

NOTE – BOUNDARY DIMENSIONS PROVIDED BY OTHERS AND ARE TO BE CONFIRMED PRIOR TO CONSTRUCTION



GENERAL NOTE

ALL DIMENSIONS RELEVANT TO SETTING OUT AND OFF-SITE WORK SHALL BE VERIFIED BY THE CONTRACTOR BEFORE CONSTRUCTION AND/OR FABRICATION IS COMMENCED. DRAWINGS SHALL NOT BE SCALED UNLESS SPECIFICALLY NOTED OTHERWISE

WORKMANSHIP AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE RELEVANT CURRENT SAA CODES (INCLUDING ALL AMENDMENTS), AND LOCAL & STATUTORY AUTHORITIES, EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS

ALL FRAMING, TIE-DOWN DETAILS & BRACING TO COMPLY WITH THE FRAME MAKER'S DETAILS & SPECIFICATION & AS 3623 – Domestic Metal Framing Code

HOLD DOWN DETAILS ARE NOT SUITABLE FOR LOOSE SAND OR SOFT TO FIRM CLAY REFER TO STRUCTURAL ENGINEER IF NECESSARY

SAFETY REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE RELEVANT HEALTH AND SAFETY ACT AS ADMINISTERED BY THE DIVISION OF ACCIDENT PREVENTION

ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE

ALL PLANS REMAIN THE PROPERTY OF Taylor Made Buildings Pty Ltd

REV	DATE	DETAILS



2R Gilgandra Road, North Dubbo NSW 2830 Tel 02 6882 6066 Fax 02 6882 0155 Freecall 1800 628 040 Email – admin@taylormadebuildings.com.au

EASTWOOD 8 MOD

LOUGHREY & GARDNER
359 CARRAMAR ROAD
STUBBO NSW

TITLE BLOCK PLAN

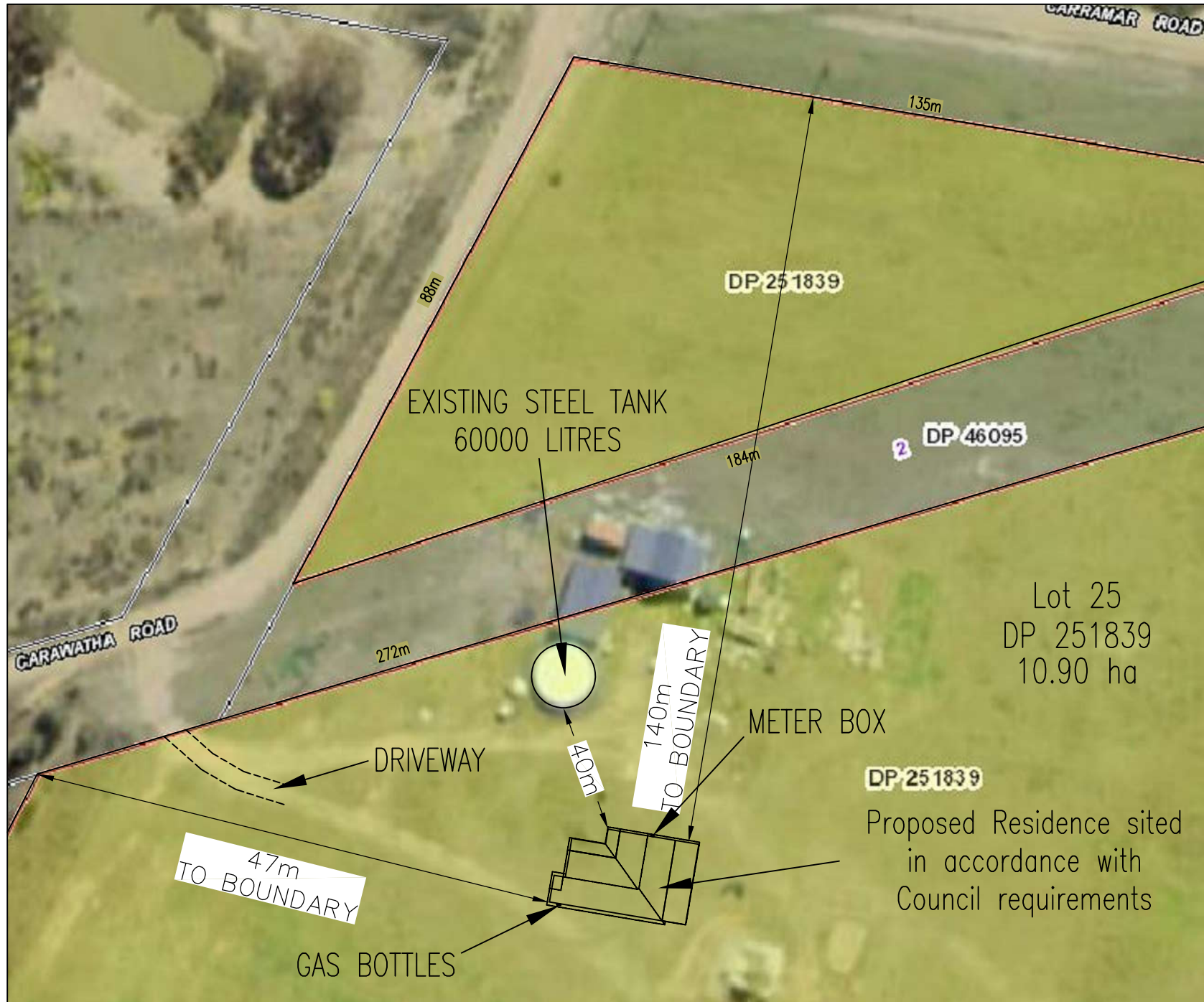
DATE	19.11.21	DRWN	21440
REV	PRE	REF	

BLOCK PLAN
SCALE 1:2500

NOTE:–
SEWER TO RUN TO SEPTIC TANK OR EXISTING SEWAGE SYSTEM ALL IN ACCORDANCE WITH PCA Section C & LOCAL AUTHORITY REQUIREMENTS

STORMWATER TO RUN TO RW TANK AND/OR THE STREET ALL IN ACCORDANCE WITH PCA Section D & LOCAL AUTHORITY REQUIREMENTS

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SITE PLAN
SCALE 1:800

NOTE:-
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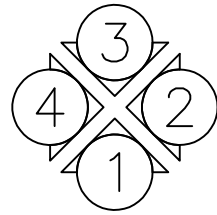
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TITLE SITE PLAN

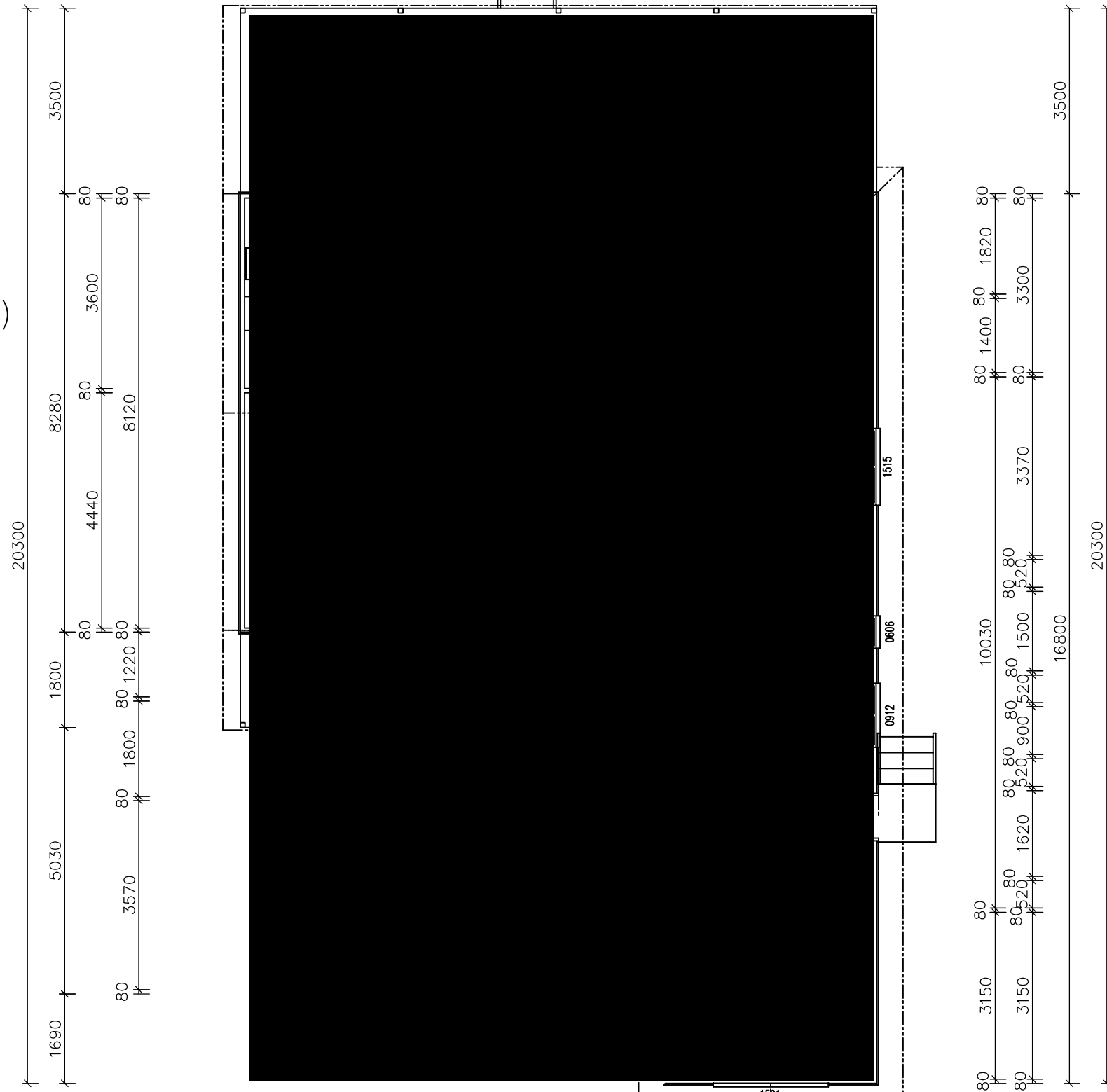
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NOTES:

- Dishwasher Provision
- Laundry Alteration to include Linen Cupboard
- 3.5m wide x 12.000m long Rear Verandah
- 1.8m wide x 9.04m long Front Verandah (Roof and Decking Boards)
- 9kw Split System Air Conditioning (to Living Area)
- Allowance for 3 x Pay TV Outlets

Level site
 No gravel pad need as on top of ridge
 Good access



80	3830	180	3830	180	2080	3230	80
80	2080	80	1740	3940	180	1000	80
80	3830	180	3830	180	1000	950	80
80	3830	180	3830	180	1000	1770	80

80	1940	80	1810	180	1000	80	2080	80	1850	80
80	3830	180	1000	80	2080	80	1850	80		

LIVING	160.83
FRONT VERANDAH	16.27
REAR VERANDAH	42.04
TOTAL	219.14 sq.m (23.59 sq.)

FLOOR PLAN
 SCALE 1:100

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TITLE FLOOR PLAN

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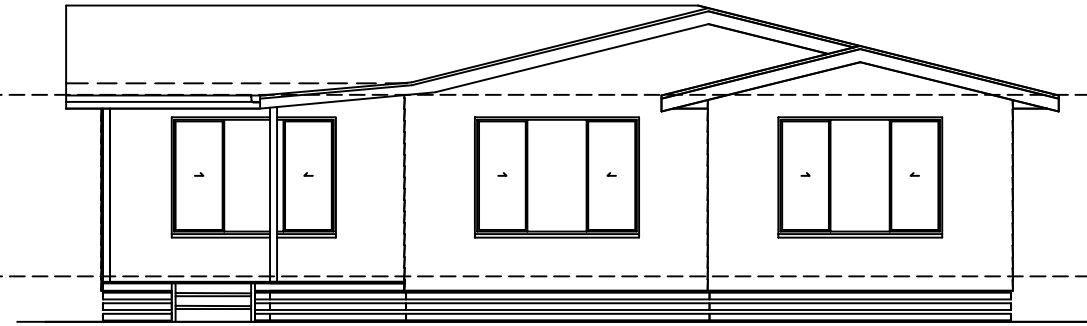
COLORBOND CUSTOM ORB ROOF
14° PITCH

COLORBOND GUTTER

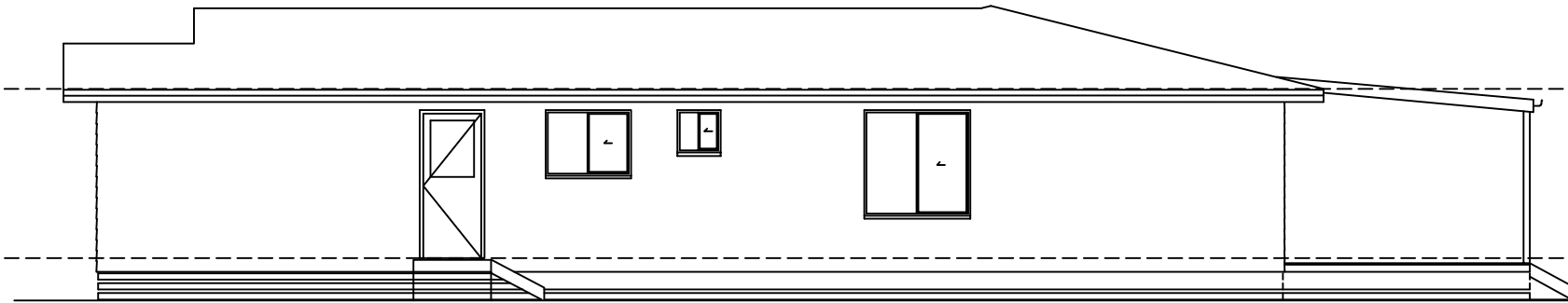
WINDOW WITH FLY SCREENS

FC PLANK CLADDING

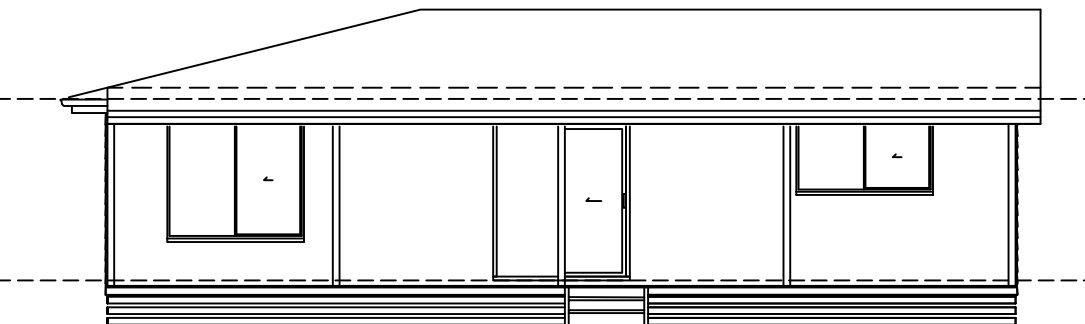
100x25 BASE BOARDS PAINTED



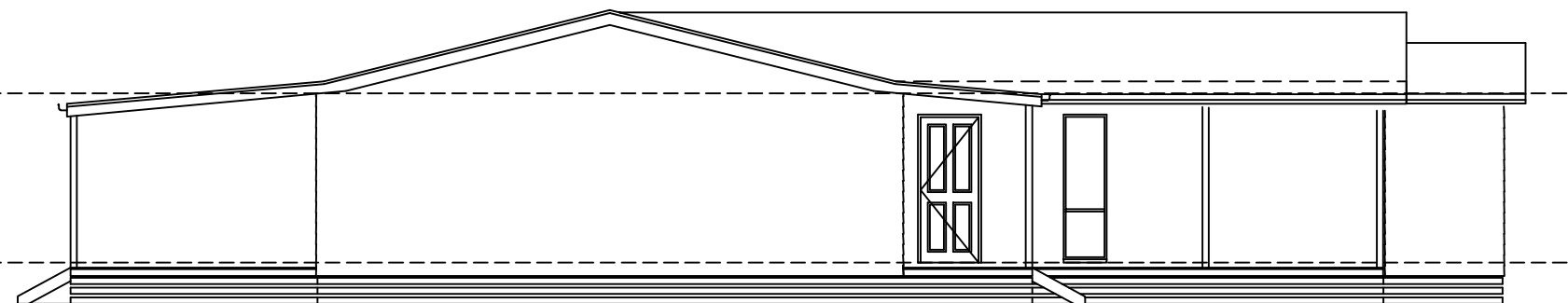
ELEVATION 1



ELEVATION 2



ELEVATION 3



ELEVATION 4

ELEVATIONS
SCALE 1:100

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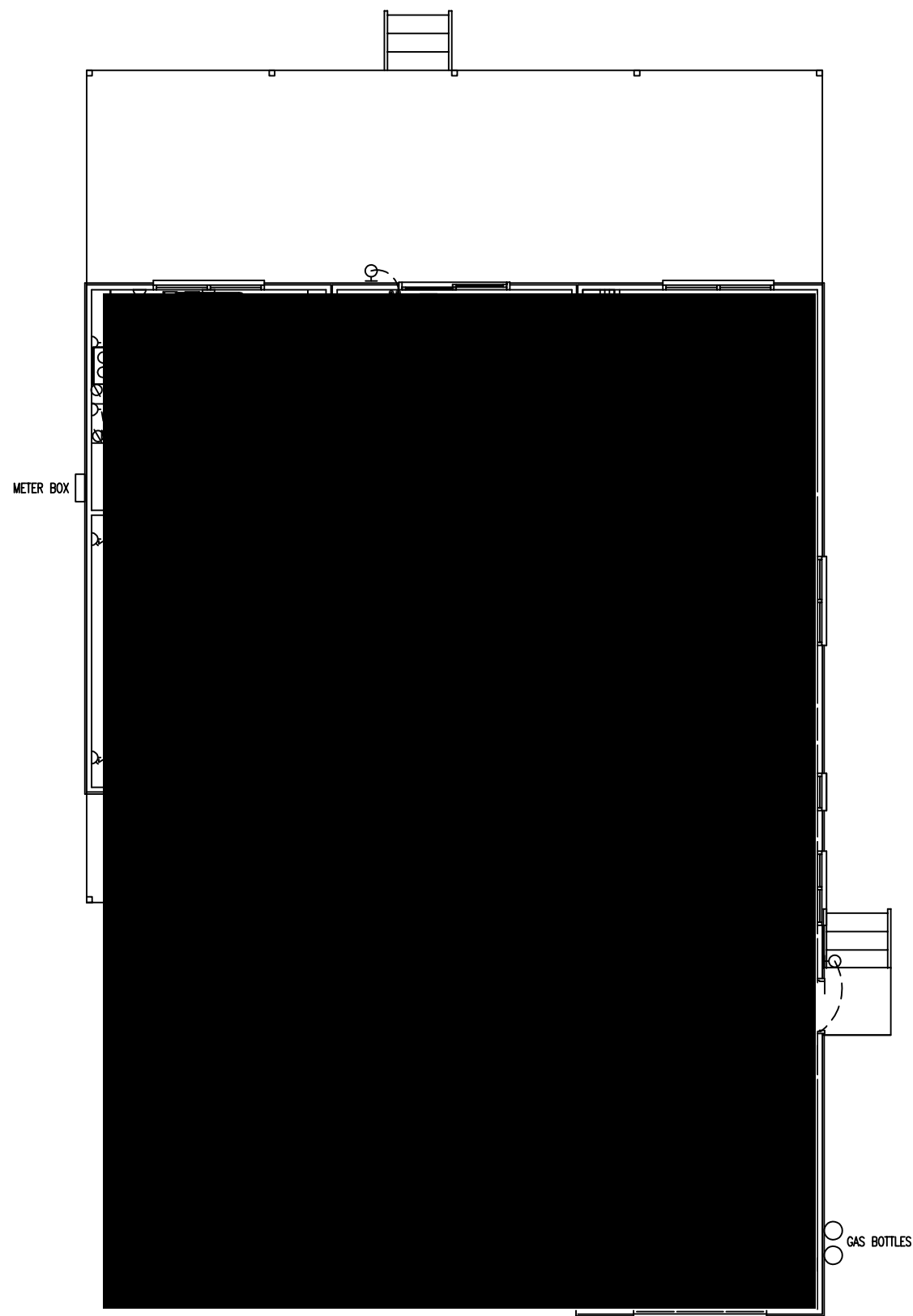
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TITLE ELEVATIONS

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ELECTRICAL LEGEND					
⎓	FLUORESCENT LIGHT	-	↗ 2	LIGHT SWITCHES	22
○	CEILING LIGHT POINT	18	☎	TELEPHONE POINT	-
⊙	WALL LIGHT POINT	3	📺	TELEVISION POINT	3
▷	SINGLE GPO	6	⊕	PERMANENT POWER	2
▷▷	DOUBLE GPO	13	⊗	EXHAUST FAN	2
⊙	SMOKE DETECTOR	2	✂	CEILING FAN WITH LIGHT	-
✂	CEILING FAN	-	○	LED LIGHT	-
⊗	DOWNLIGHT	-	⊗	2 HEAT TASTIC	-



ELECTRICAL LAYOUT
SCALE 1:100

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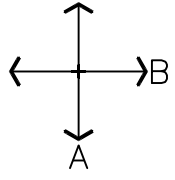
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Steel Frame
Wind Classification N3
Ultimate Limit State Wind Speed
50 m/s

- * BRACING PANELS, MATERIALS & FIXINGS ALL TO BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE DOMESTIC METAL FRAMING CODE-AS3623
- * BRACING TO BE IN ACCORDANCE WITH THE FRAME MAKER'S DETAILS & SPECIFICATIONS
- * THIS DRAWING TO BE READ IN CONJUNCTION WITH THE FRAME MAKER'S WIND-BRACING & TIE-DOWN SCHEDULES

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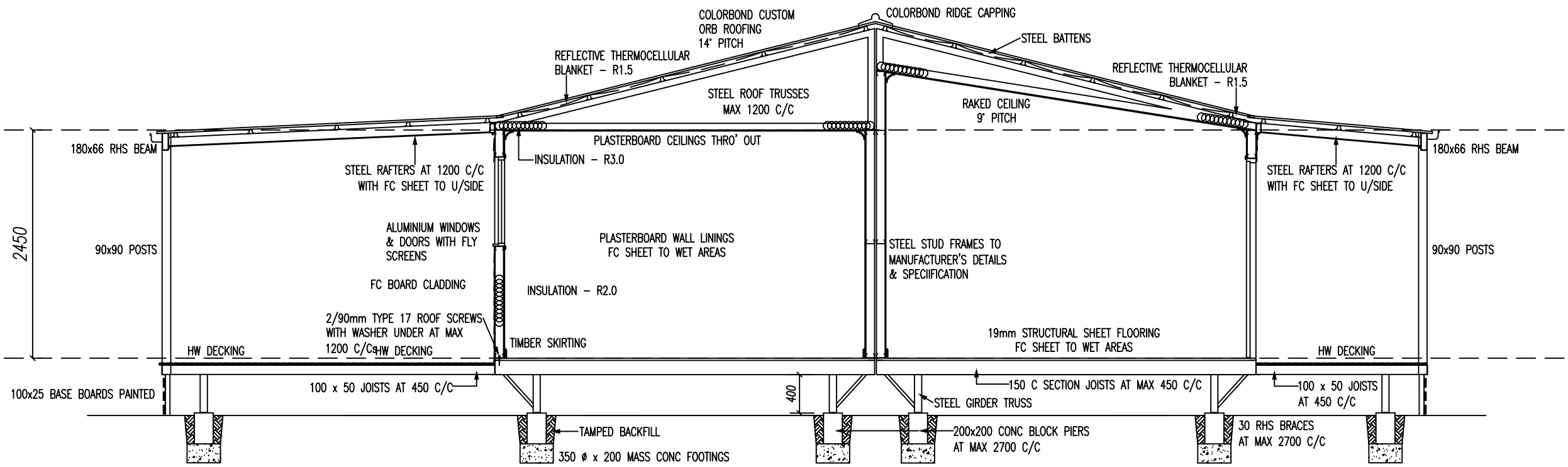
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TITLE TYPICAL SECTION

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TYPICAL SECTION
SCALE 1:50