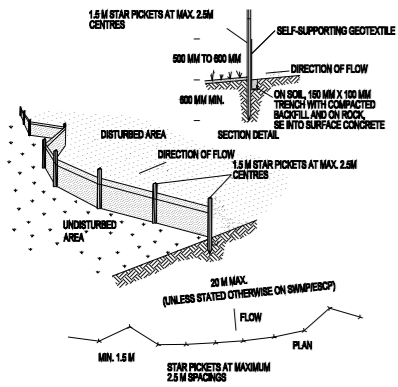
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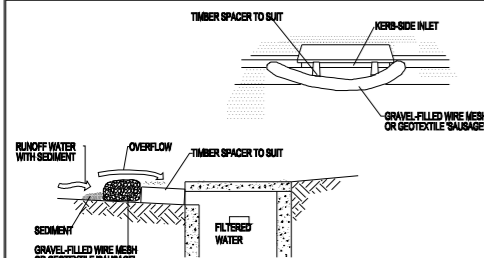
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C	21/03/2022	FINAL PLANS FOR SUBMISSION										CHECKED: A.LYNCH	PAPER SIZE: A3	DRAWING NO:	REV:

## SEDIMENT CONTROL



- CONSTRUCTION NOTES**
- CONSTRUCT SEDIMENT FENCES AS CLOSE AS POSSIBLE TO BEING PARALLEL TO THE CONTOURS OF THE SITE, BUT WITH SMALL RETURNS AS SHOWN IN THE DRAWING TO LIMIT THE CATCHMENT AREA OF ANY ONE SECTION. THE CATCHMENT AREA SHOULD BE SMALL ENOUGH TO LIMIT WATER FLOW IF CONCENTRATED AT ONE POINT TO 50 LITRES PER SECOND IN THE DESIGN STORM EVENT, USUALLY THE 1.0-YEAR EVENT.
  - CUT A 150-MM DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
  - DRIVE 1.5 METRE LONG STAR PICKETS INTO GROUND AT 2.5 METRE INTERVALS (MAX) AT THE DOWNSLOPE EDGE OF THE TRENCH. ENSURE ANY STAR PICKETS ARE FITTED WITH SAFETY CAPS.
  - FIX SELF-SUPPORTING GEOTEXTILE TO THE UPSLOPE SIDE OF THE TRENCH. ENSURE IT GOES TO THE BASE OF THE TRENCH. FIX THE GEOTEXTILE WITH WIRE TIES OR AS RECOMMENDED BY THE MANUFACTURER. ONLY USE GEOTEXTILE SPECIFICALLY PRODUCED FOR SEDIMENT FENCING. THE USE OF SHADE CLOTH FOR THIS PURPOSE IS NOT SATISFACTORY.
  - JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150-MM OVERLAP.
  - BACKFILL THE TRENCH OVER THE BASE OF THE FABRIC AND COMPACT IT THOROUGHLY OVER THE GEOTEXTILE.



- CONSTRUCTION NOTES**
- INSTALL FILTERS TO KERB INLETS ONLY AT SAG POINTS.
  - FABRICATE A SLEEVE MADE FROM GEOTEXTILE OR WIRE MESH LONGER THAN THE LENGTH OF THE INLET PIT AND FILL IT WITH 25 MM TO 50 MM GRAVEL.
  - FORM AN ELLIPTICAL CROSS-SECTION ABOUT 150 MM HIGH X 400 MM WIDE.
  - PLACE THE FILTER AT THE OPENING LEAVING AT LEAST A 100-MM SPACE BETWEEN IT AND THE KERB INLET. MAINTAIN THE OPENING WITH SPACER BLOCKS.
  - FORM A SEAL WITH THE KERB TO PREVENT SEDIMENT BYPASSING THE FILTER.
  - SANDBAGS FILLED WITH GRAVEL CAN SUBSTITUTE FOR THE MESH OR GEOTEXTILE PROVIDING THEY ARE PLACED SO THAT THEY FIRMLY ABUT EACH OTHER AND SEDIMENT-LADEN WATERS CANNOT PASS BETWEEN.

## SITE NOTES

- CONFIRM ALL DIMENSIONS ON SITE TO EXISTING RESIDENCE PRIOR TO COMMENCEMENT OF ANY WORK.
- THIS PLAN DOES NOT PROVIDE SPECIFIC LANDSCAPE PLANTING LOCATIONS.
- THE EXACT LOCATION OF UNDERGROUND AND ABOVEGROUND SERVICES SHALL BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.
- THIS DRAWING SET TO BE READ IN CONJUNCTION WITH THE SPECIFICATION PROVIDED.
- BEWARE OF EXISTING SERVICES. CONFIRM LOCATIONS PRIOR TO EXCAVATION. TAKE EXTREME CARE.

## LEGEND

- TEMPORARY SITE MATERIAL DISPOSAL ARE DURING CONSTRUCTION. TO BE PROTECTED BY A SEDIMENT FENCE OR STRAW BALE FILTER.
- SITE ACCESS DURING CONSTRUCTION.

## SITE COVERAGE

LOT 510 SUTTOR AVENUE, CAERLEON	= 923.50M <sup>2</sup>
SITE COVERAGE	
TOTAL GFA INCLUDING PORCH & ALFRESCO AREAS	= 365.81M <sup>2</sup>
	= 39.63%
LANDSCAPING	
LANDSCAPING - INCLUDING GRAVEL AREAS	= 557.19M <sup>2</sup>
LESS TOTAL DRIVEWAY & PATHWAYS	= 53.90M <sup>2</sup>
	= 503.29M <sup>2</sup>
	= 54.53%

## SUBDIVISION NOTES

LOT 510 SUTTOR AVENUE CAERLEON	
DP - 1272615 - ZONING R1 GENERAL RESIDENTIAL	
TOTAL LOT 510 AREA	= 923.50M <sup>2</sup>
PROPOSED LOT 1 (DWELLING ONE)	= 470.70M <sup>2</sup>
PROPOSED LOT 2 (DWELLING TWO)	= 452.80M <sup>2</sup>

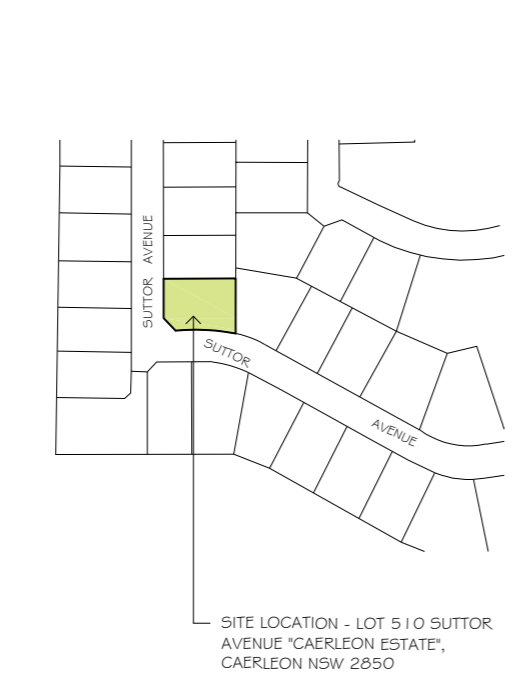
- CONFIRM ALL DIMENSIONS BACK TO SPECIFIC SURVEY PLANS PRIOR TO COMMENCEMENT OF ANY WORK.
- PROPOSED DIVIDING SUBDIVISION BOUNDARY IS APPROXIMATE ONLY AND TO BE CONFIRMED AS ABOVE.
- PROPOSED LOT AREAS ARE APPROXIMATE ONLY & SHOULD BE READ IN CONJUNCTION WITH SPECIFIC SURVEY PLANS.

## LANDSCAPING DETAILS

- SMALL SHRUBS TO 1.0M HIGH**
- SURFER BOY (PHORMILUM)
  - BRONZE BABY (PHORIUM)
  - GOLF BABY (PITTOSPORUM)
- SMALL ORNAMENTAL TREES TO 3.0M HIGH**
- MANCHURIAN PEAR (PYRUS USSURIENSIS)
- CONSULT LOCAL NURSERY FOR AVAILABILITY AND SUITABILITY OF THE SPECIES LISTED & SUBSTITUTE SIMILAR PLANTING IF REQUIRED. MULCH BEDS WITH WOODCHIP OR PEBBLES & FILL OUT OR LINE BEDS WITH GROUND COVERS OR SIMILAR SMALL PLANTS. EDGE BEDS WITH INSITU FORMED CONCRETE ROLLED EDGE, SLEEPERS, MASCONARY BLOCK EDGING OR SIMILAR AS SELECTED.

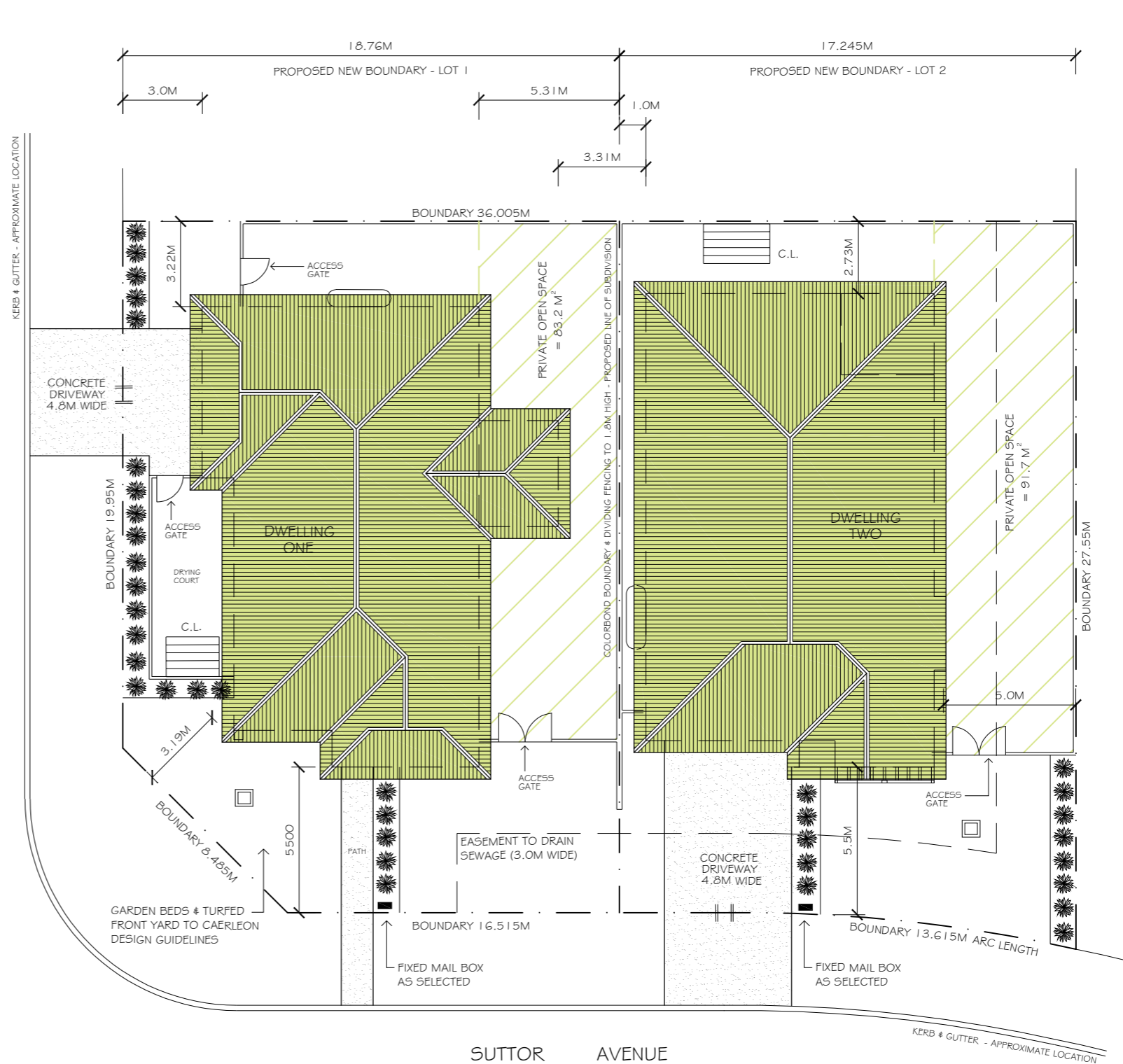
KIKUYU TURF TO ALL AREAS, UNLESS GRAVEL IS STATED AND DISPLAYED OTHERWISE.

AT BUILDERS DISCRETION SUBSTITUTE SHRUBS AND TREES MAY BE USED TO REPLACE THE ABOVE MENTIONED SPECIES AND ALSO THE LOCATION OF GARDEN BEDS, SHOULD THE SITE LEAD TO AN ALTERNATIVE / MORE SUITABLE OPTION.



## LOCATION PLAN

SCALE: NT5



## SITE, SUBDIVISION & LANDSCAPE PLAN

SCALE: 1:200

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A	17/12/2021	CONCEPT PLANS FOR REVIEW
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C	21/03/2022	FINAL PLANS FOR SUBMISSION

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- PCA DOCUMENTS (WHERE APPLICABLE)  
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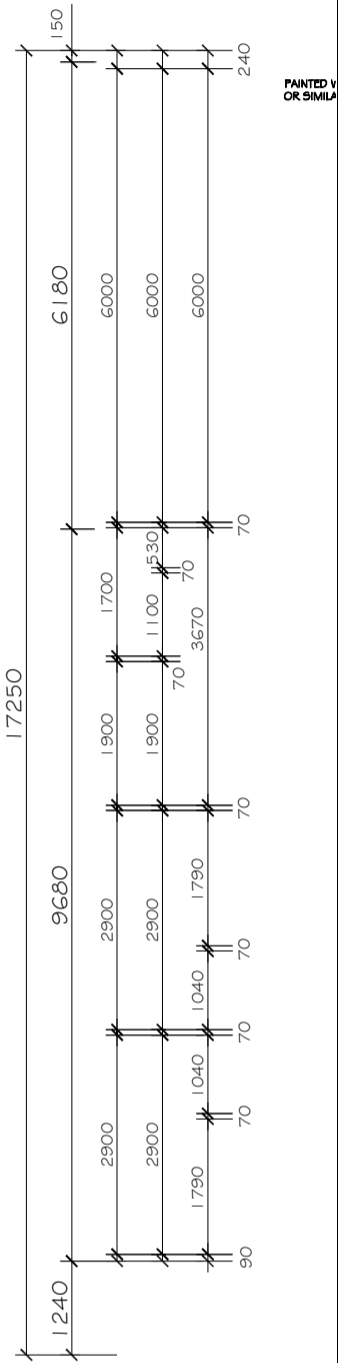
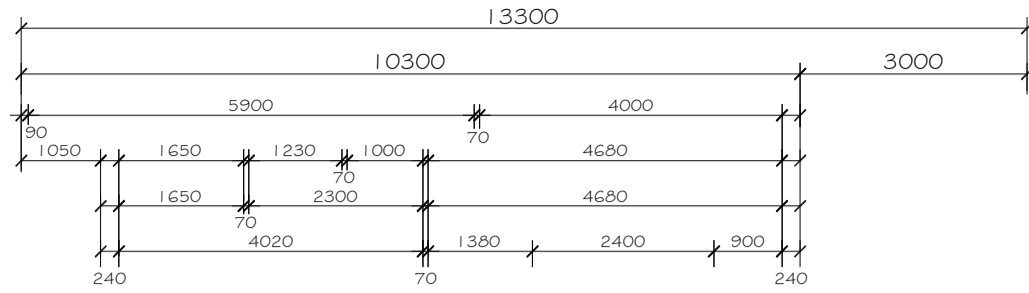
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PROPOSED DETACHED DUAL  
OCCUPANCY  
LOT 510, 41 SUTTOR AVENUE  
CAERLEON NSW 2850  
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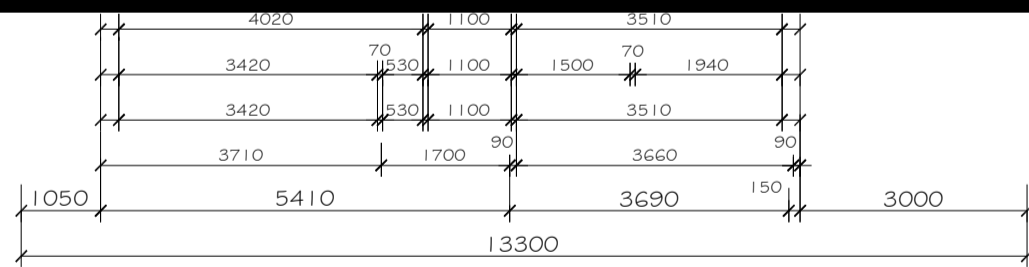
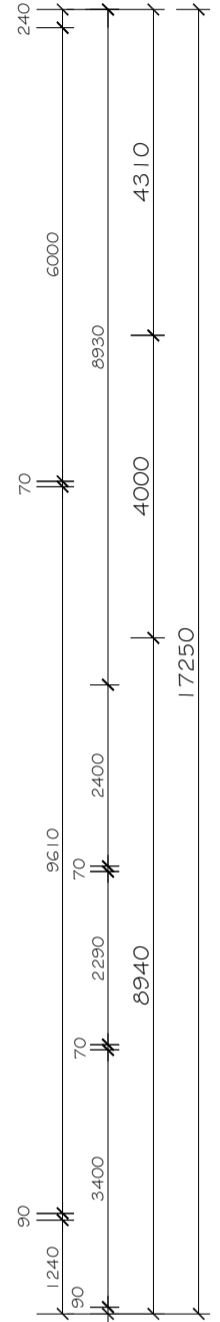
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SITE, SUBDIVISION & LANDSCAPE PLAN			
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PAINTED V  
OR SIMILA



# FLOOR PLAN - DWELLING ONE

SCALE: 1:100

FLOOR AREAS	
DWELLING ONE	
- LIVING	= 122.94 M <sup>2</sup>
- GARAGE	= 38.60 M <sup>2</sup>
<b>TOTAL</b>	<b>= 161.54 M<sup>2</sup></b>
- PORCH	= 2.16 M <sup>2</sup>
- ALFRESCO	= 12.00 M <sup>2</sup>
<b>TOTAL DWELLING ONE</b>	<b>= 175.70 M<sup>2</sup></b>

NOTES	
■	PORCH & ALFRESCO POST POSITION(S) MAY VARY THROUGH ENGINEERS DESIGNS & DURING CONSTRUCTION.
□	MH = MAN HOLE LOCATION
----	ALL OPENINGS ARE SHOWN WITH WIDTH DISPLAYED ON FLOOR PLAN. HEAD HEIGHTS SHALL BE NO LESS THAN 2.2M FROM F.F.L. UNLESS STATED OTHERWISE

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**bdaa**  
 BUILDING DESIGNERS  
 ASSOCIATION OF AUSTRALIA

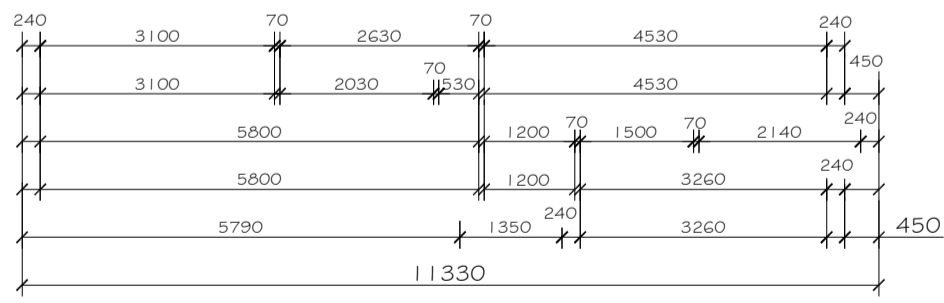
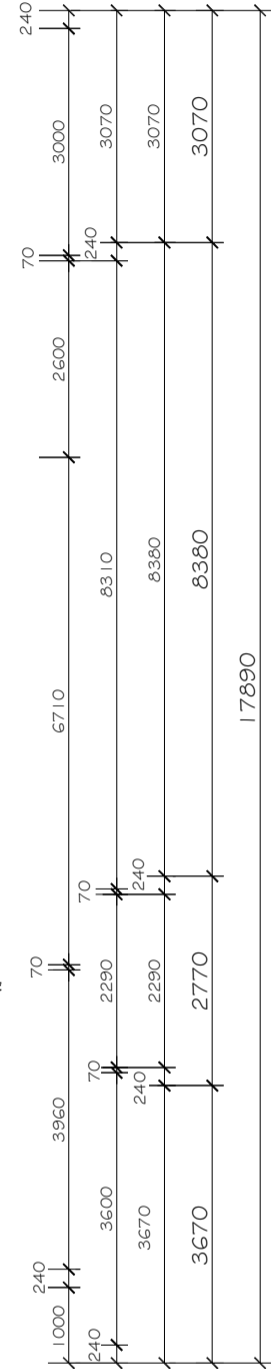
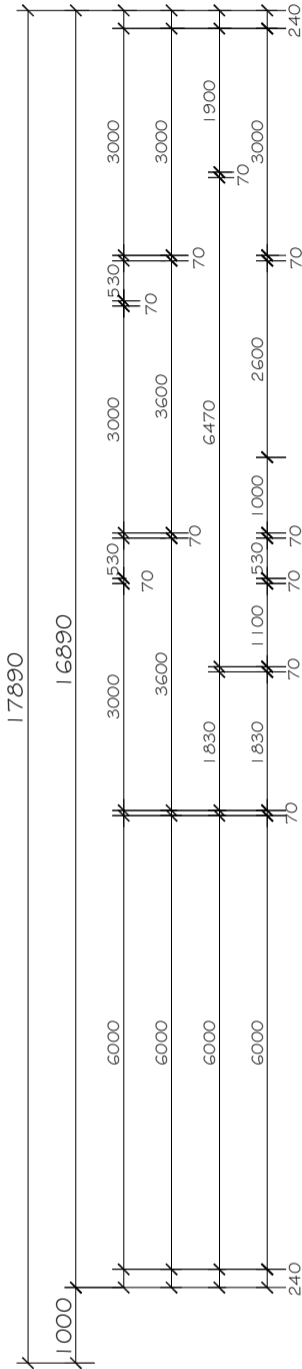
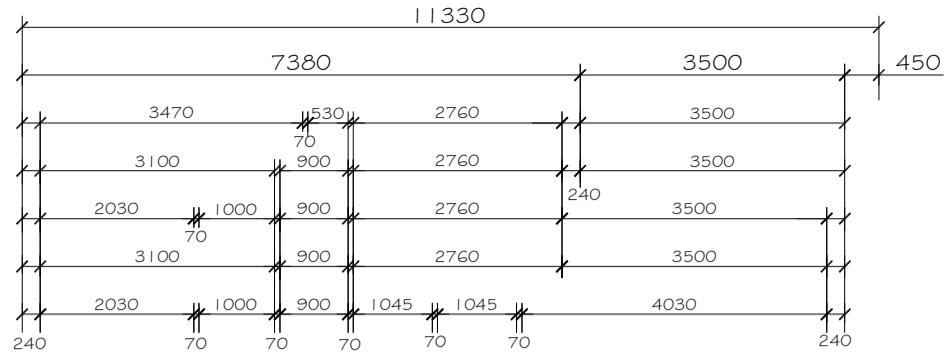
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FLOOR PLAN - DWELLING ONE			
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LBG	0465-A04	04 OF 10	C
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CHECKED: A.LYNCH			



# FLOOR PLAN - DWELLING TWO

SCALE: 1:100

FLOOR AREAS	
DWELLING TWO	
- LIVING	= 140.32 M <sup>2</sup>
- GARAGE	= 37.69 M <sup>2</sup>
<b>TOTAL</b>	<b>= 178.01 M<sup>2</sup></b>
- PORCH	= 1.35 M <sup>2</sup>
- ALFRESCO	= 10.75 M <sup>2</sup>
<b>TOTAL DWELLING TWO</b>	<b>= 190.11 M<sup>2</sup></b>

- | NOTES |  |
|-------|--|
| ■     | PORCH # ALFRESCO POST POSITION(S)<br>MAY VARY THROUGH ENGINEERS DESIGNS #<br>DURING CONSTRUCTION.  |
| ◻     | MH = MAN HOLE LOCATION   |
| ----  | ALL OPENINGS ARE SHOWN WITH WIDTH DISPLAYED<br>ON FLOOR PLAN. HEAD HEIGHTS SHALL BE NO LESS<br>THAN 2.2M FROM F.F.L. UNLESS STATED OTHERWISE |

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**bdga**  
BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

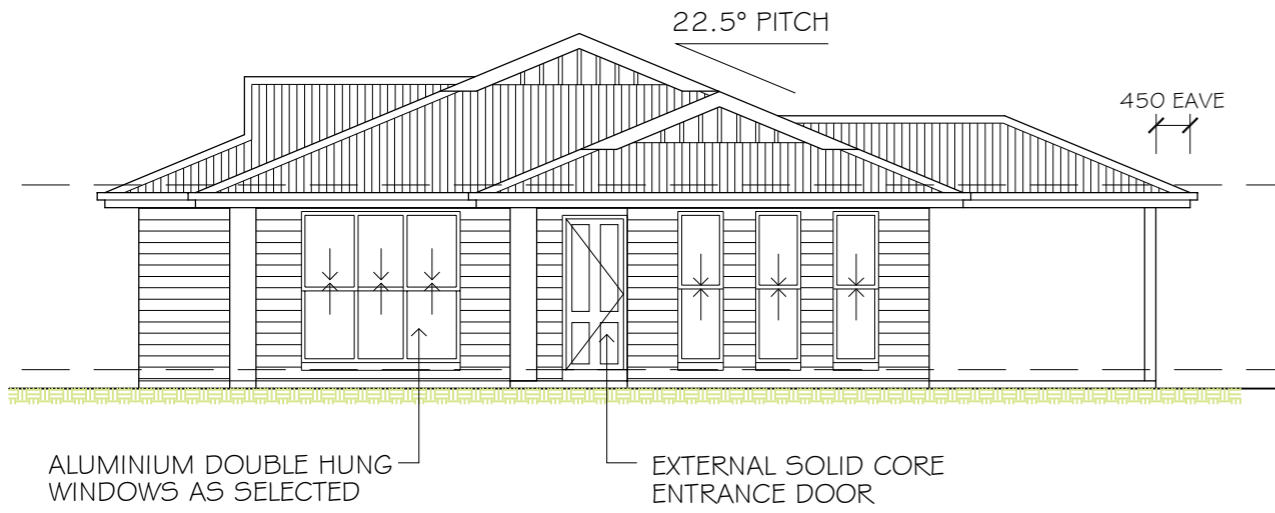
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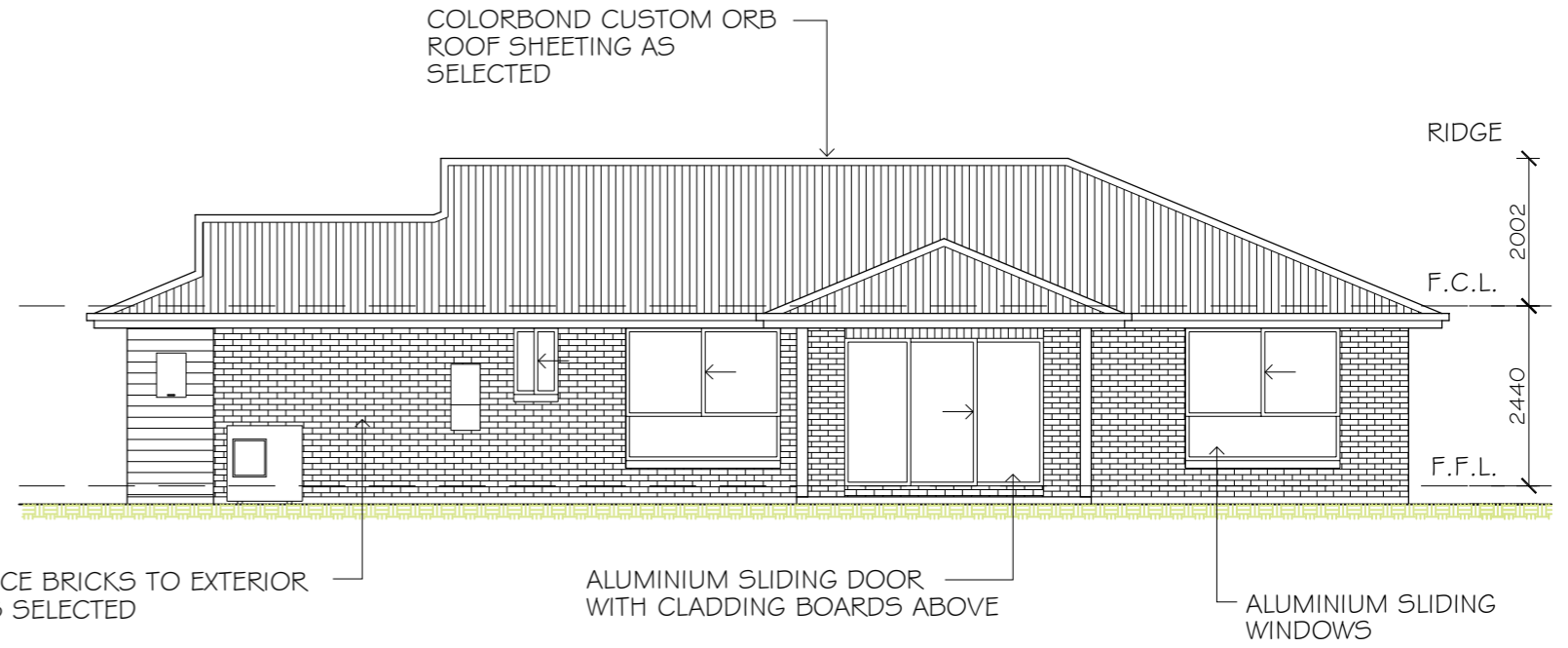
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# DWELLING ONE



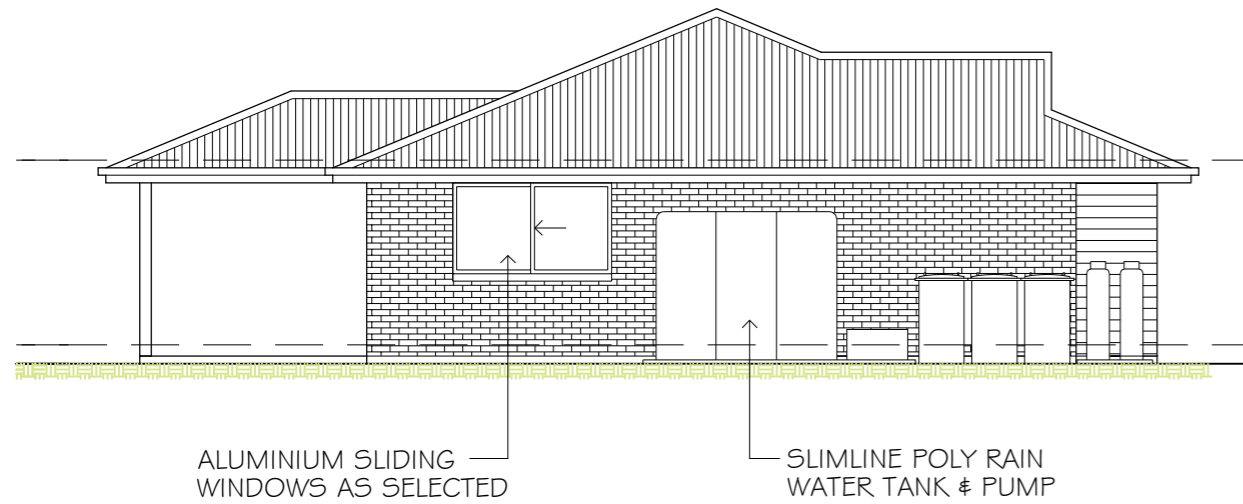
## SOUTH ELEVATION

SCALE: 1:100



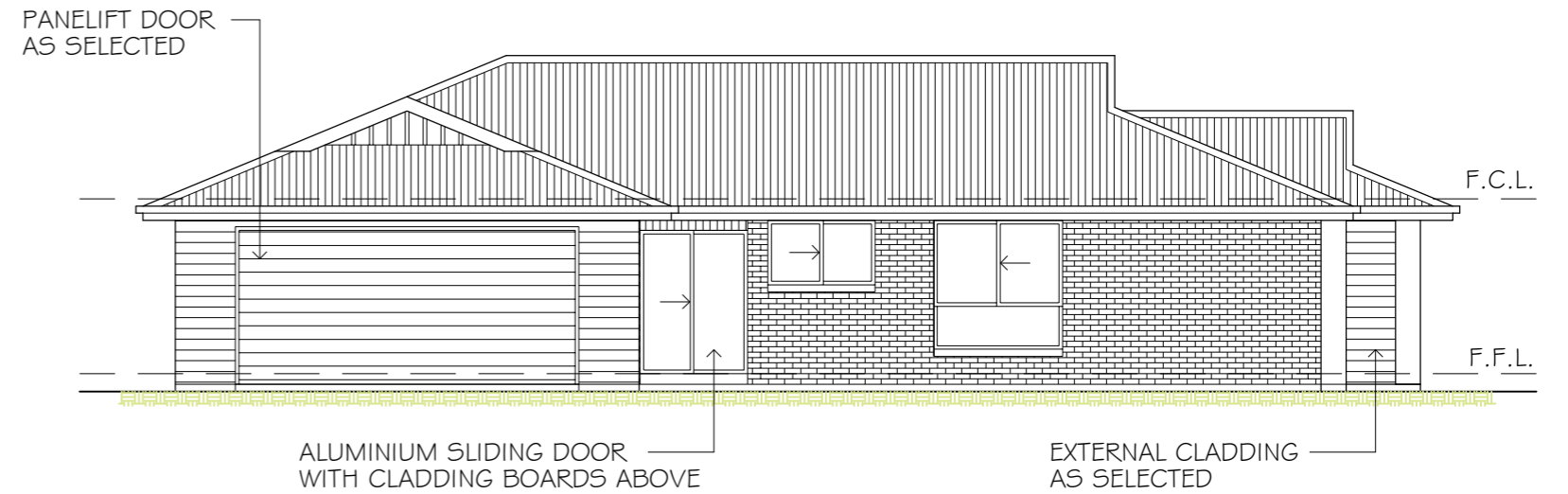
## EAST ELEVATION

SCALE: 1:100



## NORTH ELEVATION

SCALE: 1:100



## WEST ELEVATION

SCALE: 1:100

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LYNCH BUILDING GROUP  
 CLIENT:  
 PROPOSED DETACHED DUAL OCCUPANCY  
 LOT 510, 41 SUTTON AVENUE  
 CAERLEON NSW 2850  
 PROJECT:



**LYNCH BUILDING GROUP**

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### ELEVATIONS - DWELLING ONE

DRAWING TITLE:			
DESIGN:	LBG	FILE NO:	0465-A06
DRAFTED:	J.LYNCH		
CHECKED:	A.LYNCH	PAPER SIZE:	A3
		DRAWING NO:	06 OF 10
		REV:	C

# DWELLING TWO



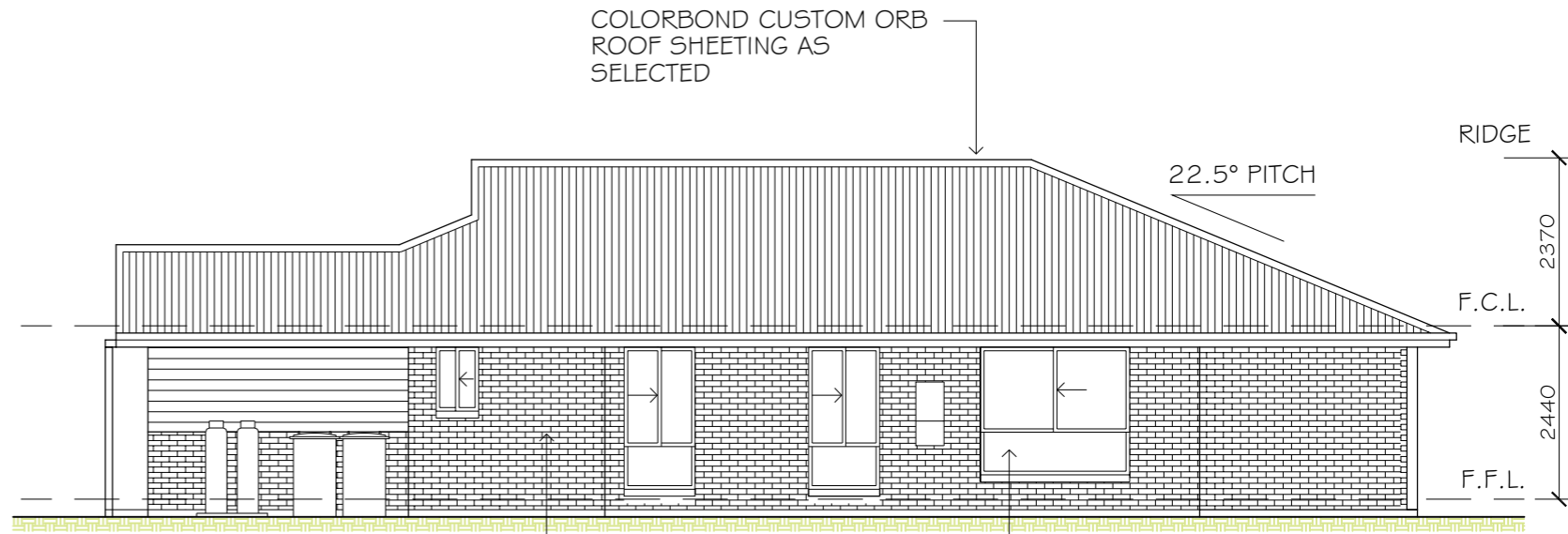
PANELIFT DOOR AS SELECTED

EXTERNAL SOLID CORE ENTRANCE DOOR

ALUMINIUM DOUBLE HUNG WINDOWS AS SELECTED

## SOUTH ELEVATION

SCALE: 1:100



COLORBOND CUSTOM ORB ROOF SHEETING AS SELECTED

22.5° PITCH

RIDGE

2370

F.C.L.

2440

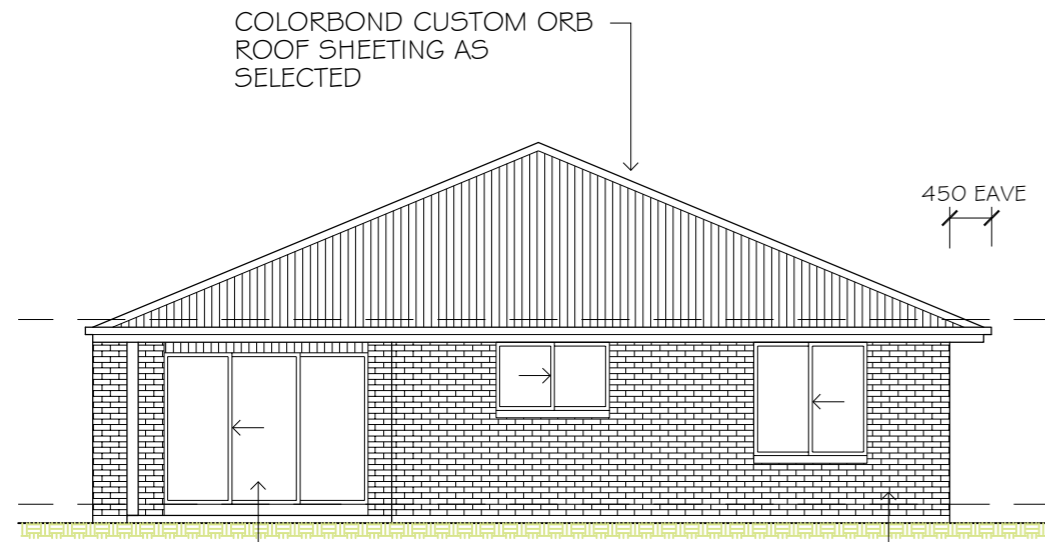
F.F.L.

FACE BRICKS TO EXTERIOR AS SELECTED

ALUMINIUM SLIDING WINDOWS AS SELECTED

## EAST ELEVATION

SCALE: 1:100



COLORBOND CUSTOM ORB ROOF SHEETING AS SELECTED

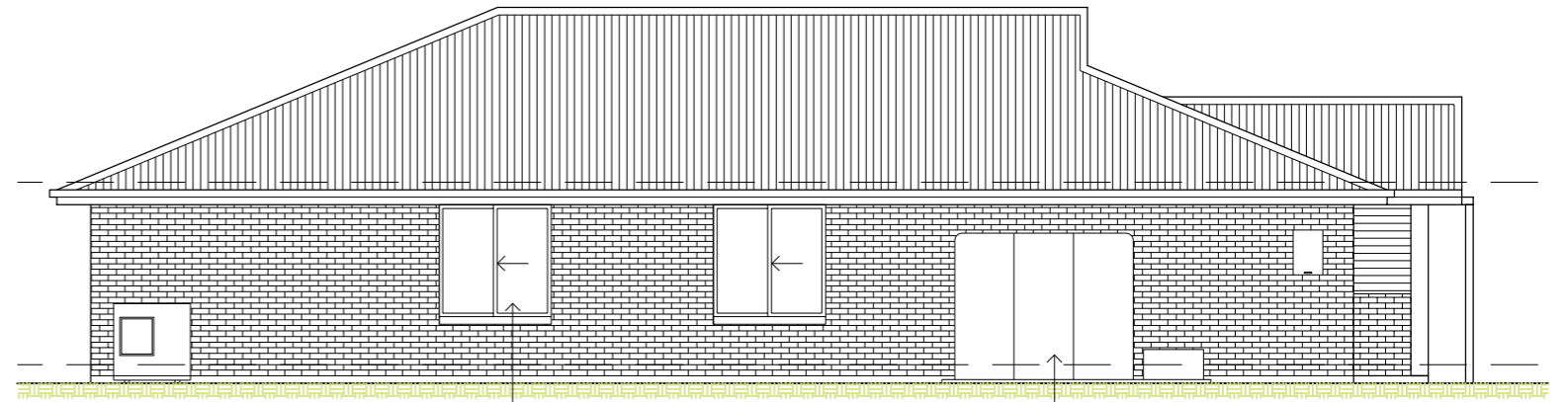
450 EAVE

ALUMINIUM SLIDING DOOR WITH CLADDING BOARDS ABOVE

FACE BRICKS TO EXTERIOR AS SELECTED

## NORTH ELEVATION

SCALE: 1:100



ALUMINIUM SLIDING WINDOWS AS SELECTED

SLIMLINE POLY RAIN WATER TANK & PUMP

## WEST ELEVATION

SCALE: 1:100

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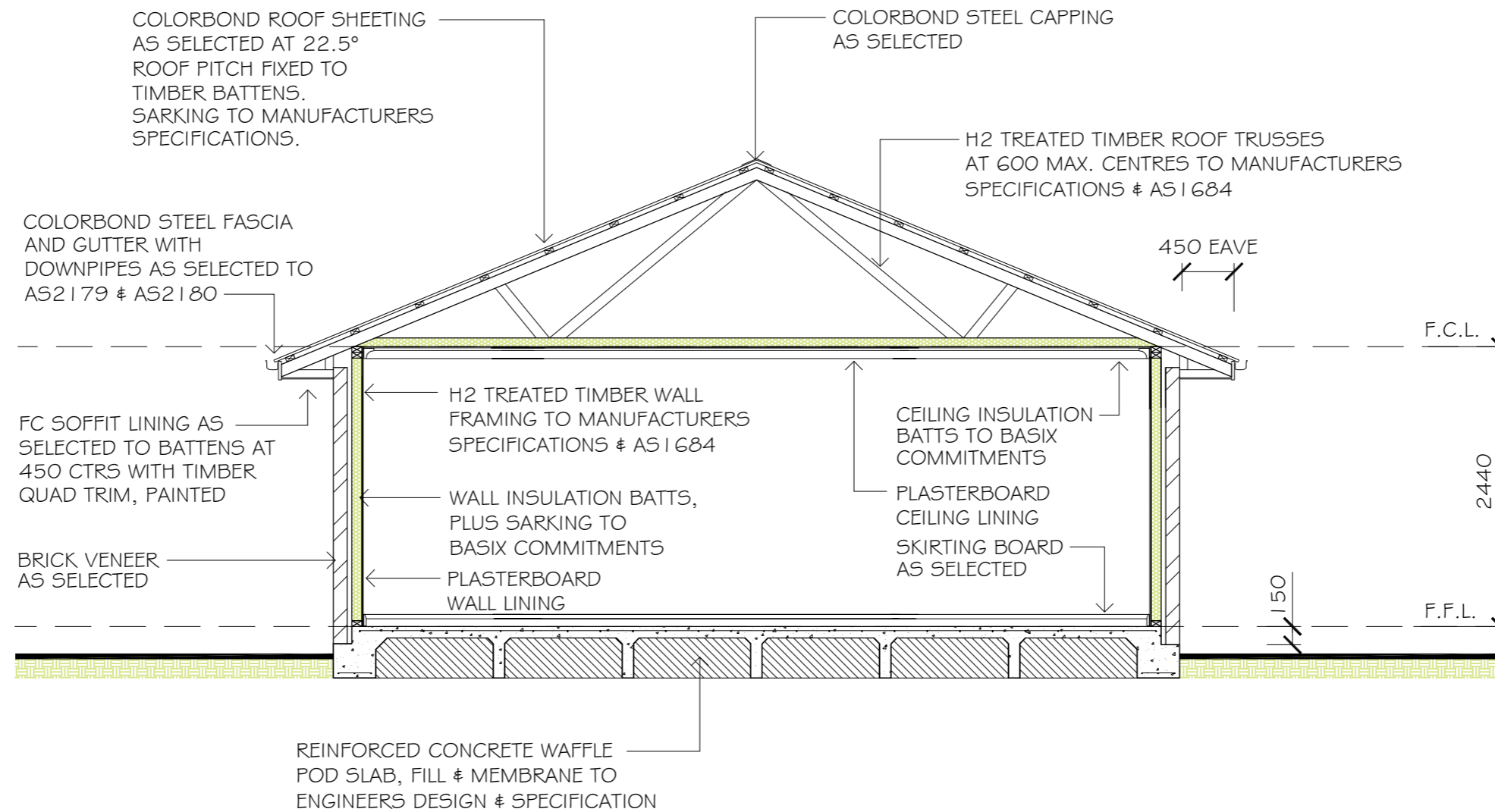


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### ELEVATIONS - DWELLING TWO

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DRAFTED: J.LYNCH	PAPER SIZE: A3	DRAWING NO:	REV:
CHECKED: A.LYNCH			



## TYPICAL SECTION

SCALE: 1:50

### SECTION NOTES

- 1 | FOR COMPLETE SLAB DETAILS & DESIGN REFER TO ENGINEERS SPECIFICATIONS & DESIGNS.
- 2 | TERMITE TREATMENT SHALL BE INCLUDED TO PROTECT AGAINST INFESTATION TO AS3660.1-2000
- 3 | PARTY WALL DETAILS -
  - SEPARATING PARTY WALL MUST NOT BE CROSSED BY TIMBER OR OTHER COMBUSTIBLE BUILDING ELEMENTS WITH THE EXCEPTION OF STEEL ROOFING BATTENS WITH DIMENSIONS 75x50MM OR ROOF SARKING, MUST ALSO BE PACKED USING FIRE RESISTANT MATERIAL IN ACCORDANCE WITH THE B.C.A.
  - 25MM GYPROCK SHAFT LINER PANEL BETWEEN STEEL "H" WITH 20-40MM OF SEPERATION BETWEEN FRAMES & GYPROCK SHAFT LINER PANEL.
  - STUDS AT 600MM MAXIMUM CENTRES
  - 10MM GYPROCK "SUPERCHEK" PLASTERBOARD WALL LINING TO FACE OF PARTY WALL (GYPROCK EWFA 45743 CSR 360 PARTY WALL SYSTEM)
  - SELECT WALL FRAMING WITH R2.7 GOLD WALL INSULATION BATTs TO BE INSTALLED.
  - FIRE RESISTANT MINERAL FIRE BLANKET TO BE INSTALLED DIRECTLY ABOVE PARTY WALL TO UNDERSIDE OF ROOFING IN ACCORDANCE WITH THE B.C.A.

### GENERAL NOTES

- |  |   |   |   |
|--|---|---|---|
| <ol style="list-style-type: none"> <li>1   PLANS DOCUMENTED FOR THE EXCLUSIVE USE OF THE NOTED CLIENTS BELOW ONLY &amp; SUBJECT TO COPYRIGHT LAWS.</li> <li>2   ALL DIMENSIONS &amp; INFORMATION WITHIN THESE SET OF PLANS ARE DOCUMENTED WITH DUE CARE.</li> <li>3   ALL DRAWINGS WITHIN THIS SET OF PLANS SHALL BE READ IN CONJUNCTION WITH OTHER CONSULTANTS DRAWINGS, DESIGNS &amp; SPECIFICATIONS &amp; WITH OTHER WRITTEN INSTRUCTIONS ISSUED DURING ESTIMATIONS &amp; CONSTRUCTION WITH SELECTED BUILDER.</li> <li>4   ALL DISCREPANCIES SHALL BE REFERRED TO, IN WRITING TO, JHL BUILDING DESIGNS FOR A DECISION BEFORE PROCEEDING WITH THE WORK.</li> <li>5   ALL DIMENSIONS ARE IN MILLIMETRES UNLESS STATED OTHERWISE. DIMENSIONS ARE TO STRUCTURAL ELEMENTS OF THE DRAWING &amp; NOT TO FINISHED SURFACES IE. TILING, PLASTERBOARD ETC.</li> <li>6   ALL RELEVANT DIMENSIONS ARE TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION &amp; FABRICATION WITH REGARDS TO ONSITE &amp; OFF SITE REQUIREMENTS &amp; WORK.</li> </ol> | <ol style="list-style-type: none"> <li>7   THE RELEVANT SERVICE AUTHORITIES SHALL BE CONSULTED IN REGARDS TO CONFIRMING / CHECKING ALL DIMENSIONS, LEVELS, SERVICES &amp; SITE CONDITIONS PRIOR TO CONSTRUCTION.</li> <li>8   THE RELEVANT STATUTORY AUTHORITIES SHALL BE NOTIFIED &amp; APPROVAL SORT FROM / OBTAINED PRIOR TO CONSTRUCTION, IF &amp; WHEN NECESSARY.</li> <li>9   STUD WALL &amp; TRUSSED ROOF DESIGN, BRACING &amp; TIE DOWN TO SELECTED FRAME &amp; TRUSS MANUFACTURERS ENGINEERED SPECIFICATIONS &amp; TO AS 1684 WHERE APPLICABLE.</li> <li>10   SHALL NO WIND CLASSIFICATION BE NOTED, CLIENT TO BE ADVISED BY PCA OR ENGINEERING CONSULTANT.</li> <li>11   SITE CLASSIFICATION TO BE DETERMINED BY QUALIFIED GEOTECHNICAL ENGINEER &amp; ALL REINFORCED CONCRETE FOOTINGS &amp; SLABS TO BE CONSTRUCTED TO AS2870.</li> <li>12   ALL STORM WATER FROM ROOF TO BE DISPURSED TO REQUIRED DOWNPIPES &amp; TO STREET / RAIN WATER TANK TO AUSTRALIAN STANDARDS &amp; PCA REQUIREMENTS.</li> </ol> | <ol style="list-style-type: none"> <li>13   A MINIMUM WATER ALLOWANCE SHALL BE PROVIDED FOR RURAL PROPERTIES FOR FIRE FIGHTING PURPOSES AS SPECIFIED BY PCA.</li> <li>14   WHERE A SITE REQUIRES CUT &amp; FILL TO OCCUR OR RETAINING WALLS CONSTRUCTED, ENGINEERS SHALL BE CONSULTED WHERE NECESSARY &amp; BUILDING CONTRACTOR TO ENSURE ALL FINAL LEVELS, GROUND LINES &amp; GRADIENTS DIVERT ALL SURFACE STORM WATER FROM THE PROPOSED RESIDENCE EITHER BY MEANS OF PIPES, DETENTION AREAS OR GRADING TO KERB. NEIGHBOURING PROPERTIES MUST BE TAKEN INTO CONSIDERATION WITH THE DESIGN OF THE FLOW OF STORM WATER.</li> <li>15   SEWER DRAINAGE LINES TO BE CONNECTED TO SEWER MAIN OR IN THE CASE OF A RURAL PROPERTY, CONNECTED TO A SEPTIC SYSTEM, IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS &amp; LOCAL PCA.</li> <li>16   A QUALIFIED CONTRACTOR SHALL COMPLETE THE FINAL DRAINAGE LAYOUT TO BE SUBMITTED TO THE LOCAL PCA FOR THEIR RECORDS &amp; APPROVAL.</li> </ol> | <ol style="list-style-type: none"> <li>17   THE HOT WATER SYSTEM IS AS SPECIFIED WITHIN THE BASIX CERTIFICATE &amp; LOCATION NOTED OF FLOOR PLAN.</li> <li>18   TERMITE PROTECTION SHALL BE IN ACCORDANCE WITH AS3660.</li> <li>19   WHERE BRICK VENEER CONSTRUCTION IS SPECIFIED, CONTROL JOINTS FOR ARTICULATION MUST BE PROVIDED AT NOMINAL 6.0M MAX. CENTRES OR TO STRUCTURAL ENGINEERS DETAILS.</li> </ol> |
|--|---|---|---|

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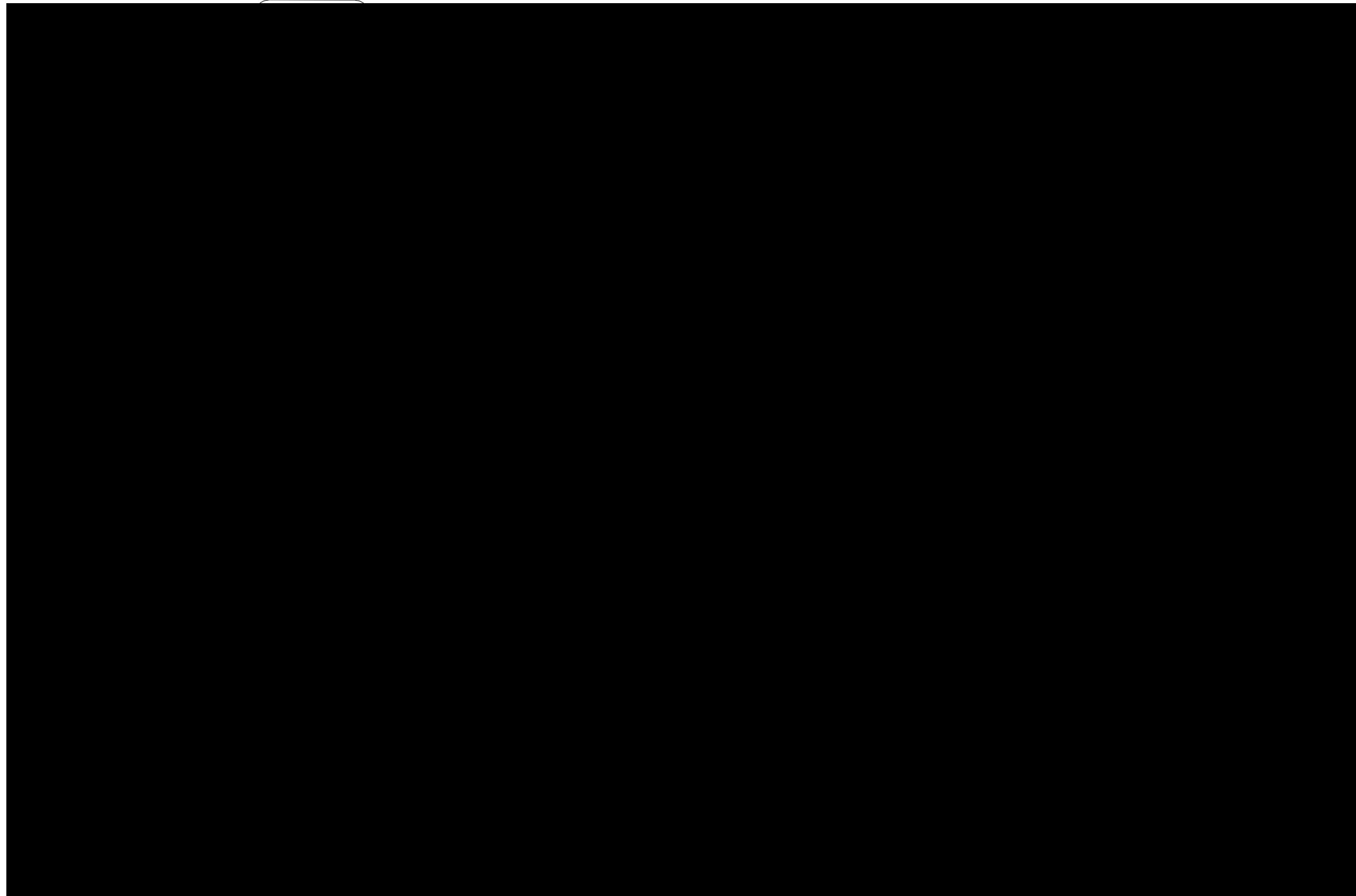
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### TYPICAL SECTION

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DESIGN: LBG	FILE NO: 0465-A08	08 OF 10	C
DRAFTED: J.LYNCH	PAPER SIZE: A3	DRAWING NO:	REV:
CHECKED: A.LYNCH			





ELECTRICAL PLAN

SCALE: NTS

LEGEND

X 300	SINGLE POWER POINT (DISTANCE ABOVE F.F.L.)	(2)
XX 300	DOUBLE POWER POINT (DISTANCE ABOVE F.F.L.)	(13)
—	FLUORESCENT LIGHTS - SINGLE	(2)
○	DOWN LIGHT	(18)
□	EXTERNAL WALL LIGHT	(-)
⊗	SENSOR LIGHT	(1)
⊗	STANDARD BATTEN	(4)
⊗	TASTIC LIGHT - 4 LIGHT	(1)
⊗	TASTIC LIGHT - 2 LIGHT	(1)
TV	TELEVISION OUTLET	(1)
NBN	NBN OUTLET LOCATION	(1)
-	LIGHT SWITCH LOCATION	(-)
P	PENDANT LIGHT	(-)
0XX	EXTERNAL DOUBLE POWER POINT	(2)
⊗	CEILING FAN - WITH LIGHT	(-)

ELECTRICAL NOTES

- 1 | ALL ELECTRICAL WORK SHALL BE CARRIED OUT BY A LICENSED CONTRACTOR. ALL WORK SHALL BE IN ACCORDANCE WITH AS/NZ3012 & ALL LINENSING REQUIREMENTS.
- 2 | THE SELECTION OF FITTINGS AND THE LAYOUT TO BE CARRIED OUT BY THE BUILDER & DESIGNED TO THE CLIENT'S REQUIREMENTS.
- 3 | ALL APPROVED SMOKE ALARMS / DETECTORS TO BE INSTALLED TO AS3786 BY A LICENSED CONTRACTOR.

LEGEND

□	OUTDOOR AIR CONDITIONER UNIT
—	ZONES
●	SUPPLY AIR GRILLS
□	RETURN AIR GRILLS
■	AIR CONDITIONER UNIT IN ROOF SPACE
—	AIR CONDITIONER CONTROL PANEL
■	INDOOR WALL MOUNTED SPLIT SYSTEM

MECHANICAL NOTES

- 1 | ALL MECHANICAL WORKS REGARDING AIR CONDITIONING SHALL BE CARRIED OUT BY A LICENSED CONTRACTOR. ALL WORK SHALL BE IN ACCORDANCE WITH AS STANDARDS & ALL LINENSING REQUIREMENTS.
- 2 | THE SELECTION OF FITTINGS AND THE LAYOUT TO BE CONFIRMED BY THE BUILDER & DESIGNED TO THE CLIENT'S REQUIREMENTS.
- 3 | GENERAL LAYOUT OF SUPPLY AIR GRILLS ETC IS TO BE VIEWED AS AN EXAMPLE ONLY & CAN CHANGE THROUGHOUT INSTALLATION

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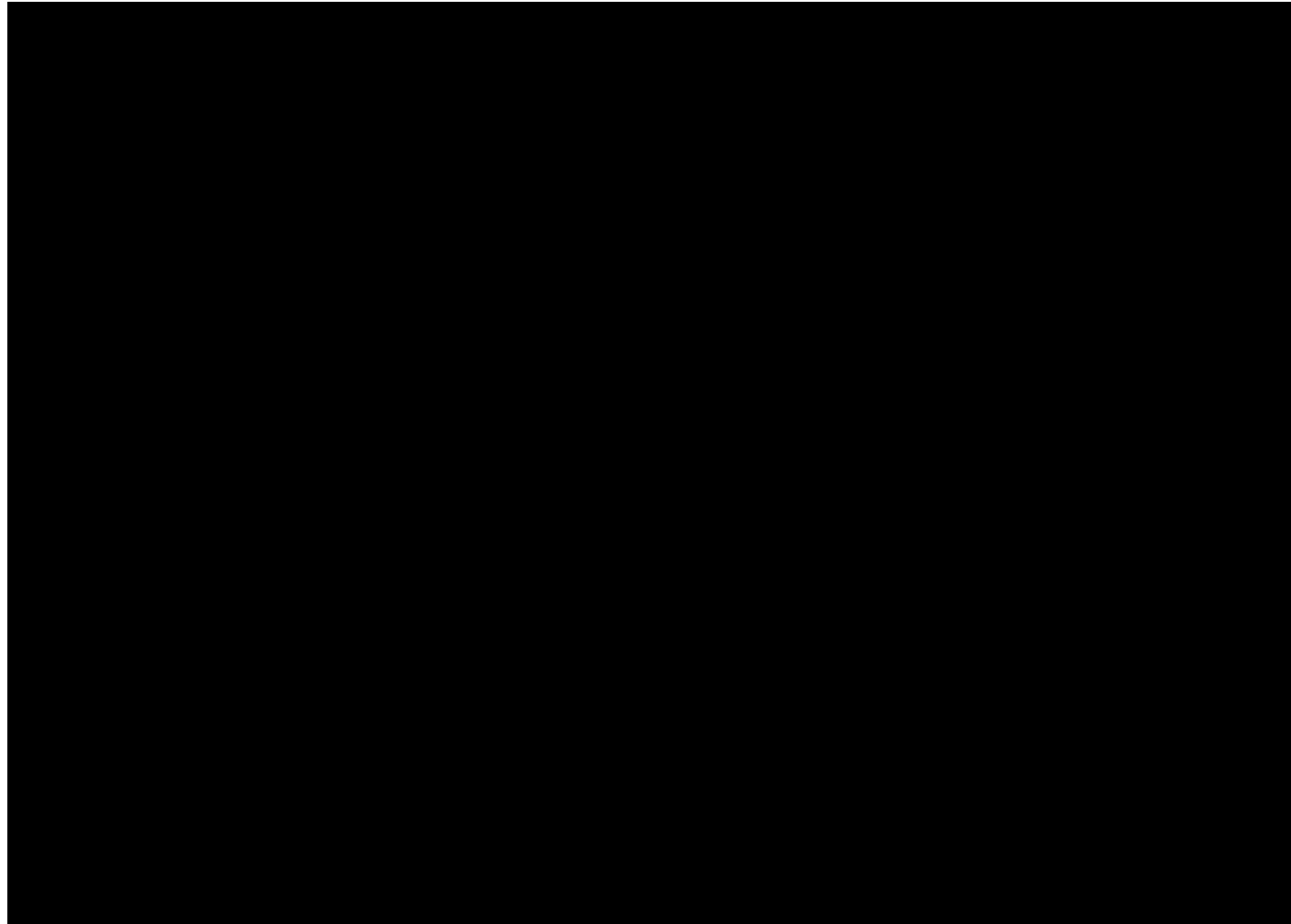


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ELECTRICAL & MECHANICAL PLANS - DWELLING ONE

DRAWING TITLE:			
DESIGN: LBG	FILE NO: 0465-A09	09 OF 10	C
DRAFTED: J.LYNCH	PAPER SIZE: A3	DRAWING NO:	REV:
CHECKED: A.LYNCH			



ELECTRICAL PLAN

SCALE: NTS

LEGEND		
X 300	SINGLE POWER POINT (DISTANCE ABOVE F.F.L.)	(2)
XX 300	DOUBLE POWER POINT (DISTANCE ABOVE F.F.L.)	(13)
—	FLUORESCENT LIGHTS - SINGLE	(2)
○	DOWN LIGHT	(22)
□	EXTERNAL WALL LIGHT	(-)
⊗	SENSOR LIGHT	(-)
⊗	STANDARD BATTEN	(5)
⊗	TASTIC LIGHT - 4 LIGHT	(1)
⊗	TASTIC LIGHT - 2 LIGHT	(1)
TV	TELEVISION OUTLET	(1)
NBN	NBN OUTLET LOCATION	(1)
-	LIGHT SWITCH LOCATION	(-)
P	PENDANT LIGHT	(-)
OX	EXTERNAL DOUBLE POWER POINT	(2)
⊗	CEILING FAN - WITH LIGHT	(-)

ELECTRICAL NOTES	
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LEGEND	
□	OUTDOOR AIR CONDITIONER UNIT
—	ZONES
●	SUPPLY AIR GRILLS
□	RETURN AIR GRILLS
■	AIR CONDITIONER UNIT IN ROOF SPACE
—	AIR CONDITIONER CONTROL PANEL
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