

PROPOSED AREA OF WORKS
3 BUTLER CIRCLE, BOMBIRA
LOT 6 - DP1227585



01 LOCALITY PLAN

NOT TO SCALE



GENERAL NOTES:

- FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS UNLESS OTHERWISE STATED. ALL DIMENSIONS ARE NOMINAL IE. DIMENSIONS ARE TO STRUCTURAL ELEMENTS AND DO NOT INCLUDE FINISHED SURFACES SUCH AS PLASTERBOARD, TILING ETC. ALL DIMENSIONS RELEVANT TO SETTING OUT & OFF-SITE WORK SHALL BE VERIFIED BY THE CONTRACTOR BEFORE CONSTRUCTION & FABRICATION.
- ALL DISCREPANCIES SHALL BE REFERRED TO 'ON POINT BUILDING DESIGN' FOR A DECISION BEFORE PROCEEDING WITH THE WORK
- WORKMANSHIP & MATERIALS ARE TO BE IN ACCORDANCE WITH THE RELEVANT CURRENT S.A.A CODES INCLUDING ALL AMENDMENTS, THE 'BUILDING CODE OF AUSTRALIA - VOLUME 2, 2019 '; POLICY REQUIREMENTS OF 'MID WESTERN REGIONAL COUNCIL';
- ALL DIMENSIONS ARE IN MILLIMETRES UNLESS STATED OTHERWISE & LEVELS ARE EXPRESSED IN METRES.
- ALL LEVELS, DIMENSIONS, SITE CONDITIONS & SERVICES, TO BE CHECKED & CONFIRMED ON SITE & WITH RELEVANT SERVICE AUTHORITIES, PRIOR TO CONSTRUCTION.
- THE RELEVANT STATUTORY AUTHORITIES SHALL BE NOTIFIED IN ADVANCE & THEIR APPROVALS OR SERVICES, IF NECESSARY SHALL BE OBTAINED.

CONSTRUCTION NOTES:

- ALL INTERNAL WALLS U.N.O TO BE 90mm TIMBER STUD FRAMED LINED WITH V-JOINT PINE LINING BOARDS INTERNALLY & 10mm 'GYPROCK - AQUACHEK PLASTERBOARD' OR VILLABOARD TO WET AREAS.
- WET AREAS OF THE BUILDING IE. NEW BATHROOMS ARE TO BE PROTECTED BY THE INSTALLATION OF A WATER PROOFING SYSTEM COMPLYING WITH AS3740 - "WATERPROOFING OF WET AREAS".
- WALL FRAME BRACING, ROOF BRACING, & ALL 'TIE DOWN' FIXING DETAILS TO BE AS SPECIFIED & DETAILED BY TRUSS/FRAME MANUFACTURER.
- ROOF WATER TO BE COLLECTED BY EAVES GUTTER & DISCHARGED TO DOWNPIPES THRU SUBSOIL PVC PIPES TO TANKS POSITIONED BY CLIENT, OVERFLOW TO BE DETERMINED ON SITE.
- WATER TEMPERATURE TO ALL OUTLETS (EXCEPT LAUNDRY & KITCHEN) NOT TO EXCEED 50°C.
- THE BUILDING IS TO BE PROTECTED AGAINST SUBTERRANEAN TERMITES, IN ACCORDANCE WITH 'AS. 3660'. A DURABLE NOTICE MUST BE PERMANENTLY FIXED TO THE BUILDING IN A PROMINENT POSITION SHOWING METHOD OF RISK MANAGEMENT, DATE OF INSTALLATION & INSTALLERS OR MANUFACTURER'S RECOMMENDATIONS FOR THE SCOPE & FREQUENCY OF FUTURE INSPECTIONS FOR TERMITE ACTIVITY.
- ALL PLUMBING WORKS ARE TO BE IN ACCORDANCE WITH THE PLUMBING CODE OF AUSTRALIA (PCA), THE NEW SOUTH WALES CODE OF PRACTICE FOR PLUMBING & DRAINAGE 2006 (NSW PLUMBING CODE) & AS/NZS3500.

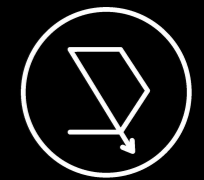
PROPOSED GRANNY FLAT

3 BUTLER CIRCLE

BOMBIRA NSW

DRAWING SCHEDULE

1241-A 01	3D PERSPECTIVES, LOCALITY PLAN & NOTES
1241-A 02	SITE PLAN
1241-A 03	FLOOR LAYOUT
1241-A 04	ELEVATIONS 1/2
1241-A 05	ELEVATIONS 2/2
1241-A 06	TYPICAL SECTION & BASIX COMMITMENTS
1241-A 07	CONSTRUCTION DETAILS
1241-A 08	SAFE DESIGN OF STRUCTURES NOTES



On Point
BUILDING DESIGN

CONTACT DETAILS

Gabrielle Hackett
M. 0437 762 740
E. gabrielle@onpointbuildingdesign.com.au
A. 17 Church Street, Mudgee NSW 2850

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Client:

KELSEY & BLAKE DYER

Project:

**PROPOSED GRANNY FLAT
AT 3 BUTLER CIRCLE,
BOMBIRA**

Drawing Title:

**3D PERSPECTIVES, LOCALITY
PLAN & NOTES**

Rev	Date	Amendment
A	11/05/21	PRELIMINARY DRAWINGS
B	16/06/21	PRELIMINARY DRAWINGS
C	23/06/21	PRELIMINARY DRAWINGS
D	6/07/21	ISSUED FOR DACC APPROVAL
E	9/11/21	RE-ISSUED FOR DACC APPROVAL



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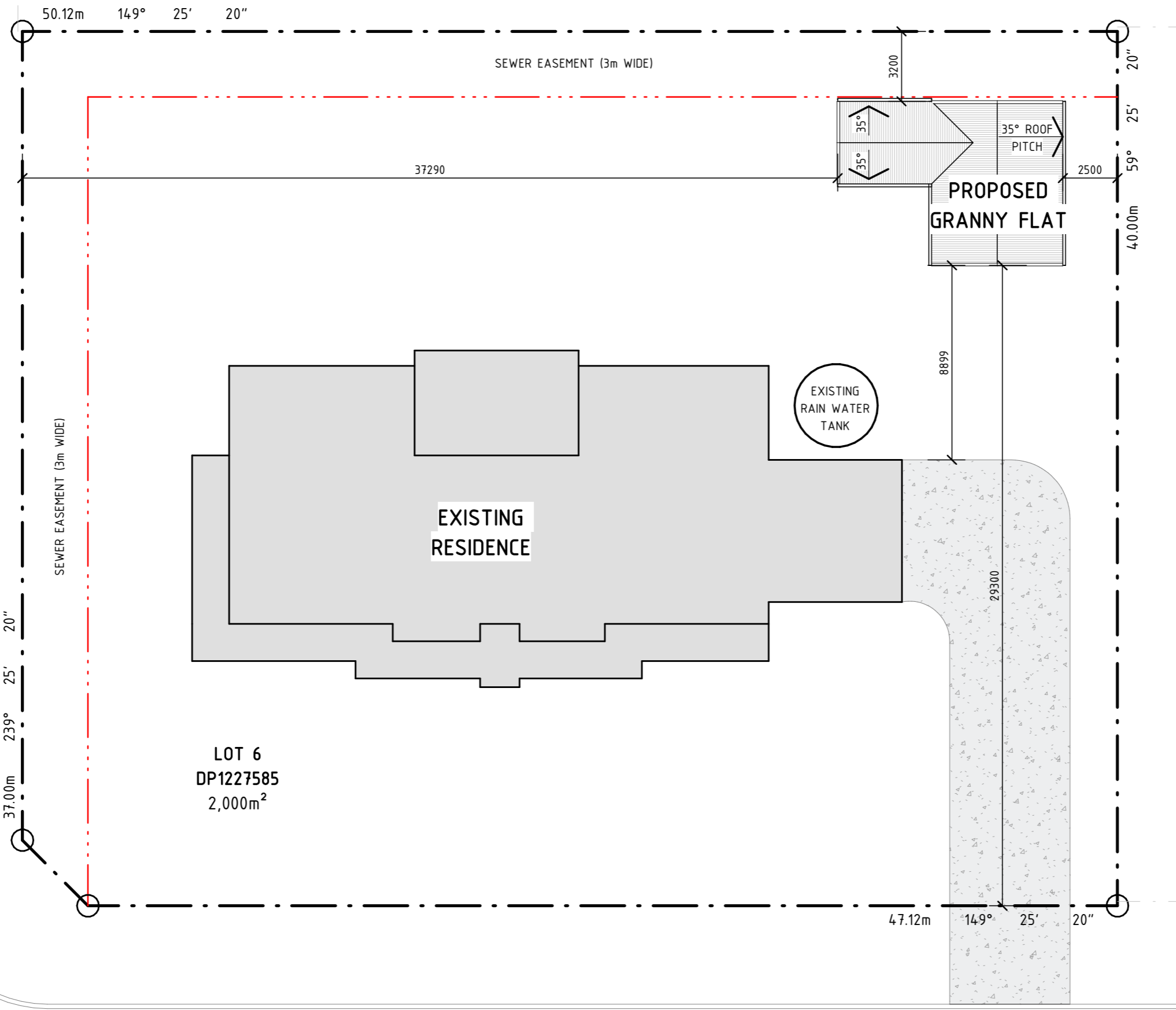
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RE-ISSUED FOR DACC APPROVAL

BUTLER CIRCLE



LOT 6
DP1227585
2,000m²

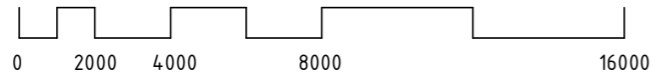
EXISTING
RESIDENCE

EXISTING
RAIN WATER
TANK

PROPOSED
GRANNY FLAT

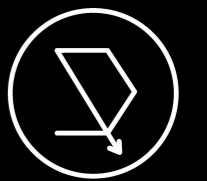
35° ROOF
PITCH

02 | SITE LAYOUT
SCALE: 1 : 200 (A3)



BUTLER CIRCLE

RE-ISSUED FOR DACC APPROVAL



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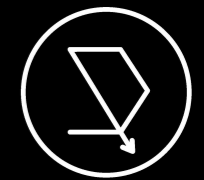
Client:
KELSEY & BLAKE DYER
Project:
PROPOSED GRANNY FLAT
AT 3 BUTLER CIRCLE,
BOMBIRA

Drawing Title:
SITE PLAN

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Job Number
1241 - A02
Revision
E
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Gabrielle Hackett
M. 0437 762 740
E. gabrielle@onpointbuildingdesign.com.au
A. 17 Church Street, Mudgee NSW 2850

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Client:

KELSEY & BLAKE DYER

Project:

PROPOSED GRANNY FLAT
AT 3 BUTLER CIRCLE,
BOMBIRA

Drawing Title:

FLOOR LAYOUT

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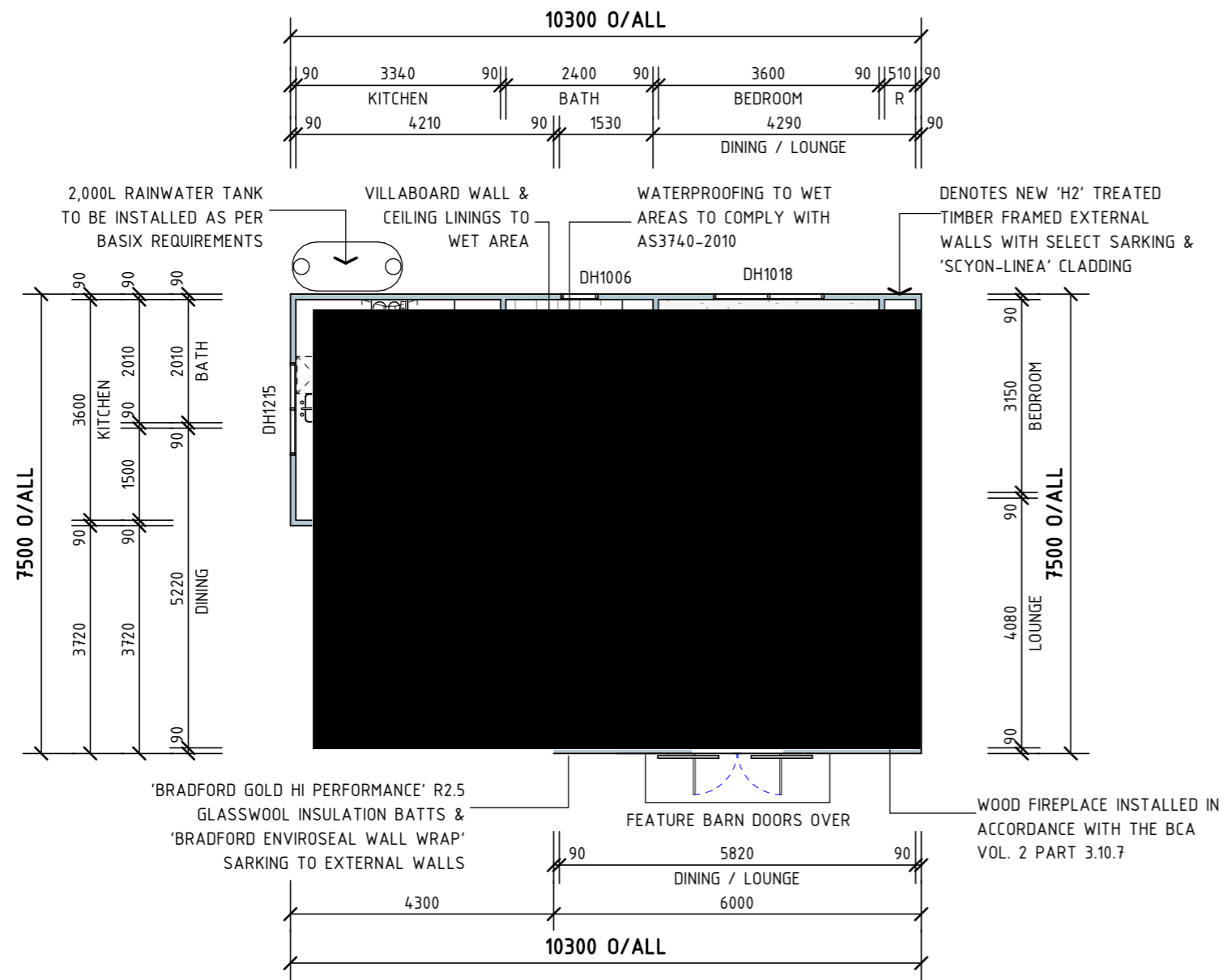


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03 FLOOR LAYOUT
SCALE: 1 : 100 (A3)



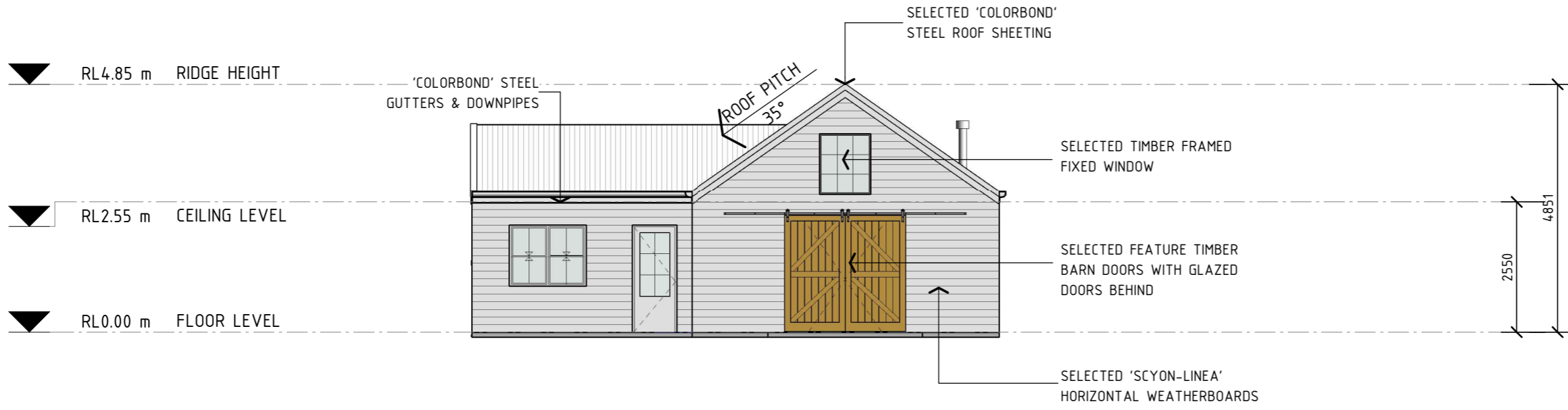
FLOOR AREAS

LIVING	60 m ²
TOTAL	60 m ²

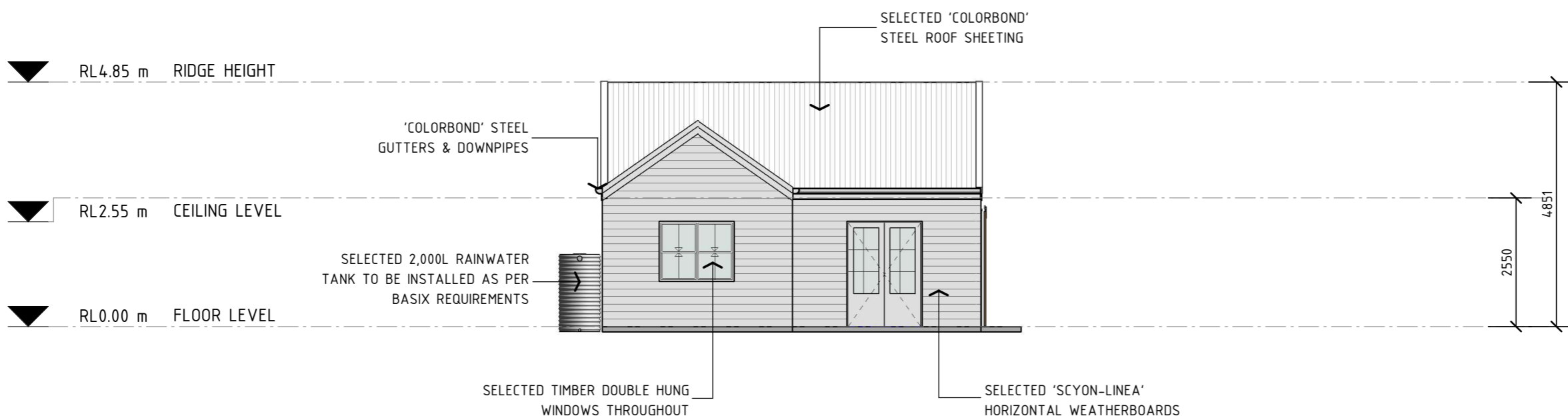
NOTE:

- RAKED CEILING WITH EXPOSED RAFTERS & RIDGE BEAM TO KITCHEN & LIVING
- BEDROOM AND BATHROOM TO HAVE STANDARD 2550mm FLAT CEILINGS

RE-ISSUED FOR DACC APPROVAL



05 ELEVATION: SOUTH FACADE
 SCALE: 1 : 100 (A3)



06 ELEVATION: WEST FACADE
 SCALE: 1 : 100 (A3)

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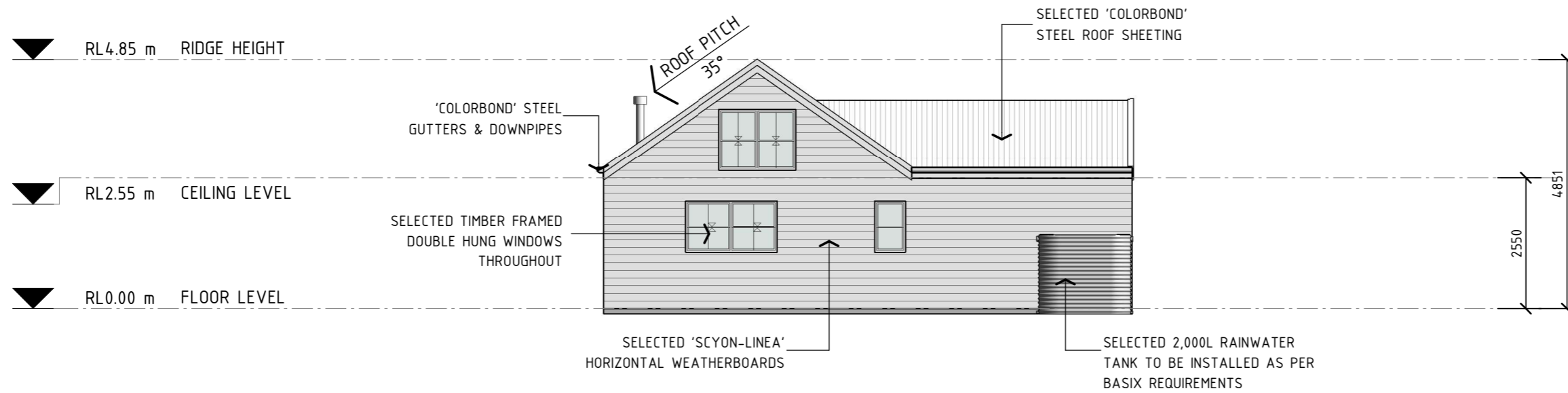
Client:
KELSEY & BLAKE DYER

Project:
PROPOSED GRANNY FLAT AT 3 BUTLER CIRCLE, BOMBIRA

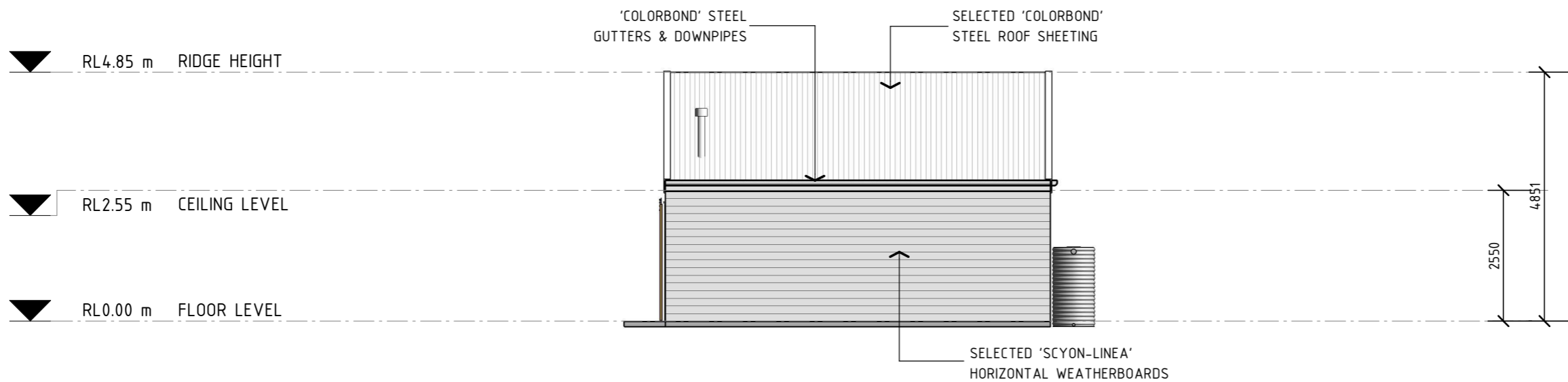
Drawing Title:
ELEVATIONS 1/2

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07 | ELEVATION: NORTH FACADE
SCALE: 1 : 100 (A3)



08 | ELEVATION: EAST FACADE
SCALE: 1 : 100 (A3)

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KELSEY & BLAKE DYER

Project:

**PROPOSED GRANNY FLAT
AT 3 BUTLER CIRCLE,
BOMBIRA**

Drawing Title:

ELEVATIONS 2/2

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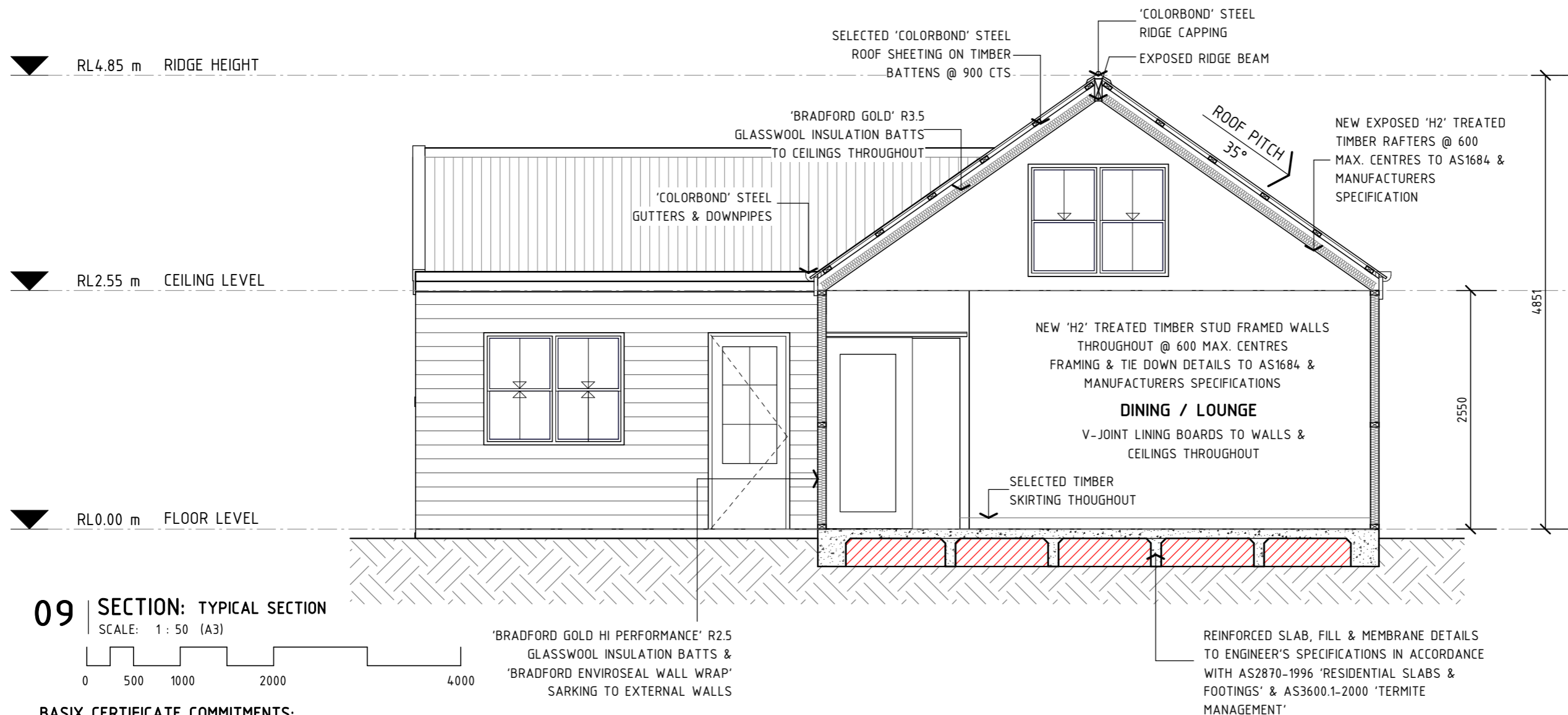


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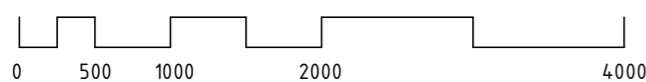
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09 SECTION: TYPICAL SECTION
SCALE: 1 : 50 (A3)



'BRADFORD GOLD HI PERFORMANCE' R2.5
GLASSWOOL INSULATION BATTS &
'BRADFORD ENVIROSEAL WALL WRAP'
SARKING TO EXTERNAL WALLS

REINFORCED SLAB, FILL & MEMBRANE DETAILS
TO ENGINEER'S SPECIFICATIONS IN ACCORDANCE
WITH AS2870-1996 'RESIDENTIAL SLABS &
FOOTINGS' & AS3600.1-2000 'TERMITE
MANAGEMENT'

BASIX CERTIFICATE COMMITMENTS:

WATER COMMITMENTS

THE APPLICANT MUST COMPLY WITH THE COMMITMENTS LISTED BELOW IN CARRYING OUT THE DEVELOPMENT OF THE DWELLING.

- FIXTURES:**
- THE APPLICANT MUST INSTALL SHOWERHEADS WITH A MIN. RATING OF 4 STAR (>4.5<=6L/min).
 - THE APPLICANT MUST INSTALL TOILET FLUSHING SYSTEMS WITH A MIN. RATING OF 4 STAR.
 - THE APPLICANT MUST INSTALL TAPS WITH A MIN. RATING OF 4 STAR IN THE KITCHEN.
 - THE APPLICANT MUST INSTALL BASIN TAPS WITH A MIN. RATING OF 4 STAR IN EACH BATHROOM.

ALTERNATIVE WATER SOURCE:

- THE APPLICANT MUST INSTALL A RAINWATER TANK OF 2,000 LITRES MIN. TO REGULATORY REQUIREMENTS. TO COLLECT RUNOFF FROM 345m² ROOF AREA MIN.
- THE APPLICANT MUST CONNECT THE RAINWATER TANK TO:
 - THE TOILETS;
 - THE LAUNDRY;
 - AT LEAST ONE OUTDOOR TAP IN THE DEVELOPMENT.

THERMAL COMMITMENTS

THE APPLICANT MUST COMPLY WITH THE COMMITMENTS LISTED BELOW IN CARRYING OUT THE DEVELOPMENT OF THE DWELLING.

FLOOR, WALLS, CEILING/ROOF:

CONSTRUCTION	ADD. INSULATION REQ'D. (R-VALUE)	OTHER SPECIFICATIONS
FLOOR - CONCRETE SLAB ON GROUND	NIL	
EXTERNAL WALL: FRAME (WEATHERBOARD CLAD)	1.00 (OR 1.67 INCLUDING CONSTRUCTION)	
CEILING & ROOF - FLAT	CEILING - 3.25 (UP)	UNVENTILATED
CEILING/PITCHED ROOF	ROOF - FOIL/SARKING	LIGHT (SOLAR ABSORBANCE <0.475)
CEILING & ROOF - RAKED	CEILING - 3.26 (UP)	UNVENTILATED
CEILING/PITCHED ROOF	ROOF - FOIL/SARKING	LIGHT (SOLAR ABSORBANCE <0.475)

ENERGY COMMITMENTS

THE APPLICANT MUST COMPLY WITH THE COMMITMENTS LISTED BELOW IN CARRYING OUT THE DEVELOPMENT OF THE DWELLING.

- HOT WATER:** THE APPLICANT MUST INSTALL A ELECTRIC HEAT PUMP SYSTEM WITH A PERFORMANCE OF 36 TO 40 STC'S

- COOLING SYSTEM:** THE APPLICANT MUST INSTALL IN AT LEAST 1 LIVING AREA: 1 PHASE AIR CONDITIONING (5 STAR)
THE APPLICANT MUST INSTALL IN ALL BEDROOMS: 1 PHASE AIR CONDITIONING (5 STAR)

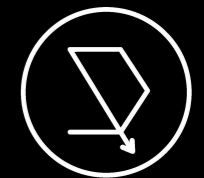
- HEATING SYSTEM:** THE APPLICANT MUST INSTALL IN AT LEAST 1 LIVING AREA: WOOD HEATER
THE APPLICANT MUST INSTALL IN ALL BEDROOMS: 1 PHASE AIR CONDITIONING (5 STAR)

- VENTILATION:** IN AT LEAST 1 BATHROOM: INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF; MANUAL SWITCH ON/OFF
KITCHEN: INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF; MANUAL SWITCH ON/OFF
LAUNDRY: NATURAL VENTILATION ONLY

- ARTIFICIAL LIGHTING:** THE APPLICANT MUST ENSURE THE 'PRIMARY TYPE OF ARTIFICIAL LIGHTING' TO THE FOLLOWING IS FLUORESCENT OR LED LIGHT LIGHTING;
- AT LEAST 1 OF THE BEDROOMS / STUDY
 - AT LEAST 1 OF THE LIVING / DINING ROOMS
 - THE KITCHEN
 - ALL BATHROOMS/TOILETS
 - THE LAUNDRY
 - ALL HALLWAYS

- NATURAL LIGHTING:** THE APPLICANT MUST PROVIDE NATURAL LIGHTING TO THE FOLLOWING;
- AT LEAST 1 BATHROOMS/TOILETS
 - THE KITCHEN

- OTHER:** THE APPLICANT MUST INSTALL AN GAS COOKTOP & ELECTRIC OVEN
THE APPLICANT MUST INSTALL A FIXED OUTDOOR CLOTHES DRYING LINE



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Client:

KELSEY & BLAKE DYER

Project:

**PROPOSED GRANNY FLAT
AT 3 BUTLER CIRCLE,
BOMBIRA**

Drawing Title:

**TYPICAL SECTION & BASIX
COMMITMENTS**

Rev	Date	Amendment
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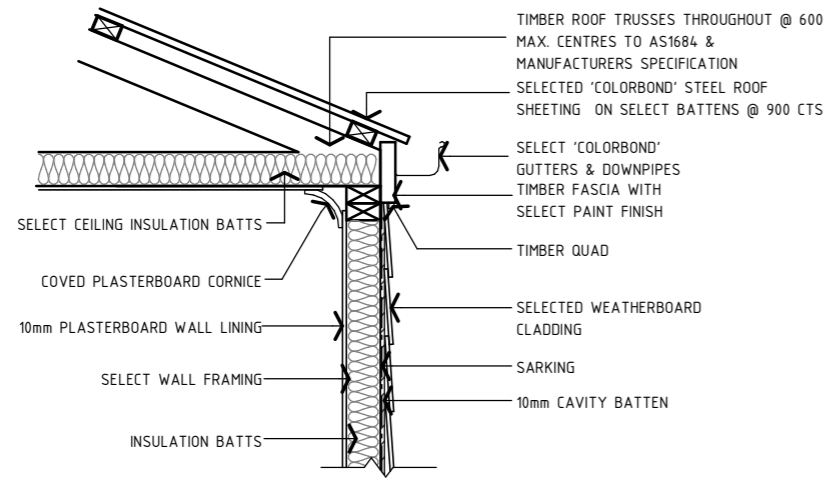
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Job Number Revision

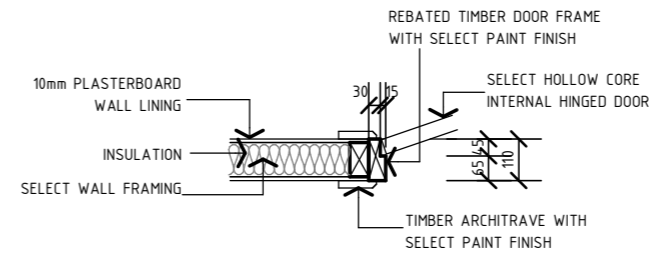
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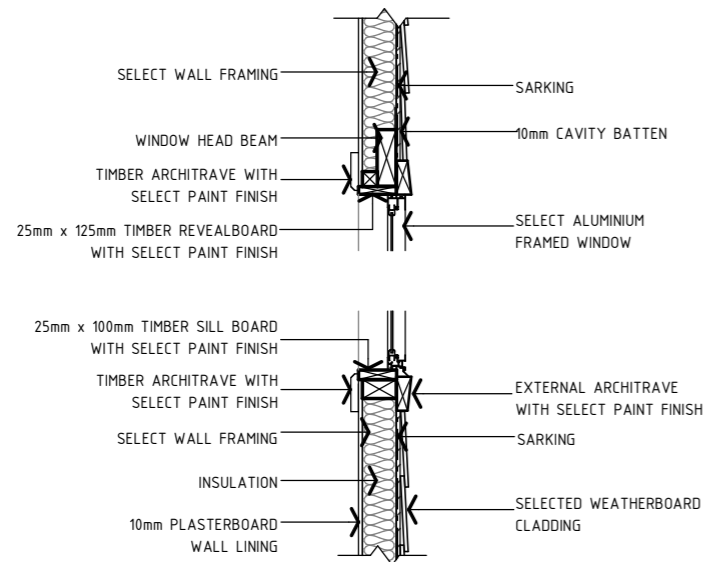
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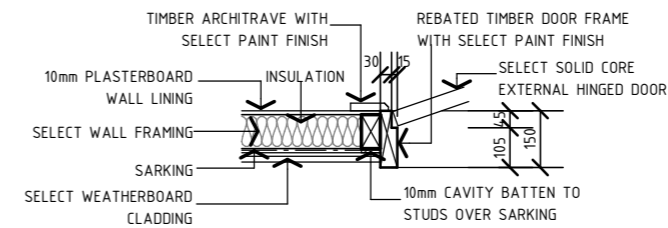
10 | STUD - ZERO EAVE DETAIL
SCALE: 1 : 20 (A3)



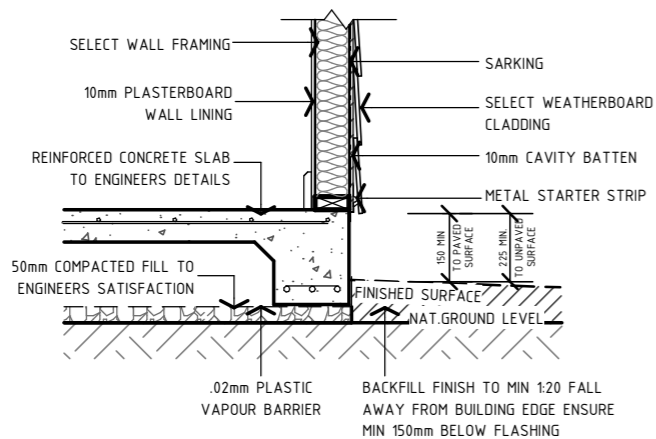
13 | INTERNAL DOOR DETAIL
SCALE: 1 : 20 (A3)



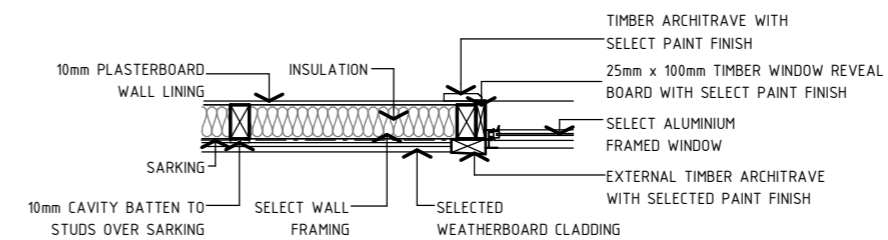
11 | STUD - WINDOW SECTION DETAIL
SCALE: 1 : 20 (A3)



14 | STUD - EXTERNAL DOOR DETAIL
SCALE: 1 : 20 (A3)



12 | STUD - SLAB EDGE DETAIL
SCALE: 1 : 20 (A3)



15 | STUD - WINDOW PLAN DETAIL
SCALE: 1 : 20 (A3)

NOTES:
FOR SLAB DETAILS REFER TO ENGINEERS DESIGN AND SPECIFICATION

THE FOUNDATION SHALL BE TREATED TO PROTECT AGAINST INFESTATION BY TERMITES IN ACCORDANCE WITH AS 3660.1-2000

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KELSEY & BLAKE DYER

Project:

PROPOSED GRANNY FLAT AT 3 BUTLER CIRCLE, BOMBIRA

Drawing Title:

CONSTRUCTION DETAILS

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