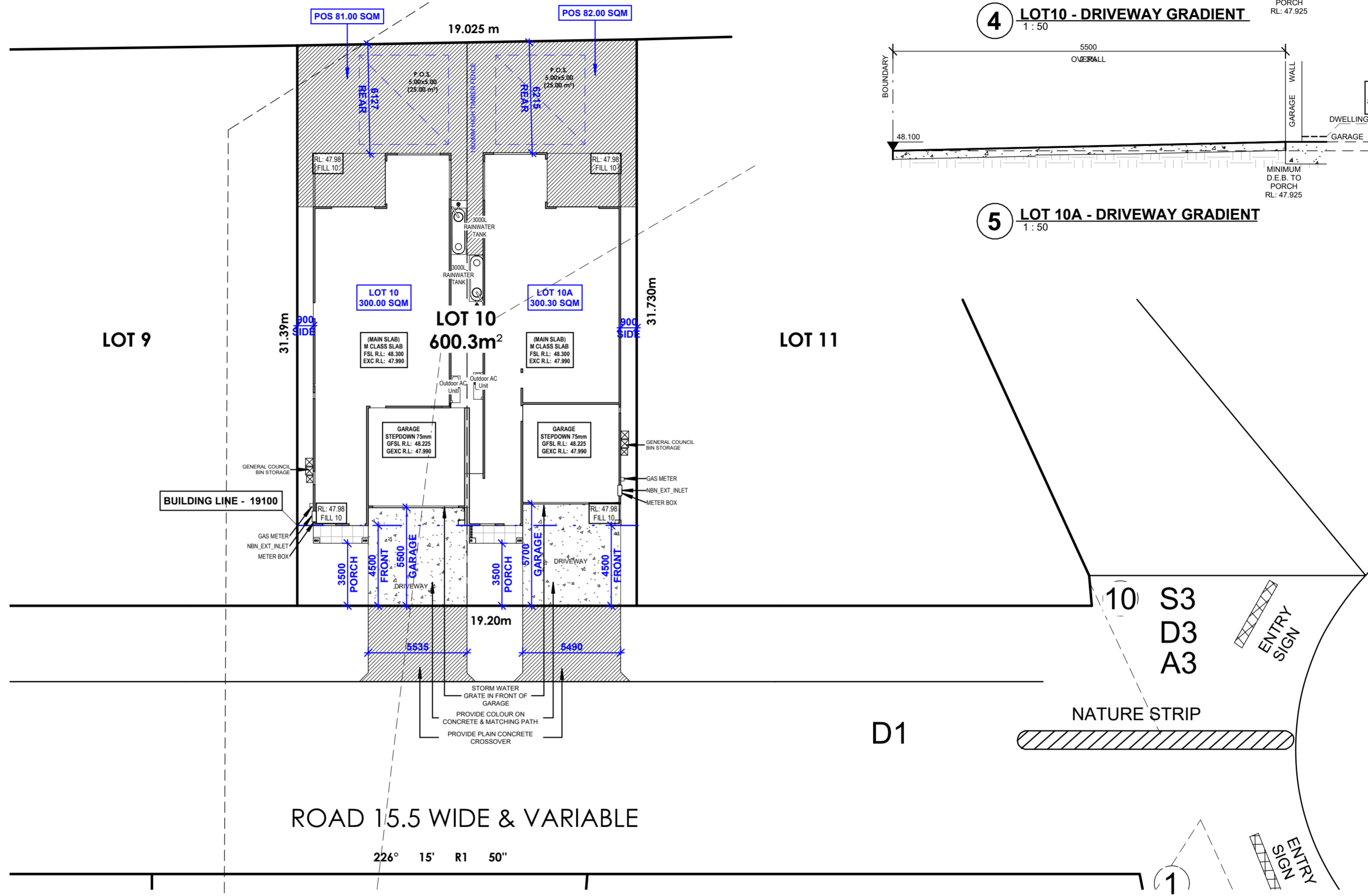
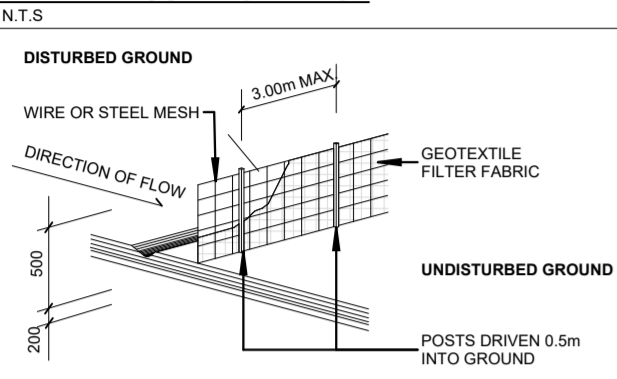


SEDIMENT NOTE

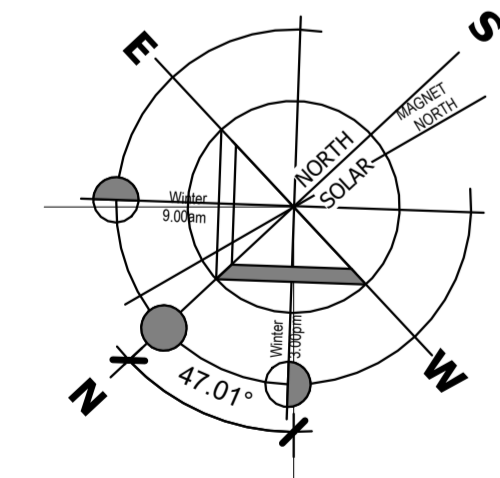
1. NO STOCKPILING OF MATERIALS IS PERMITTED ON THE VERGE BETWEEN KERB & PROPERTY BOUNDARY.
2. NO VEHICLE CROSSING OR STOCKPILING OF MATERIAL ON VEGETATION BUFFER.
3. ALL SEDIMENT RETAINING STRUCTURES TO BE CLEANED ON REACHING 50% STORAGE CAPACITY.
4. ALL EXISTING VEGETATION WILL BE RETAINED OUTSIDE THE CONSTRUCTION SITE.
5. ROOF DRAINAGE IS TO BE CONNECTED TO THE STORMWATER SYSTEM AS SOON AS PRACTICABLE.
6. DEPRESSIONS LEFT IN THE FOOTPATH BY HEAVY TRUCKS ARE TO BE FILLED AS SOON AS POSSIBLE.
7. ONLY ONE EXIT POINT SHOULD BE USED & SHOULD BE CONSTRUCTED SO AS TO PREVENT SOIL REACHING THE ROAD & TO STOP BOGGING.
8. DRAINAGE DITCHES ABOVE & BELOW CUT & FILLED AREAS ARE TO REDUCE EROSION FROM DISTURBED GROUND.

SEDIMENT CONTROL FENCE



- Z - PROPOSED EASEMENT FOR ACCESS 4.5 WIDE
- A1 - EASEMENT FOR ACCESS VARIABLE WIDTH (DP 1143747)
- A3 - EASEMENT FOR ACCESS VARIABLE WIDTH, 8 AND 5 WIDE (DP 1165146)
- D1 - EASEMENT FOR ACCESS 8 WIDE (DP 1164977)
- D3 - EASEMENT FOR ACCESS VARIABLE WIDTH, 4.965, 5 AND 8 WIDE (DP 1165146)
- P1 - POSITIVE COVENANT (DP 1143747)
- R1 - RESTRICTIONS ON THE USE OF LAND (DP1143747)

SITE PLAN



WIND CLASSIFICATION: "M"

SLAB CLASSIFICATION: "M"

PROPERTY DESCRIPTION

LOT: 10

D.P.: 1165146

L.G.A.: MID-WESTERN REGIONAL

DA COUNCIL APPROVAL

COUNCIL DEVELOPMENT APPROVAL PROCESS REQUIRED. REFER TO COUNCIL REGULATIONS FOR FURTHER DETAILS.

FLOOR SPACE RATIO (FSR)

* Areas are measured from the internal face of external walls and excludes First floor, Voids, Stairs, Lifts, required car spacing to Australian Standards, Balconies with walls less than 1.4m high (Refer to the LEP or DCP for further details).

TOTAL SITE AREA:	600.30
SITE AREA:	LOT 10 300.00 LOT 10A 300.30
GROUND FLOOR:	118.12 113.49
FIRST FLOOR:	78.85 79.37
TOTAL GROSS FLOOR AREA:	0.00 0.00
PROPOSED FSR:	0.00% 0.00%
ALLOWED FSR:	0% 0%

SITE COVERAGE AREA

GROUND FLOOR AREA:	118.12	113.49
GARAGE AREA:	30.94	30.69
PROPOSED SITE COVERAGE:	49.80%	47.90%
MAX SITE COVERAGE:	50%	50%

LANDSCAPE

TOTAL HARDSTAND AREA:	---	---
DRIVEWAY AREA:	18.00	20.00
LESS THAN 1m:	0.00	0.00
PORCH/VERANDAH AREA:	1.20	2.57
ALFRESCO AREA:	26.15	26.15
REMAINING SOFT LANDSCAPE AREA:	---	---
PROPOSED LANDSCAPE AREA:	---	---
MIN. REQUIRED BY COUNCIL:	0%	0%

PRIVATE OPEN SPACE

PRINCIPLE PRIVATE OPEN SPACE:	25.00	25.00
PRIVATE OPEN SPACE:	81.00	82.00
MIN. ALLOWABLE BY COUNCIL:	80.00	80.00
MIN. ALLOWABLE BY COUNCIL:	0.00%	0.00%

PRIVATE OPEN SPACE

PRINCIPAL PRIVATE OPEN SPACE

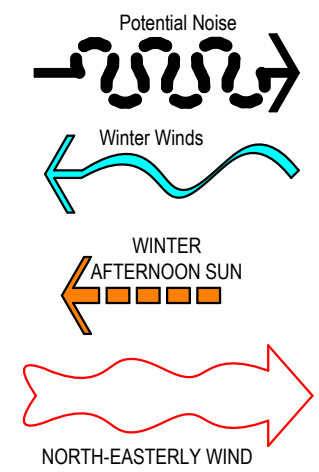
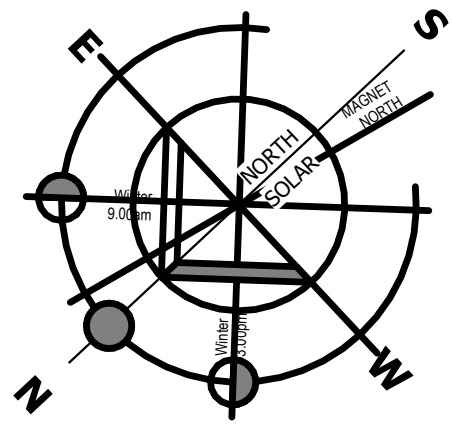
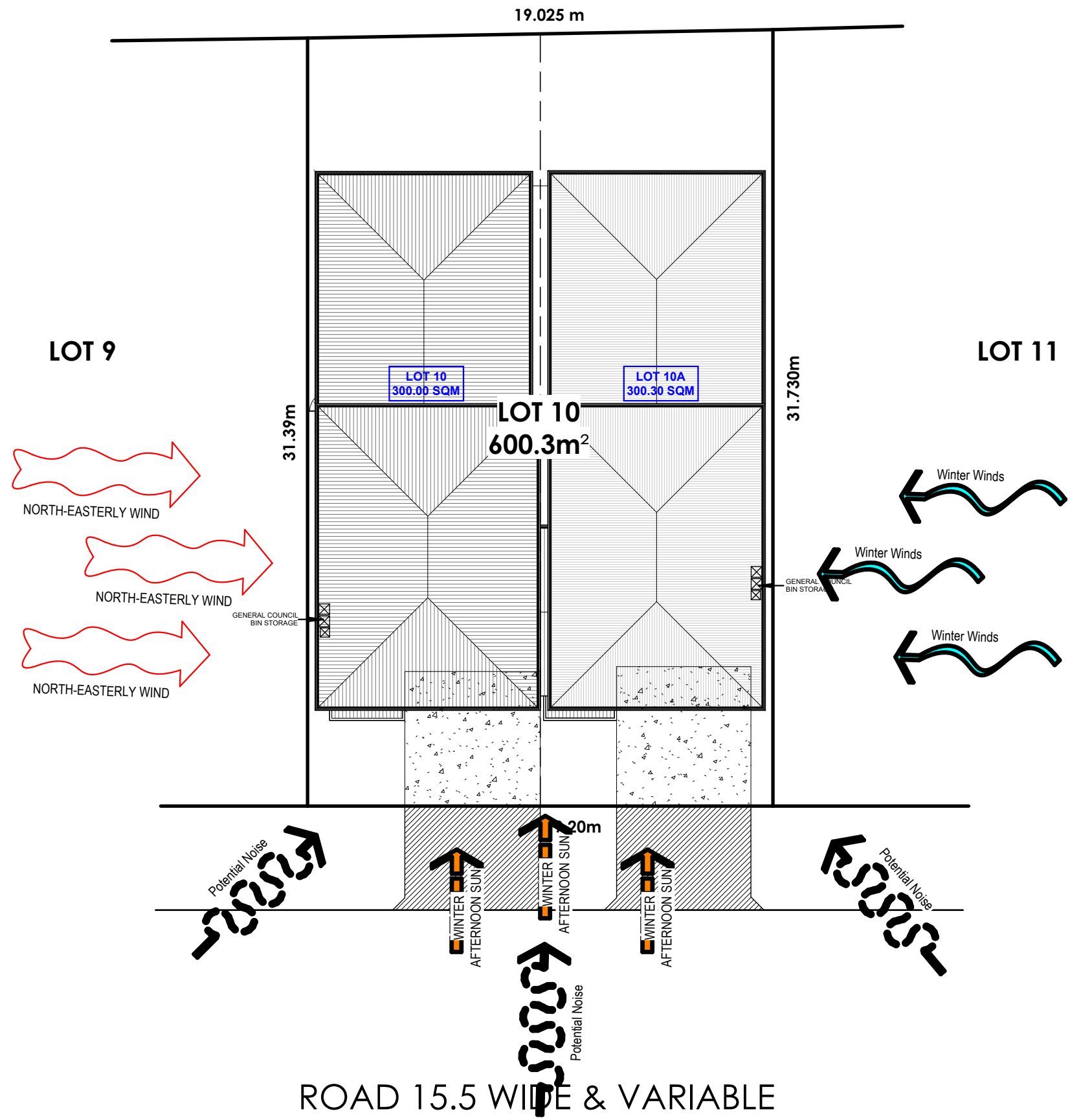
Area Schedule (Gross Building)

Name	Areas
LOT 10 - GROSS BUILDING AREA	
ALFRESCO	12.09 m ²
GARAGE	30.94 m ²
FIRST FLOOR	78.85 m ²
BALCONY	8.74 m ²
PORCH	3.07 m ²
GROUND FLOOR	118.12 m ²
LOT 10 - GROSS BUILDING AREA: 6	251.81 m ²
LOT 10A - GROSS BUILDING AREA	
GARAGE	30.69 m ²
PORCH	3.12 m ²
GROUND FLOOR	113.73 m ²
FIRST FLOOR	79.37 m ²
BALCONY	8.21 m ²
LOT 10A - GROSS BUILDING AREA: 6	247.48 m ²

MID WESTERN COUNCIL DCP

DA PLANS

<p>Revised</p> <table border="1"> <tr> <th>Rev</th> <th>Revised</th> <th>By</th> <th>Date</th> </tr> <tr> <td>P1</td> <td>PRELIMINARY PLANS</td> <td>PG</td> <td>13.10.2021</td> </tr> <tr> <td>P2</td> <td>AMENDMENTS</td> <td>PG</td> <td>21.10.2021</td> </tr> <tr> <td>P3</td> <td>AMENDMENTS IN PLAN</td> <td>PG</td> <td>26.10.2021</td> </tr> <tr> <td>P4</td> <td>ISSUED FOR FACADE</td> <td>PG</td> <td>02.11.2021</td> </tr> <tr> <td>P5</td> <td>REVERT TO ORIGINAL FACADE</td> <td>PG</td> <td>10.11.2021</td> </tr> <tr> <td>P6</td> <td>DA PLANS</td> <td>LM</td> <td>18.11.2021</td> </tr> </table>	Rev	Revised	By	Date	P1	PRELIMINARY PLANS	PG	13.10.2021	P2	AMENDMENTS	PG	21.10.2021	P3	AMENDMENTS IN PLAN	PG	26.10.2021	P4	ISSUED FOR FACADE	PG	02.11.2021	P5	REVERT TO ORIGINAL FACADE	PG	10.11.2021	P6	DA PLANS	LM	18.11.2021	<p>SCALE BAR:</p> <p>NORTH:</p> <p>THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE. DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DIMENSION. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES.</p>	<p>DRAWINGS BY:</p> <p>DUPLEX BUILDING DESIGN</p> <p>Offices at: Wollongong, Kiama & Ulladulla</p> <p>info@duplexbuildingdesign.com</p> <p>www.duplexbuildingdesign.com</p> <p>Office: 1300 310 067</p>	<p>CLIENT:</p> <p>TORI PETER GROUP</p> <p>ADDRESS:</p> <p>LOT 10 & LOT 10A, MUDGEE DEVELOPMENT</p>	<p>PROJECT:</p> <p>CUSTOM DUPLEX</p> <p>DRAWING:</p> <p>SITE PLAN</p>	<p>DATE: 26.10.2021</p> <p>SCALE: As indicated</p> <p>PROJECT No: DRAWING No: ISSUE:</p> <p>21308 001.0 P6</p>
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SITE LEGEND

DA PLANS

Rev	Revision	By	Date
P1	PRELIMINARY PLANS	PG	13.10.2021
P2	AMENDMENTS	PG	21.10.2021
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P5	REVERT TO ORIGINAL FACADE	PG	10.11.2021
P6	DA PLANS	LM	16.11.2021

SCALE BAR:
 NORTH:
 THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE. DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DIMENSION. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES.

DRAWINGS BY:
DUPLEX BUILDING DESIGN
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 info@duplexbuildingdesign.com
 www.duplexbuildingdesign.com
 Office: 1300 310 067

CLIENT:
TORI PETER GROUP
 PROJECT:
CUSTOM DUPLEX
 ADDRESS:
LOT 10 & LOT 10A, MUDGEE DEVELOPMENT

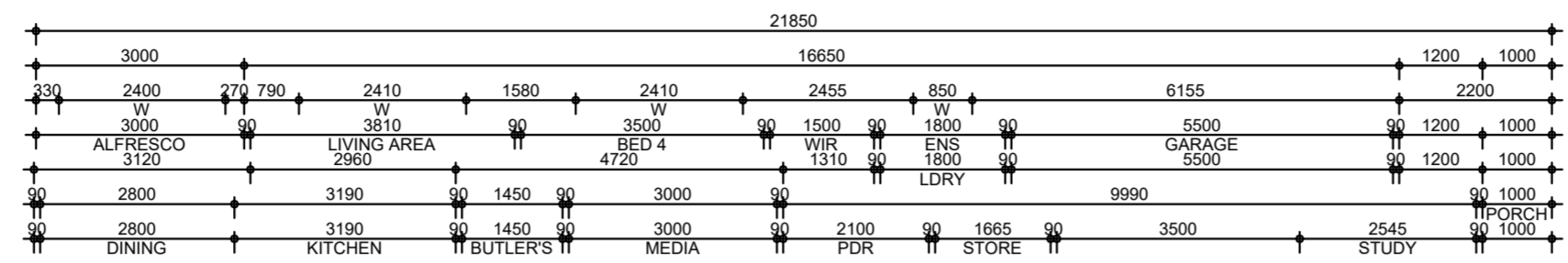
DRAWING:
SITE ANALYSIS
 DATE: **26.10.2021**
 SCALE: **As indicated**
 PROJECT No: **21308** DRAWING No: **001.2** ISSUE: **P6**

KEY SYMBOLS

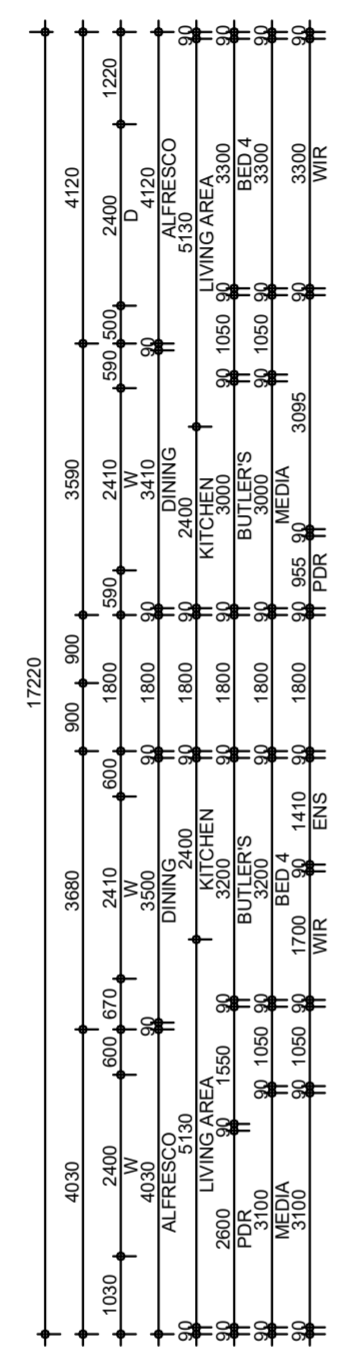
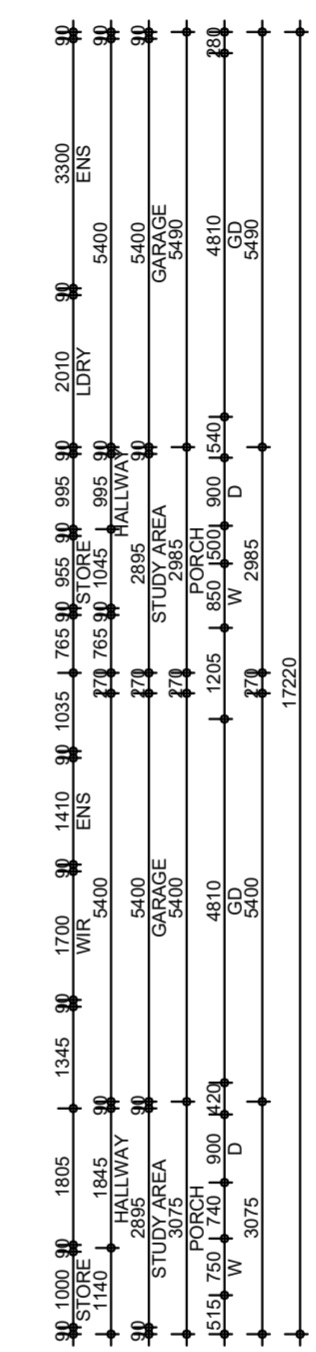
FSL:	FINISHED SLAB LEVEL	
FF:	FINISHED FLOOR	
FC:	FINISHED CEILING	
	MAN HOLE (ROOF ACCESS)	BULKHEADS
	PROPOSED JOIST DIRECTION (CONFIRM WITH JOIST LAYOUT PLAN)	OVERHEAD CABINET
	HARDWIRED SMOKE ALARM	
	DRAINAGE POINT	
	AIR-CONDITIONING DROPPER	
	AIR-CONDITIONING DUCT LINE	
	AIR-CONDITIONING OUTLET	
	KITCHEN / WET AREA ELEVATIONS	

NOTE: ALL STRUCTURAL BEAMS/POSTS ARE AN INDICATION ONLY. REFER TO ENGINEERING DETAILS FOR ALL LOCATIONS & CONNECTIONS.

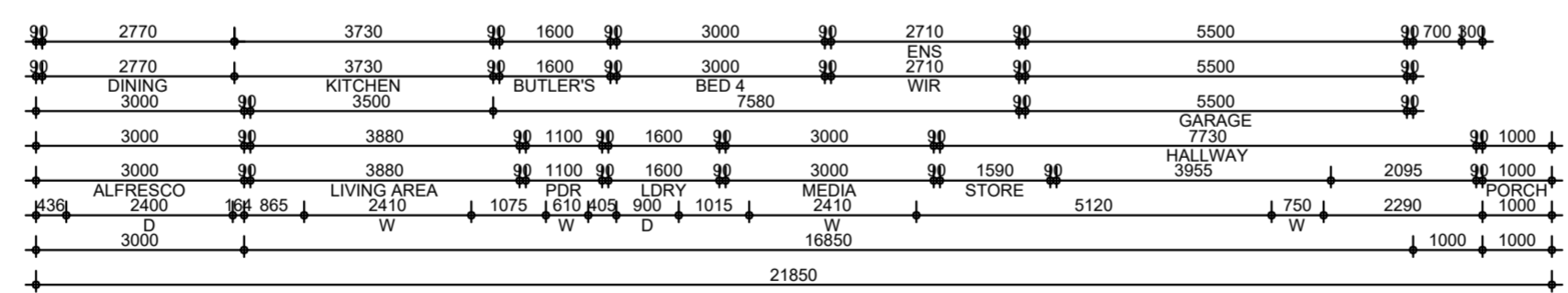
2
001.5
RIGHT ELEVATION



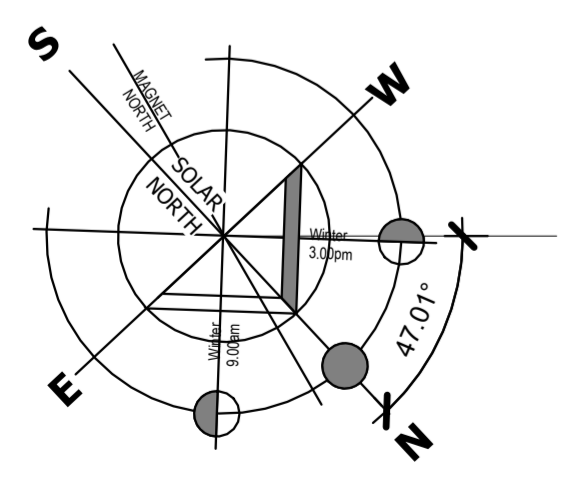
1
001.5
FRONT ELEVATION



3
001.6
REAR ELEVATION



1
001.6
LEFT ELEVATION



Area Schedule (Gross Building)	
Name	Areas
LOT 10 - GROSS BUILDING AREA	
ALFRESCO	12.09 m ²
GARAGE	30.94 m ²
FIRST FLOOR	78.85 m ²
BALCONY	8.74 m ²
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GROUND FLOOR	113.73 m ²
ALFRESCO	12.36 m ²
FIRST FLOOR	79.37 m ²
BALCONY	8.21 m ²
LOT 10A - GROSS BUILDING AREA: 6	247.48 m ²

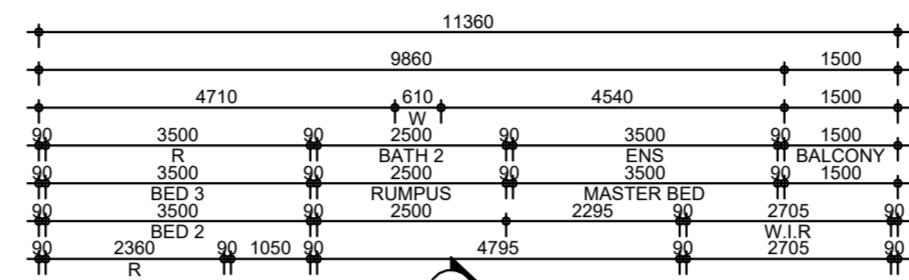
DA PLANS

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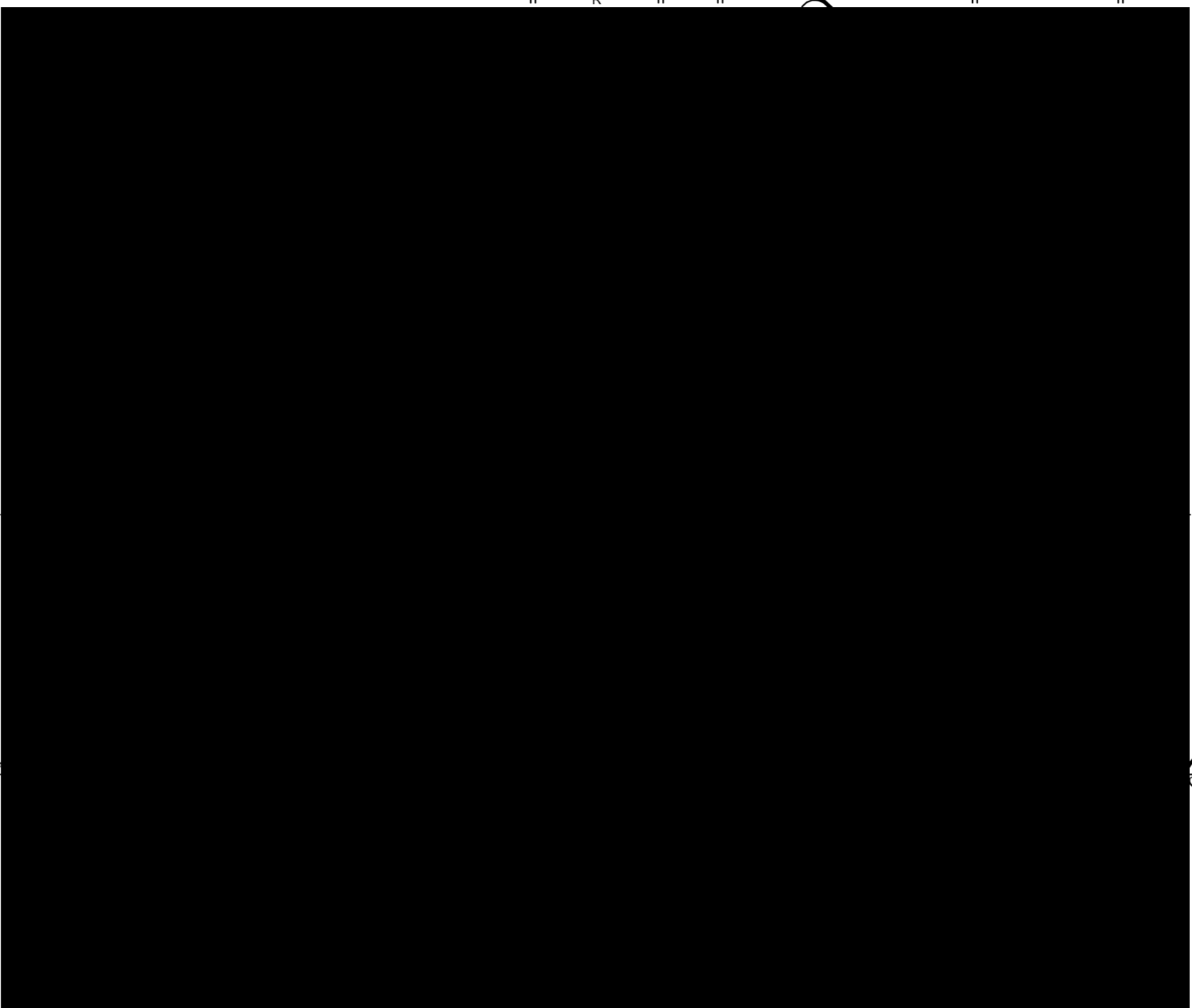
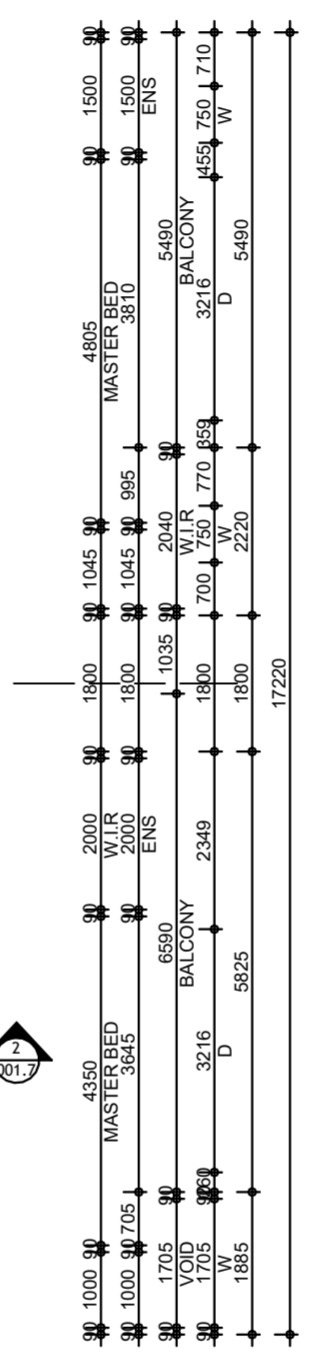
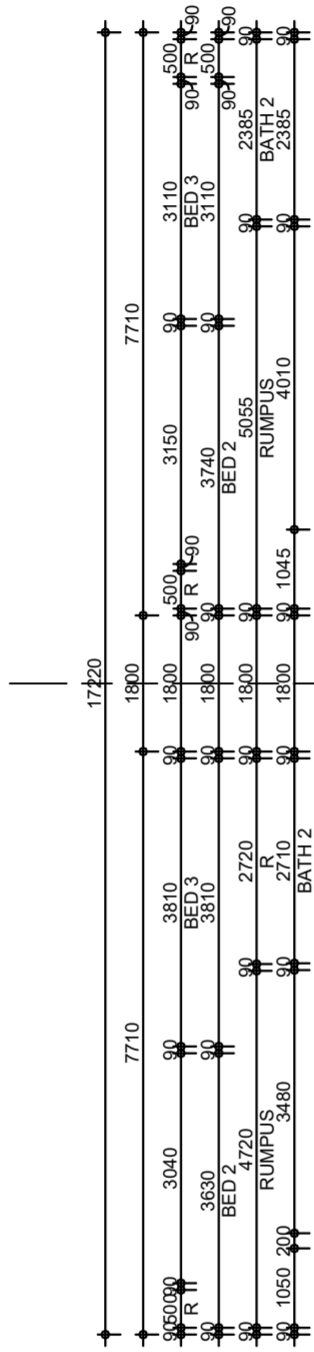
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KEY SYMBOLS

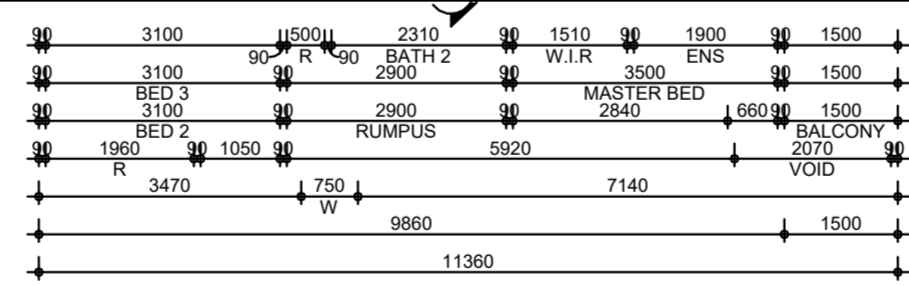
2
001.5
RIGHT ELEVATION



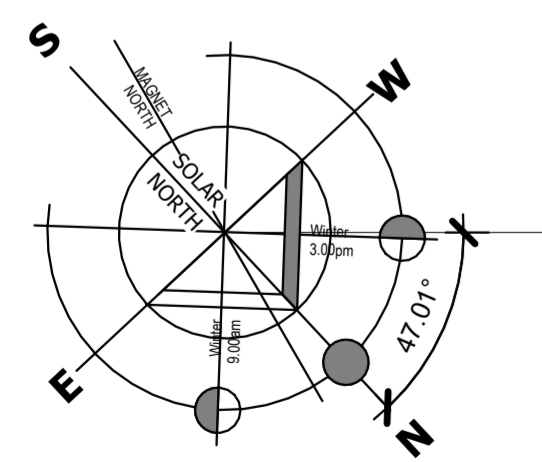
1
001.5
FRONT ELEVATION



3
001.6
REAR ELEVATION



1
001.6
LEFT ELEVATION



1 FIRST FLOOR PLAN
1:100

Area Schedule (Gross Building)

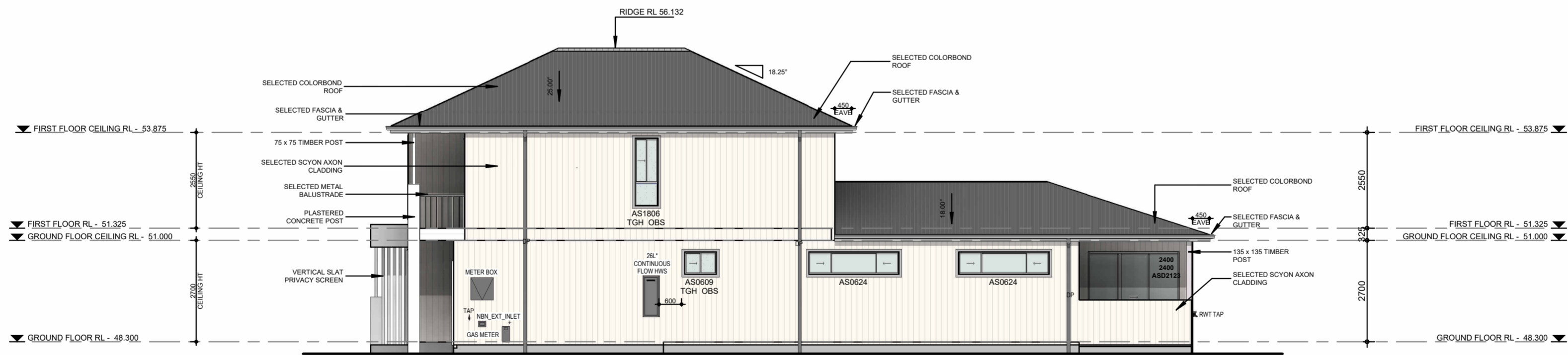
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FRONT ELEVATION

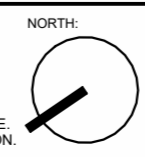


RIGHT ELEVATION

DA PLANS

Rev	Revised	By	Date
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P6	DA PLANS	LM	18.11.2021

SCALE BAR:



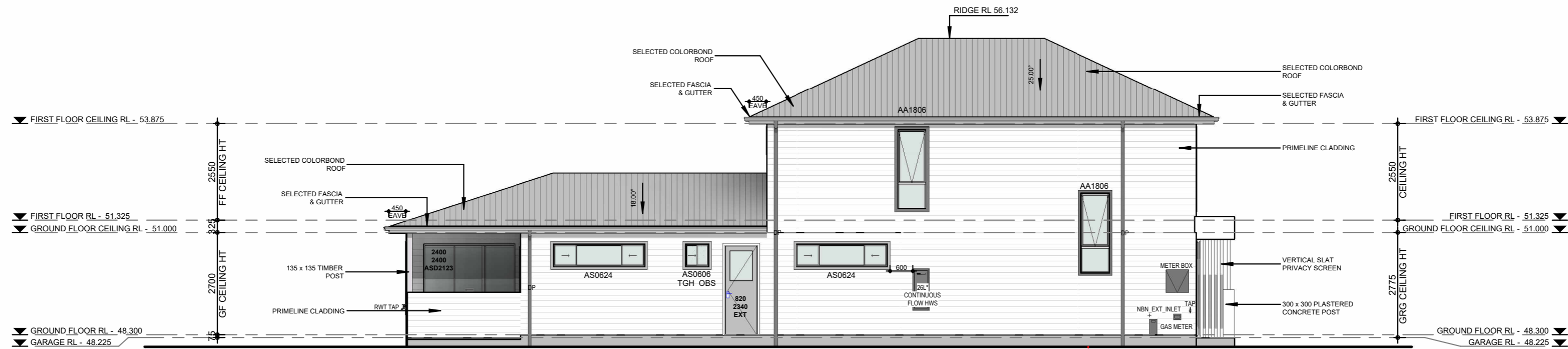
DUPLEX BUILDING DESIGN
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 Office: 1300 310 067

CLIENT: **TORI PETER GROUP**
 ADDRESS: **LOT 10 & LOT 10A, MUDGEE DEVELOPMENT**

PROJECT: **CUSTOM DUPLEX**
 DRAWING: **ELEVATION**

DATE: 26.10.2021
 SCALE: 1:100
 PROJECT No: 21308 DRAWING No: 001.5 ISSUE: P6

THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE. DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DIMENSION. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES.



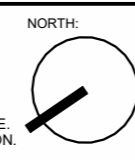
LEFT ELEVATION



REAR ELEVATION

Rev	Revision	By	Date
P1	PRELIMINARY PLANS	PG	13.10.2021
P2	AMENDMENTS	PG	21.10.2021
P3	AMENDMENTS IN PLAN	PG	26.10.2021
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P5	REVERT TO ORIGINAL FACADE	PG	10.11.2021
P6	DA PLANS	LM	18.11.2021

SCALE BAR:



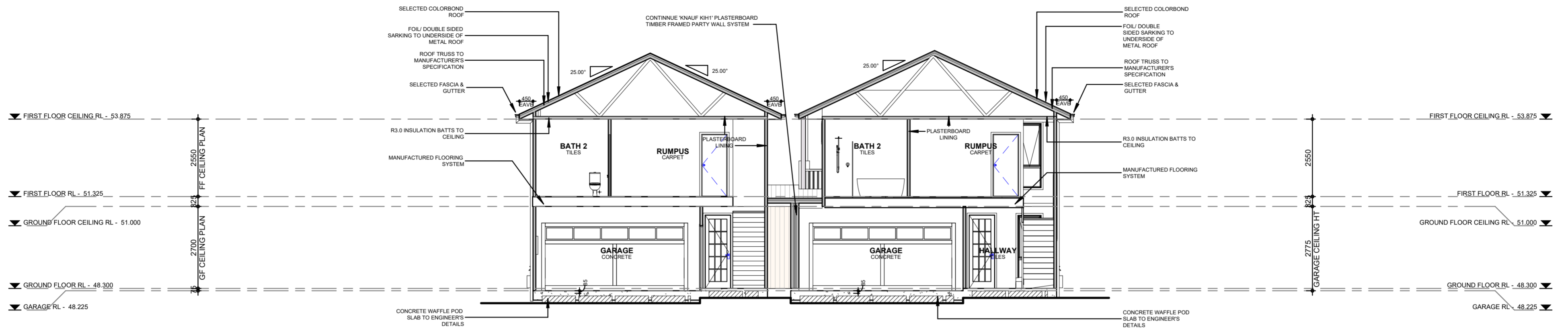
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CLIENT: **TORI PETER GROUP**
 ADDRESS: **LOT 10 & LOT 10A, MUDGEE DEVELOPMENT**

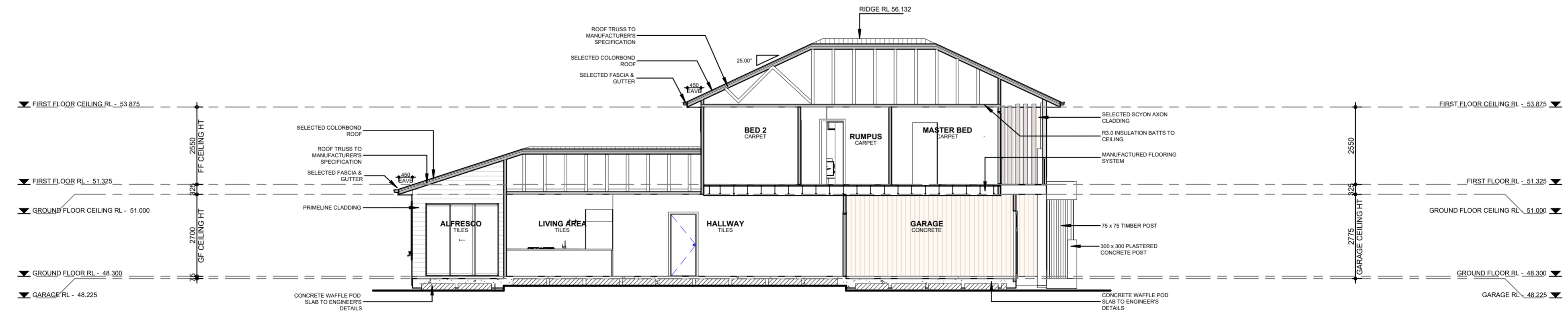
PROJECT: **CUSTOM DUPLEX**
 DRAWING: **ELEVATION**

DATE: **26.10.2021**
 SCALE: **1 : 100**
 PROJECT No: **21308** DRAWING No: **001.6** ISSUE: **P6**

THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE. DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DIMENSION. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES.



1 LOT 10 - LOT 10A
1 : 100



2 LOT 10 - LOT 10A 2
1 : 100

Rev	Revision	By	Date
P1	PRELIMINARY PLANS	PG	13.10.2021
P2	AMENDMENTS	PG	21.10.2021
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P6	DA PLANS	LM	18.11.2021

SCALE BAR:

NORTH:



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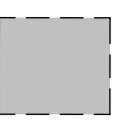
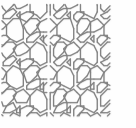
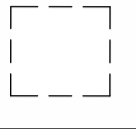
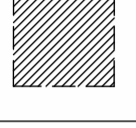


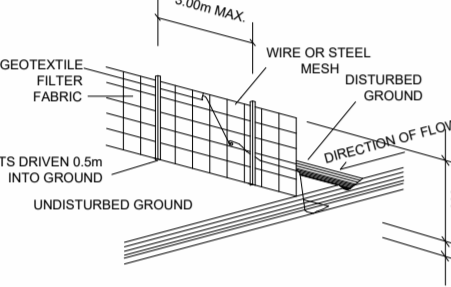
CLIENT: **TORI PETER GROUP**
 ADDRESS: **LOT 10 & LOT 10A, MUDGEE DEVELOPMENT**

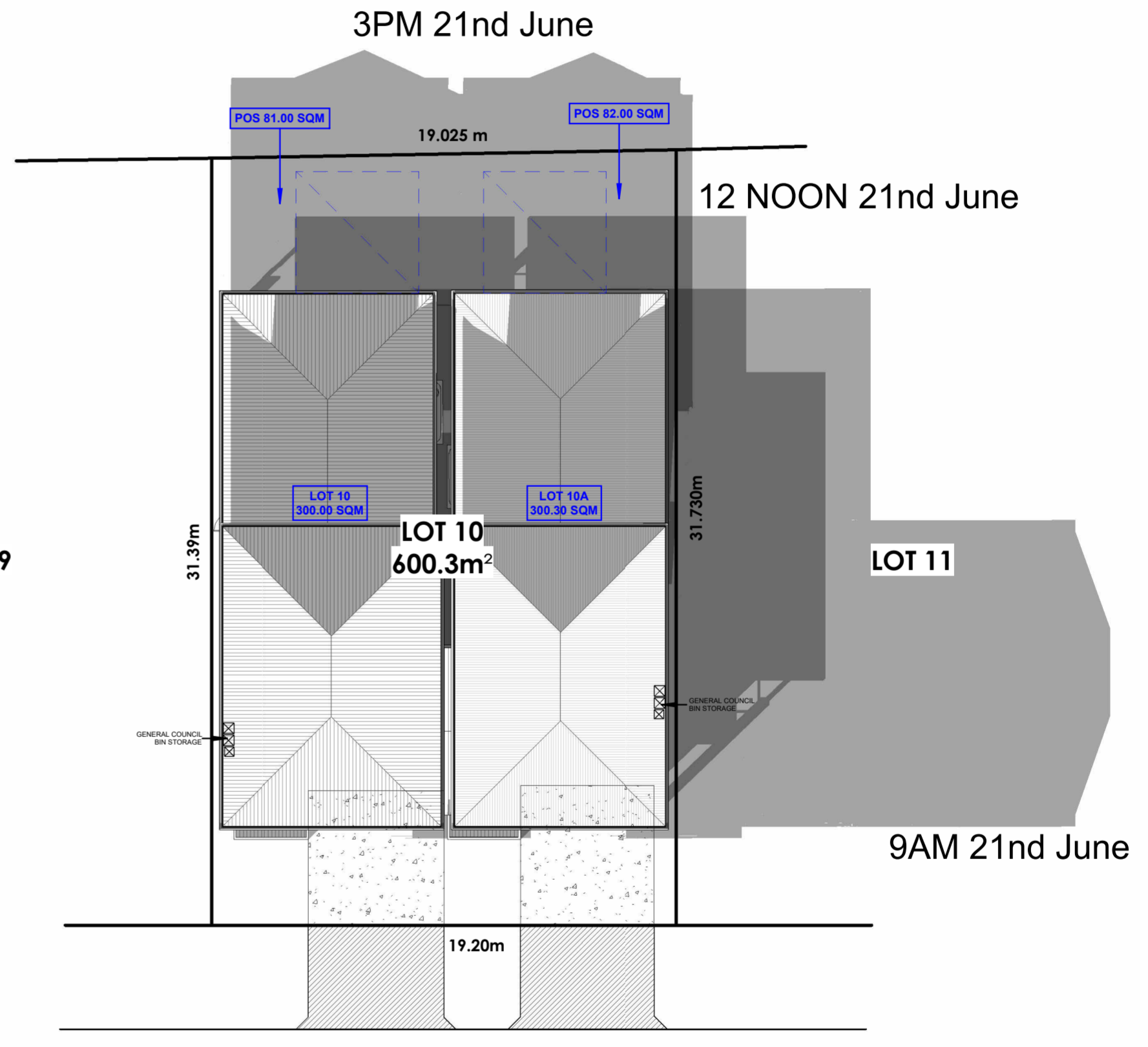
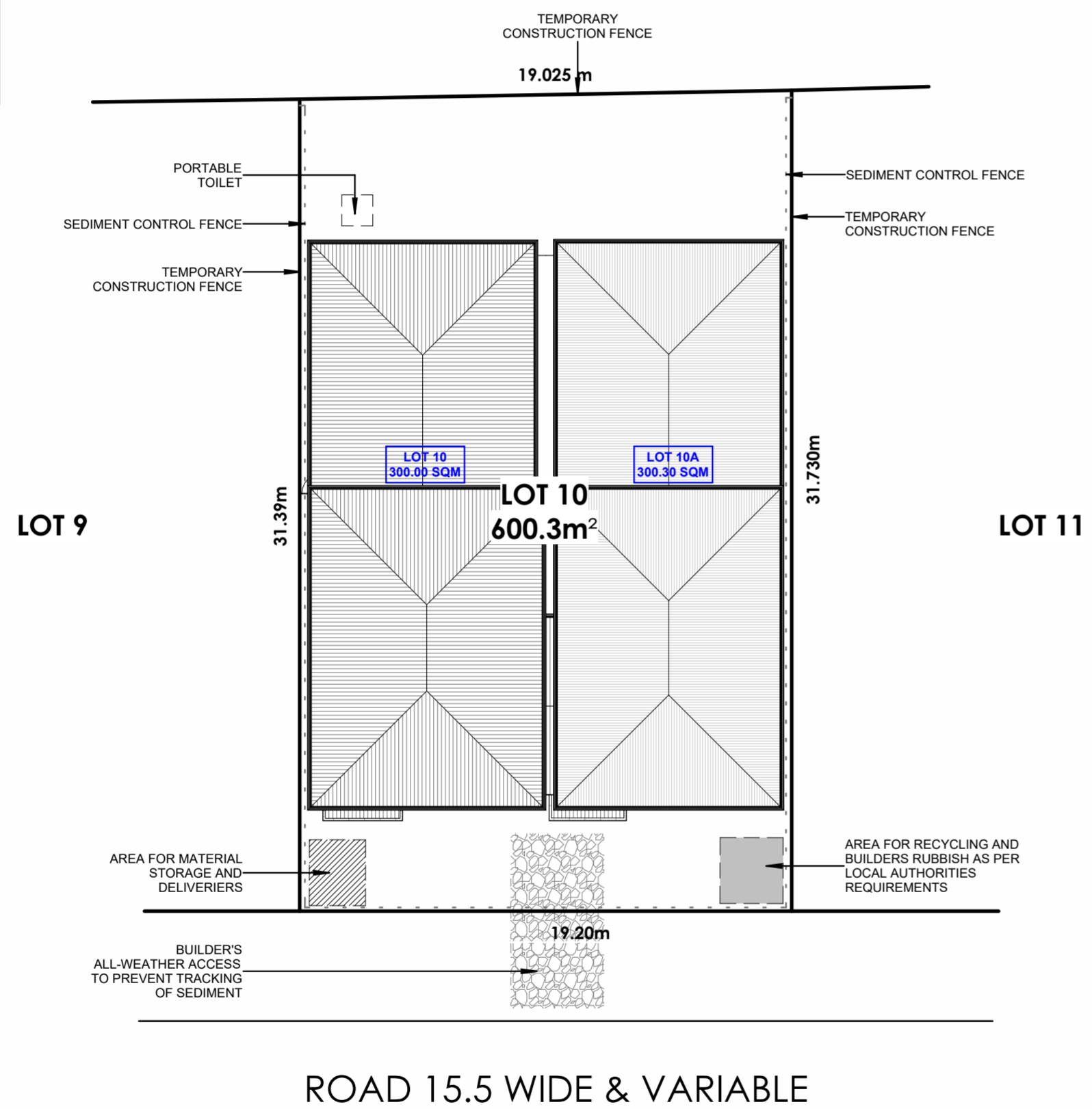
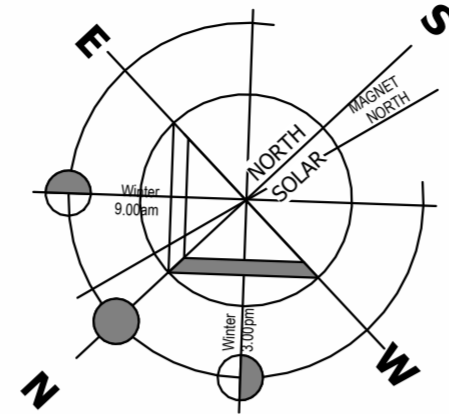
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 DRAWING: **SECTION+DETAILS**

DATE: **26.10.2021**
 SCALE: **1 : 100**
 PROJECT No: **21308** DRAWING No: **001.7** ISSUE: **P6**

THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE. DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DIMENSION. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES.

SITE MANAGEMENT LEGEND

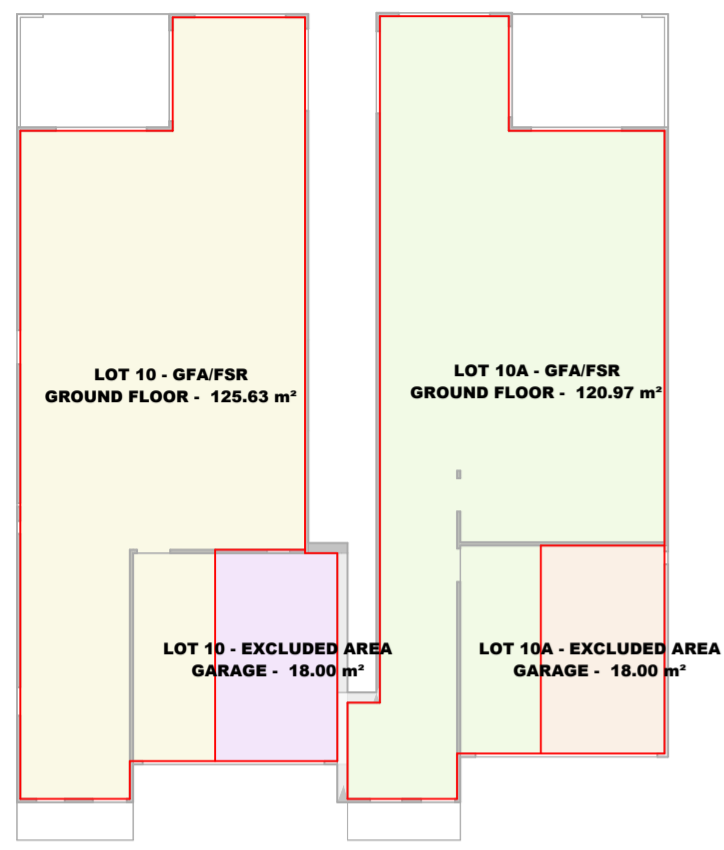
	AREA FOR RECYCLING AND BUILDERS RUBBISH AS PER LOCAL AUTHORITIES REQUIREMENTS
	BUILDER'S ALL-WEATHER ACCESS TO PREVENT TRACKING OF SEDIMENT
	PORTABLE TOILET
	AREA FOR MATERIAL STORAGE AND DELIVERERS
	TEMPORARY CONSTRUCTION FENCE
	SEDIMENT CONTROL FENCE
	SEDIMENT CONTROL FENCE N.T.S



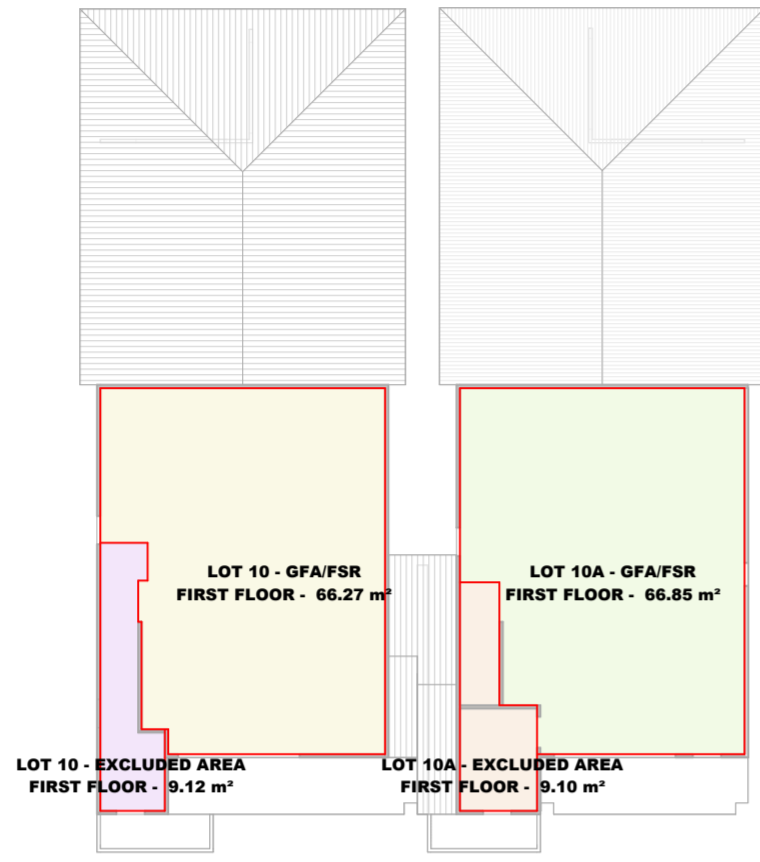
SITE MANAGEMENT PLAN

DA PLANS

<table border="1"> <thead> <tr> <th>Rev</th> <th>Revision</th> <th>By</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>P1</td> <td>PRELIMINARY PLANS</td> <td>PG</td> <td>13.10.2021</td> </tr> <tr> <td>P2</td> <td>AMENDMENTS</td> <td>PG</td> <td>21.10.2021</td> </tr> <tr> <td>P3</td> <td>AMENDMENTS IN PLAN</td> <td>PG</td> <td>26.10.2021</td> </tr> <tr> <td>P4</td> <td>ISSUED FOR FACADE</td> <td>PG</td> <td>02.11.2021</td> </tr> <tr> <td>P5</td> <td>REVERT TO ORIGINAL FACADE</td> <td>PG</td> <td>10.11.2021</td> </tr> <tr> <td>P6</td> <td>DA PLANS</td> <td>LM</td> <td>18.11.2021</td> </tr> </tbody> </table>	Rev	Revision	By	Date	P1	PRELIMINARY PLANS	PG	13.10.2021	P2	AMENDMENTS	PG	21.10.2021	P3	AMENDMENTS IN PLAN	PG	26.10.2021	P4	ISSUED FOR FACADE	PG	02.11.2021	P5	REVERT TO ORIGINAL FACADE	PG	10.11.2021	P6	DA PLANS	LM	18.11.2021	<p>SCALE BAR:</p> <p>NORTH:</p> <p>THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE. DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DIMENSION. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES.</p>	<p>DRAWINGS BY:</p> <p>DUPLEX BUILDING DESIGN</p> <p>Offices at: Wollongong, Kiama & Ulladulla info@duplexbuildingdesign.com www.duplexbuildingdesign.com Office: 1300 310 067</p>	<p>CLIENT:</p> <p>TORI PETER GROUP</p> <p>ADDRESS: LOT 10 & LOT 10A, MUDGEE DEVELOPMENT</p>	<p>PROJECT:</p> <p>CUSTOM DUPLEX</p> <p>DRAWING:</p> <p>SITE MANAGEMENT PLAN & SHADOW DIAGRAM</p>	<p>DATE: 26.10.2021</p> <p>SCALE: As indicated</p> <p>PROJECT No: 21308 DRAWING No: 001.8 ISSUE: P6</p>
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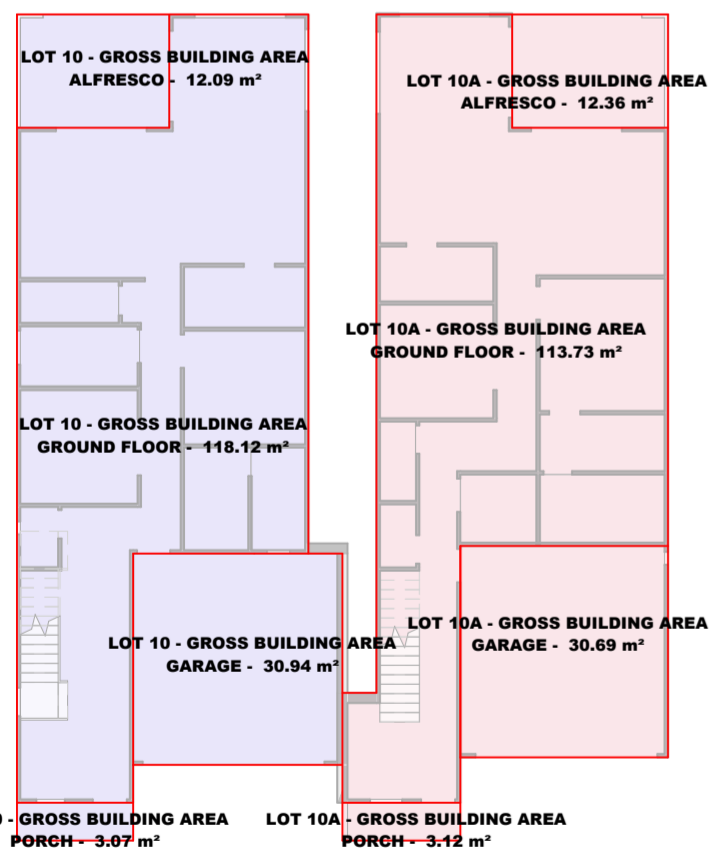


1 GROUND FLOOR - GFA/FSR
1:200

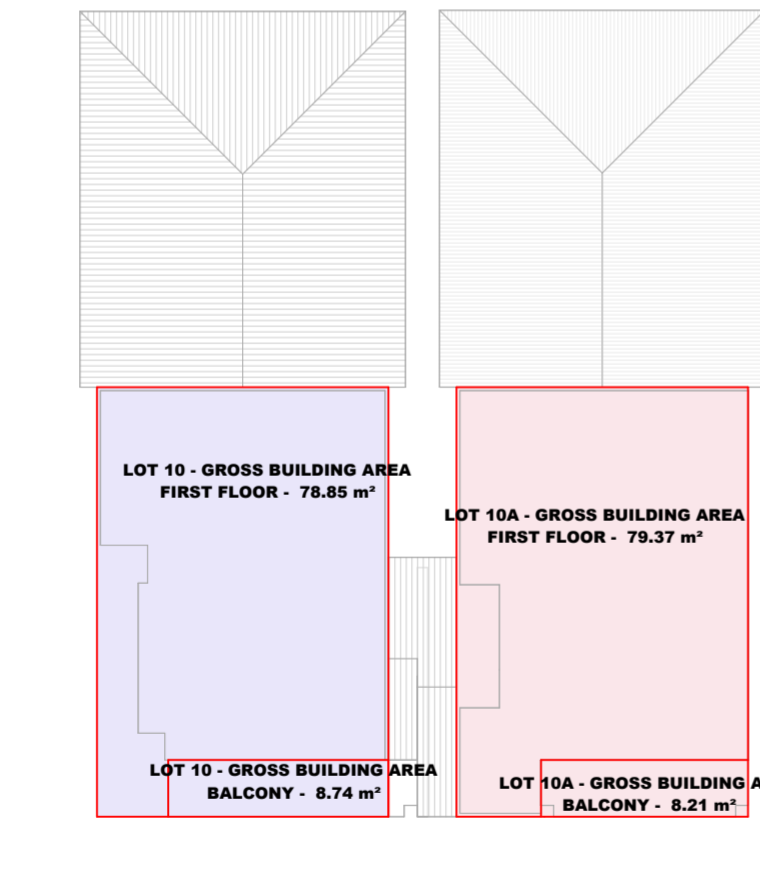


2 FIRST FLOOR - GFA/FSR
1:200

Area Schedule (GFA/FSR)	
Name	Areas
GROUND FLOOR	120.97 m ²
FIRST FLOOR	66.85 m ²
LOT 10A - GFA/FSR: 2	187.82 m ²
GARAGE	18.00 m ²
FIRST FLOOR	9.10 m ²
LOT 10A - EXCLUDED AREA: 2	27.10 m ²
GROUND FLOOR	125.63 m ²
FIRST FLOOR	66.27 m ²
LOT 10 - GFA/FSR: 2	191.90 m ²
GARAGE	18.00 m ²
FIRST FLOOR	9.12 m ²
LOT 10 - EXCLUDED AREA: 2	27.12 m ²

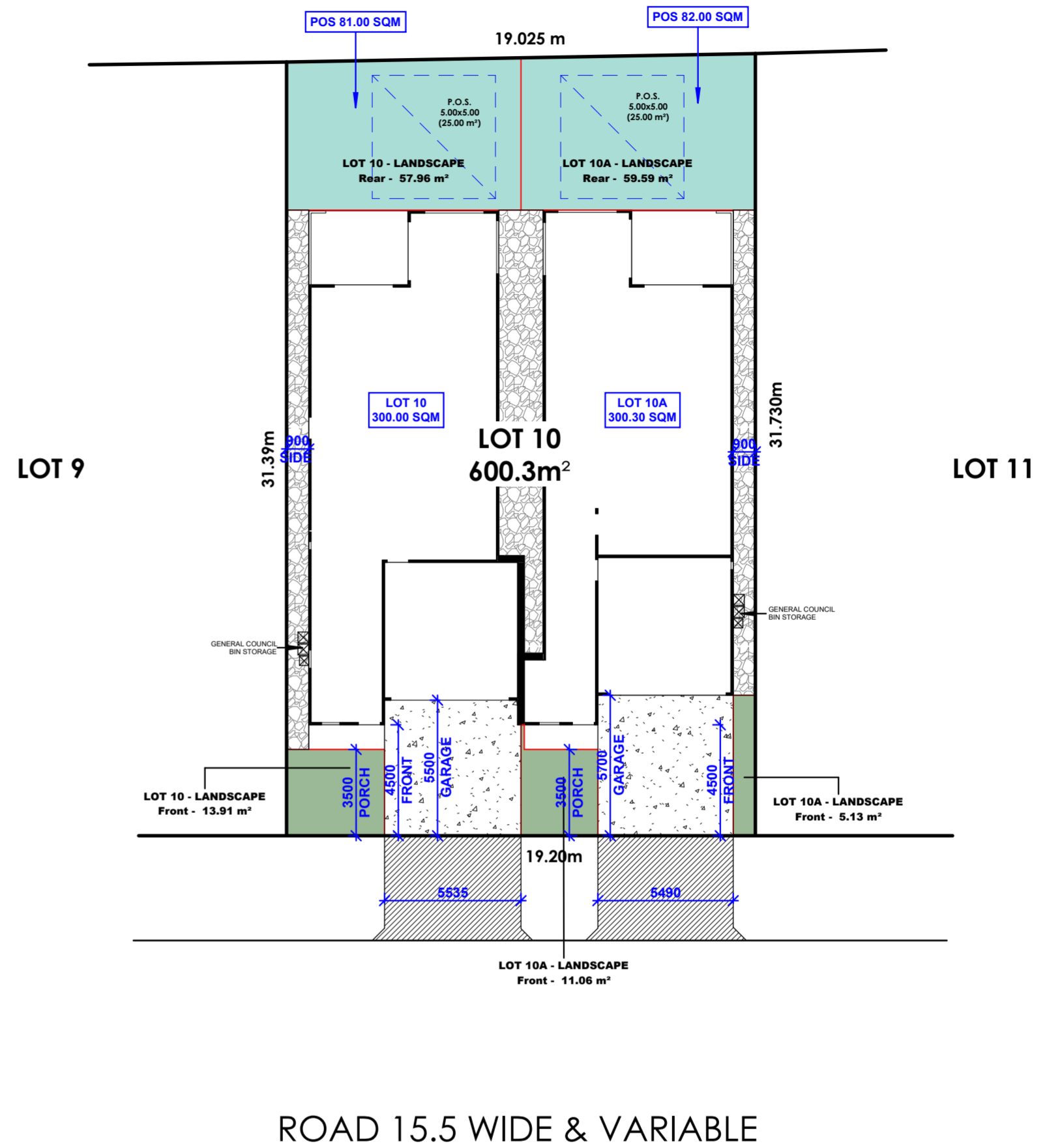


5 GROUND FLOOR - GROSS
1:200



4 FIRST FLOOR - GROSS
1:200

Area Schedule (Gross Building)	
Name	Areas
LOT 10 - GROSS BUILDING AREA	
ALFRESCO	12.09 m ²
GARAGE	30.94 m ²
FIRST FLOOR	78.85 m ²
BALCONY	8.74 m ²
PORCH	3.07 m ²
GROUND FLOOR	118.12 m ²
LOT 10 - GROSS BUILDING AREA: 6	251.81 m ²
LOT 10A - GROSS BUILDING AREA	
GARAGE	30.69 m ²
PORCH	3.12 m ²
GROUND FLOOR	113.73 m ²
ALFRESCO	12.36 m ²
FIRST FLOOR	79.37 m ²
BALCONY	8.21 m ²
LOT 10A - GROSS BUILDING AREA: 6	247.48 m ²



3 LANDSCAPING AREA
1:200

Area Schedule (Landscape Compliance)	
Landscape Location	Areas
Front	13.91 m ²
Rear	57.96 m ²
LOT 10 - LANDSCAPE: 2	71.87 m ²
Front	11.06 m ²
Front	5.13 m ²
Rear	59.59 m ²
LOT 10A - LANDSCAPE: 3	75.78 m ²

DA PLANS

Rev	Revision	By	Date
PT	PRELIMINARY PLANS	PG	13/10/2021

SCALE BAR:

NORTH:

DRAWINGS BY:



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CLIENT:

TORI PETER GROUP

ADDRESS:
LOT 10 & LOT 10A, MUDGEE DEVELOPMENT

PROJECT:

CUSTOM DUPLEX

DRAWING:
GROSS FLOOR AREA/F.S.R.

DATE: 26.10.2021

SCALE: 1:200

PROJECT No: DRAWING No: ISSUE:
21308 001.9 P1

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Front_Notification



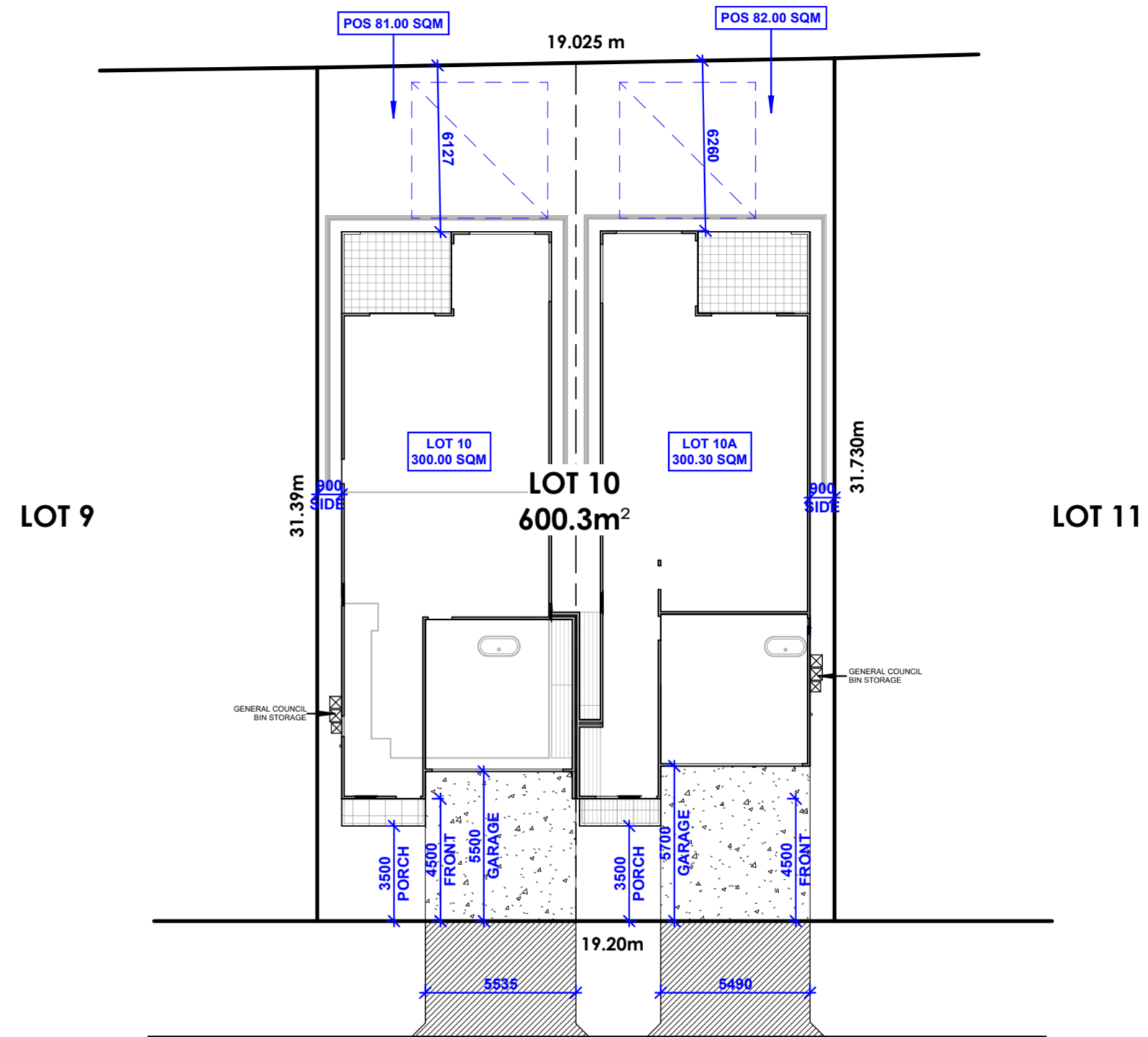
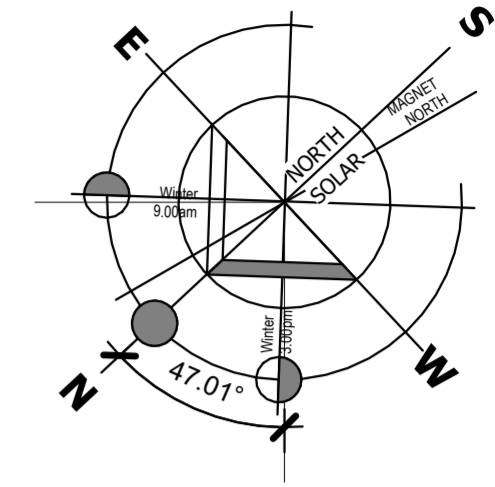
Left_Notification



Rear_Notification



Right_Notification



ROAD 15.5 WIDE & VARIABLE

DA PLANS

Rev	Revision	By	Date
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TORI PETER GROUP

ADDRESS:
LOT 10 & LOT 10A, MUDGEE DEVELOPMENT

PROJECT:

CUSTOM DUPLEX

DRAWING:
NOTIFICATION PLAN

DATE: 26.10.2021

SCALE: As indicated

PROJECT No: DRAWING No: ISSUE:
21308 001.10 P6