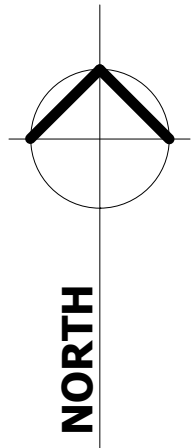


# PROPOSED RESIDENCE

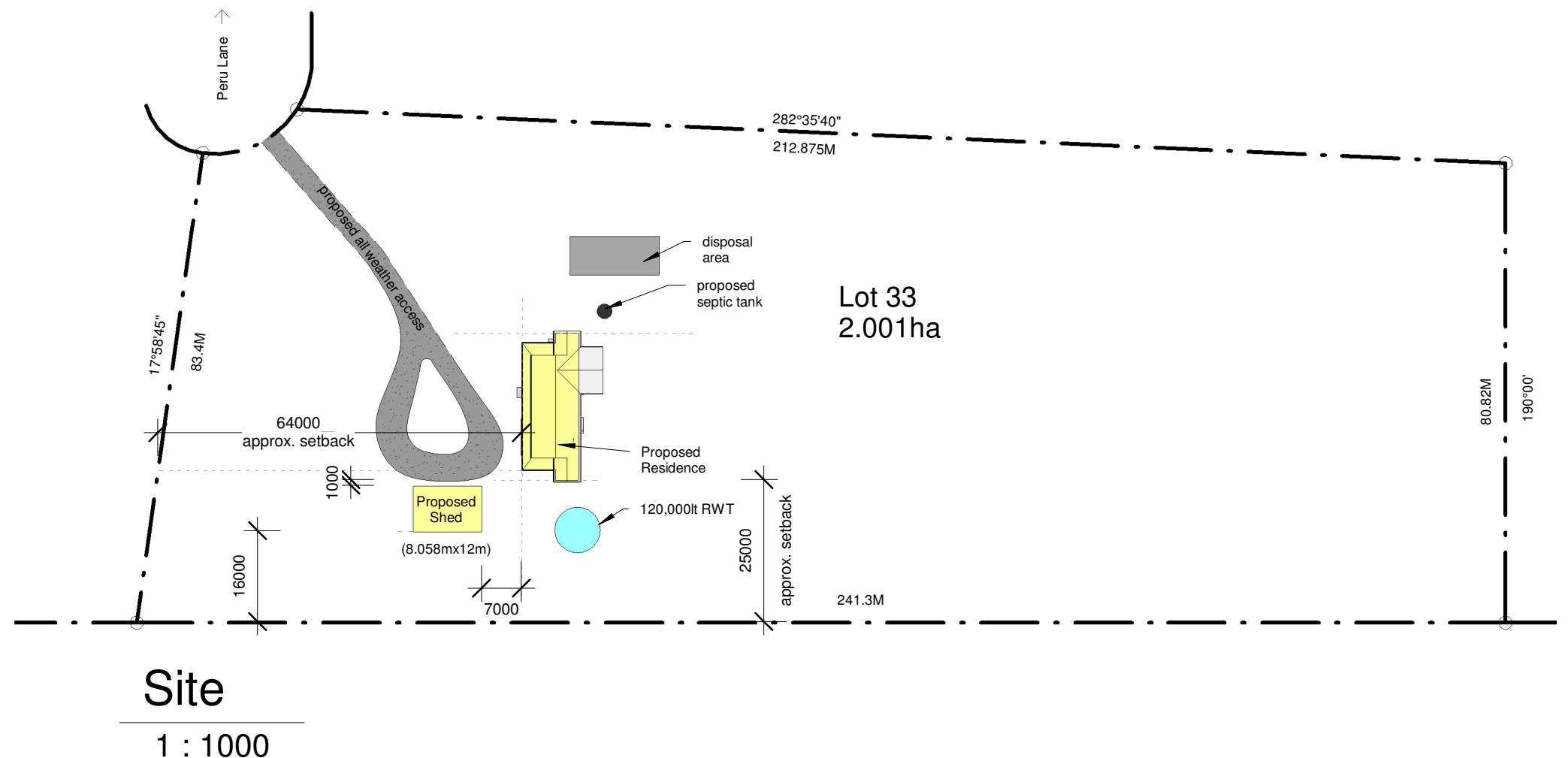
AT

Lot 33, DP 1273458  
29 Peru Lane Gulgong NSW 2852



FOR  
Hill & Mitcherson

Sheet List			
Drawing No.	Drawing Name	Revision	Sheet Issue Date
1 of 9	Title Sheet	4	28/6/2021
2 of 9	Site Plan + General Notes	4	28/6/2021
3 of 9	Floor plan	3	28/6/2021
4 of 9	Window Schedule	3	28/6/2021
5 of 9	Elevations	3	28/6/2021
6 of 9	Elevations	3	28/6/2021
7 of 9	3D Views	3	28/6/2021
8 of 9	3D Views	3	28/6/2021
9 of 9	Electrical Plan	3	28/6/2021



© Manor Group

No.	Description	Date	By
1	Minor adjustments	26/7/2021	DJP
2	Roof pitch & raked ceilings	2/8/2021	DJP
3	Street Address adjusted	3/9/2021	DJP
4	Shed location and size	1/10/2021	DJP

BUILDER TO CHECK AND VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT OF WORK.

COPYRIGHT OF THE DESIGN AND INFORMATION SHOWN HERE IS OWNED BY THE MANOR GROUP. REPRODUCTION OR USE OF THE DESIGN BY ANY PARTY FOR ANY PURPOSE IS EXPRESSLY FORBIDDEN WITHOUT THE WRITTEN PERMISSION OF THE COMPANY.

**job:**  
Proposed Residence

**client:**  
Hill & Mitcherson

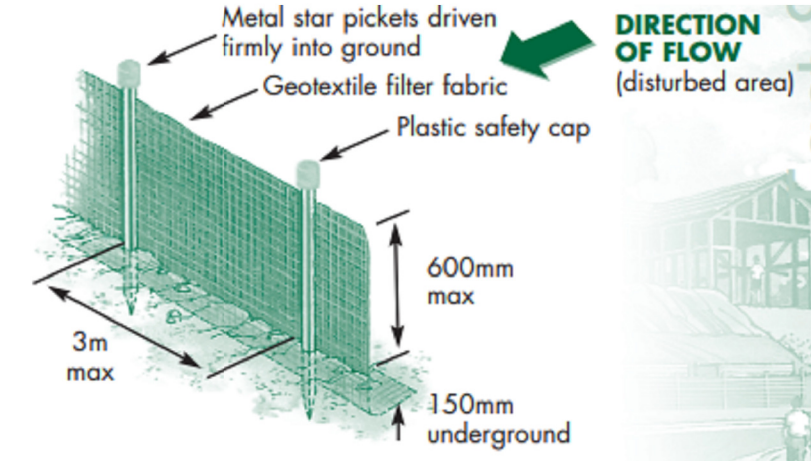
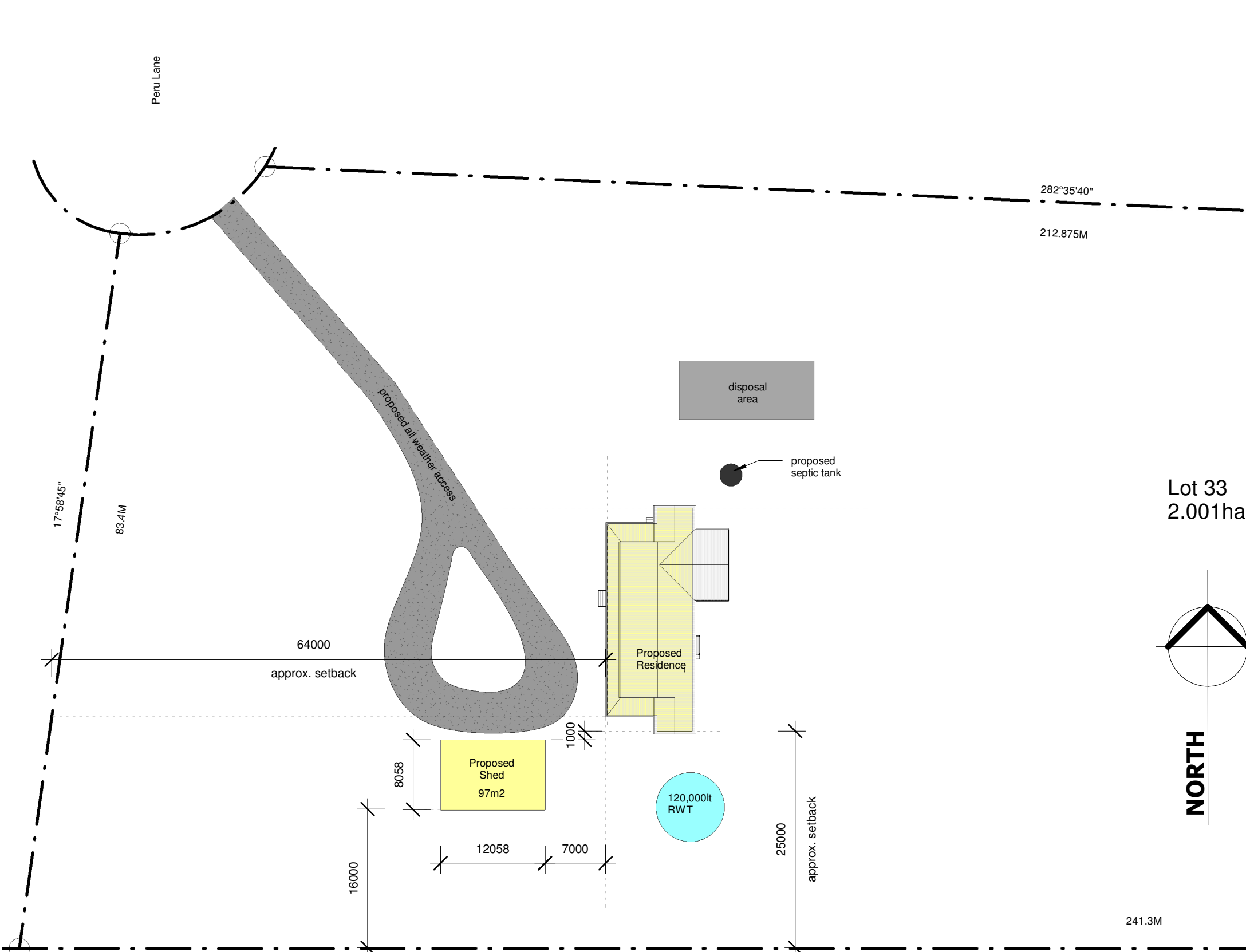
Amended 'The Lochinvar - Standard'

**address:** '29 Peru Lane Gulgong NSW 2852



PO BOX 1416 GOSFORD NSW 2250 AUSTRALIA  
t 02 4340 8300 f 02 4340 2080  
e info@manor.net.au w www.manor.net.au

drawing:		drawing no:	
Title Sheet		MG4934V2	
drawn by:	Author	Date:	15/7/2021
scale:	1 : 1000	no. of sheets:	1 of 9
job no:	Project Status	revision no:	4



- LEGEND**
- sf — Sediment Fence
  - sw — Storm water drainage
  - s — Sewer drainage
- KO: Denotes Kerb Outlet  
 WC,EC,TC: Denotes Service Conduit  
 SV: Denotes Stop Valve  
 HYD: Denotes Hydrant

**SEDIMENT CONTROL NOTES:**

1. All erosion and sediment control measures including revegetation and storage of soil and topsoil, shall be implemented to the standards of the soil conservation of NSW.
2. All drainage works shall be constructed and stabilised as early as possible during development.
3. Sediment traps shall be constructed around all inlet pits, consisting of 400mm wide x 300mm deep trench.
4. All sediment basins and traps shall be cleaned when the structures are a maximum of 100% full of soil materials, including the maintenance period.
5. All disturbed areas shall be revegetated as soon as the relevant works are completed.
6. Soil and topsoil stockpiles shall be located away from drainage lines and area where water may concentrate.

**CONTROL MEASURES**

All persons entering the site must be made aware of these dangers and take relevant action to ensure that their work area is maintained as safe to proceed. If you are unable to proceed due to the existence of an unsafe work area, you must notify your Site Supervisor immediately so that action can be taken to remedy the situation.

**GENERAL NOTES:**

1. No stockpiling of materials is permitted on the verge between kerb and property boundary. Stock piles should be protected or moved from the site.
2. Roof drainage to be connected to the approved storm water system as soon as possible.
3. Depressions left in the footpath by heavy vehicles are to be filled as soon as practical.
4. Only one exit point should be used and should be constructed so as to prevent soil from reaching the road and to stop bogging.
5. Drainage ditches above and below cut and filled areas are to reduce erosion from disturbed ground.
6. All workmanship and materials to be in accordance with all relevant building codes and governing authorities requirements.
7. These drawings do not show any structural engineering details.
8. Dimensions are to be verified on site prior to construction. Figured dimensions to take preference over scaling of drawings. Dimensions are in millimetres unless noted otherwise.
9. Excavated materials relocated on site for gardens. Bricks, Concrete, Timber and other products are to be sorted and disposed to local recycling facility as per waste board guide.
10. Do not keep superseded drawings on site.
11. While every effort has been made to depict the proposal accurately, any variation between these drawings and the agreed quote, the quote is to take preference.
12. This development will not have any adverse effects on the environment or its surrounds.
13. There are no trees to be removed within the construction area.
14. Levels to assumed height datum. Refer Site Plan, Elevations and Section.
15. No subterranean investigation of services of services has been carried out.

**House Site**  
1 : 500

© Manor Group

No.	Description	Date	By
3	Street Address adjusted	3/9/2021	DJP
4	Shed location and size	1/10/2021	DJP

BUILDER TO CHECK AND VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT OF WORK.

COPYRIGHT OF THE DESIGN AND INFORMATION SHOWN HERE IS OWNED BY THE MANOR GROUP. REPRODUCTION OR USE OF THE DESIGN BY ANY PARTY FOR ANY PURPOSE IS EXPRESSLY FORBIDDEN WITHOUT THE WRITTEN PERMISSION OF THE COMPANY.

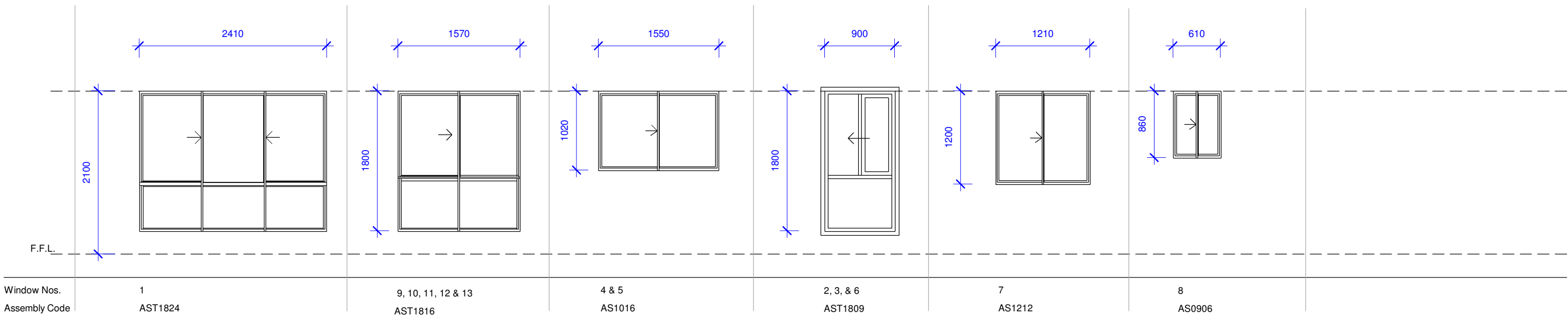
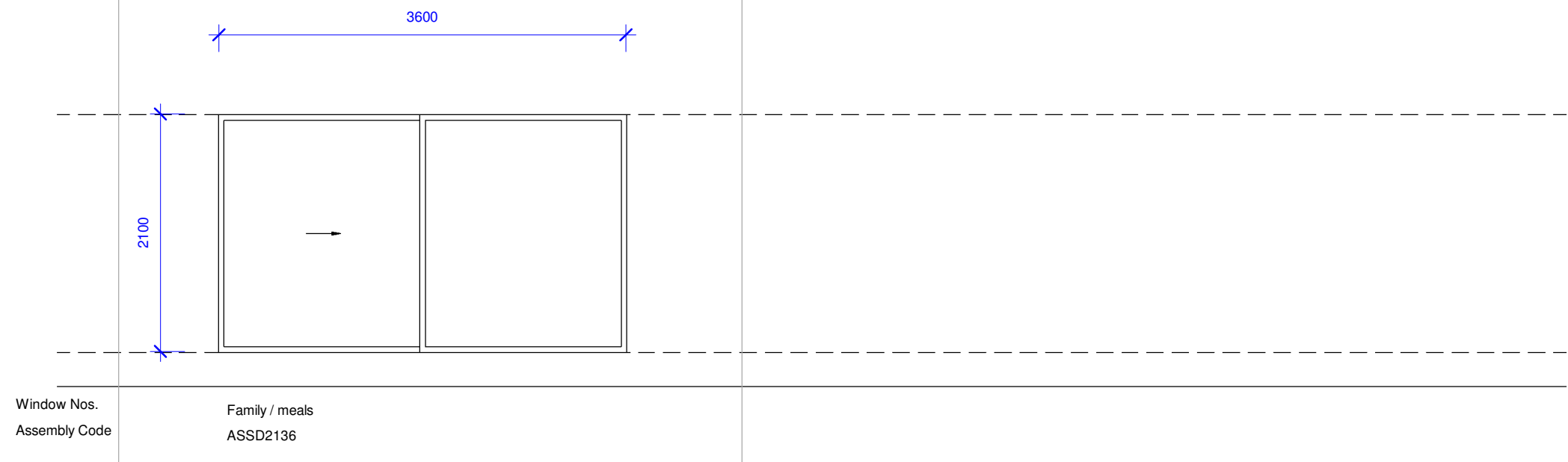
<b>job:</b> Proposed Residence	<b>client:</b> Hill & Mitcherson
Amended 'The Lochinvar - Standard'	
<b>address:</b> '29 Peru Lane Gulgong NSW 2852	

PO BOX 1416 GOSFORD NSW 2250 AUSTRALIA  
 t 02 4340 8300 f 02 4340 2080  
 e info@manor.net.au w www.manor.net.au

<b>drawing:</b> Site Plan + General Notes	<b>drawing no:</b> MG4934V2
<b>drawn by:</b> Author	Date: 15/7/2021
<b>scale:</b> As indicated	revision no: 4
<b>no. of sheets:</b> 2 of 9	
<b>job no:</b> Project Status	

Window Schedule				
No.	Location	Assembly Code	Height	Width
1	Living	AST1824	1800	2410
2	Living	AST1809	1800	900
3	Living	AST1809	1800	900
4	Butlers	AS1016	1030	1570
5	Kitchen	AS1016	1030	1570
6	Study	AST1809	1800	900
7	Bath	AS1212	1200	1210
8	Ensuite	AS0906	970	670
9	Bed 1	AST1816	1800	1570
10	Bed 4	AST1816	1800	1570
11	Bed 3	AST1816	1800	1570
12	Bed 2	AST1816	1800	1570
13	Bed 1	AST1816	1800	1570

Grand total: 13



© Manor Group

No.	Description	Date	By
1	Minor adjustments	26/7/2021	DJP
3	Street Address adjusted	3/9/2021	DJP

BUILDER TO CHECK AND VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT OF WORK.

COPYRIGHT OF THE DESIGN AND INFORMATION SHOWN HERE IS OWNED BY THE MANOR GROUP. REPRODUCTION OR USE OF THE DESIGN BY ANY PARTY FOR ANY PURPOSE IS EXPRESSLY FORBIDDEN WITHOUT THE WRITTEN PERMISSION OF THE COMPANY.

**job:** Proposed Residence

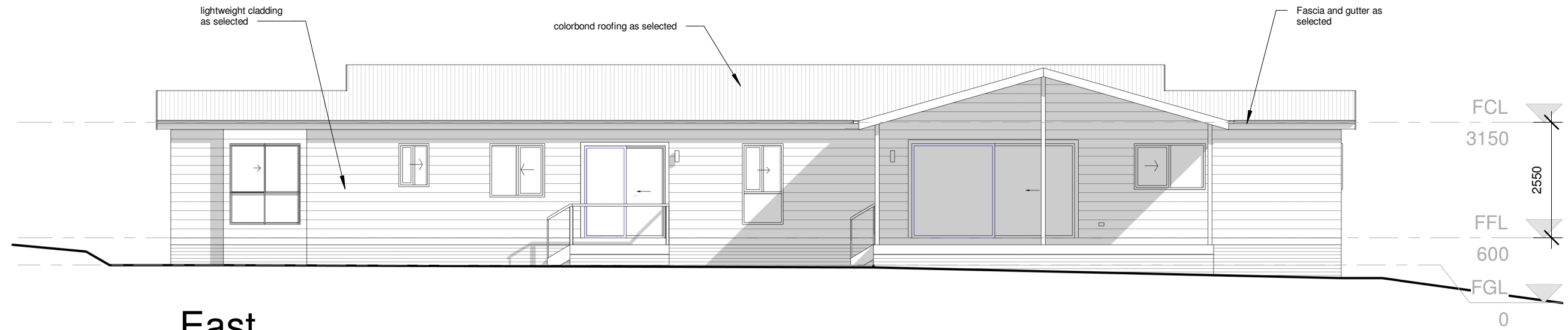
**client:** Hill & Mitcherson

Amended 'The Lochinvar - Standard'

**address:** '29 Peru Lane Gulgong NSW 2852

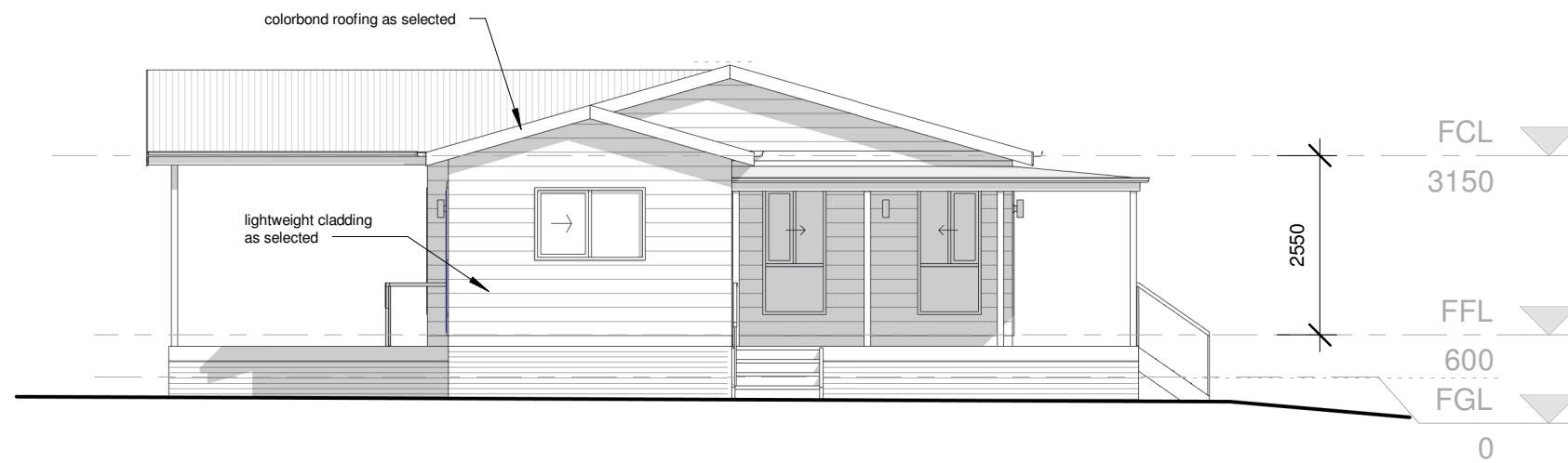
PO BOX 1416 GOSFORD NSW 2250 AUSTRALIA  
 t 02 4340 8300 f 02 4340 2080  
 e info@manor.net.au w www.manor.net.au

<b>drawing:</b>	Window Schedule	<b>drawing no:</b>	MG4934V2
<b>drawn by:</b>	Author	<b>Date:</b>	15/7/2021
<b>scale:</b>	1 : 50	<b>no. of sheets:</b>	4 of 9
<b>job no:</b>	Project Status	<b>revision no:</b>	3



East

1 : 100



North

1 : 100

© Manor Group

No.	Description	Date	By
2	Roof pitch & raked ceilings	2/8/2021	DJP
3	Street Address adjusted	3/9/2021	DJP

BUILDER TO CHECK AND VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT OF WORK.

COPYRIGHT OF THE DESIGN AND INFORMATION SHOWN HERE IS OWNED BY THE MANOR GROUP. REPRODUCTION OR USE OF THE DESIGN BY ANY PARTY FOR ANY PURPOSE IS EXPRESSLY FORBIDDEN WITHOUT THE WRITTEN PERMISSION OF THE COMPANY.

**job:**  
Proposed Residence

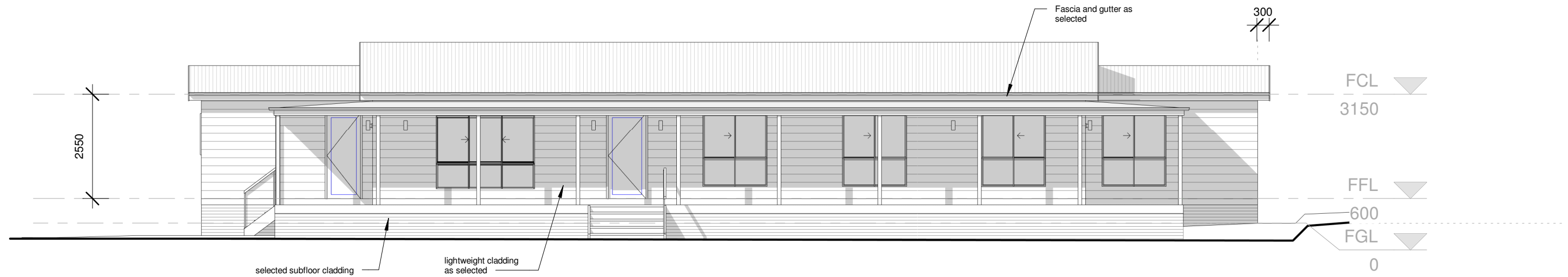
**client:**  
Hill & Mitcherson

Amended 'The Lochinvar - Standard'

**address:** '29 Peru Lane Gulgong NSW 2852

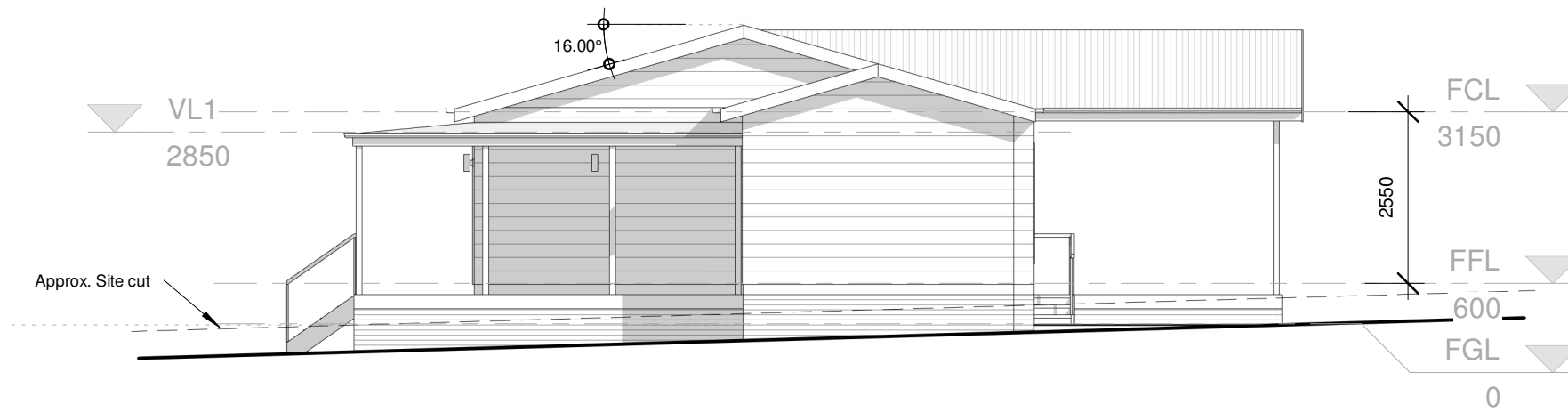


drawing: Elevations		drawing no: MG4934V2
drawn by:	Author	Date: 15/7/2021
scale:	1 : 100	no. of sheets: 5 of 9
job no:	Project Status	revision no: 3



West

1 : 100



South

1 : 100

© Manor Group

No.	Description	Date	By
1	Minor adjustments	26/7/2021	DJP
2	Roof pitch & raked ceilings	2/8/2021	DJP
3	Street Address adjusted	3/9/2021	DJP

BUILDER TO CHECK AND VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT OF WORK.

COPYRIGHT OF THE DESIGN AND INFORMATION SHOWN HERE IS OWNED BY THE MANOR GROUP. REPRODUCTION OR USE OF THE DESIGN BY ANY PARTY FOR ANY PURPOSE IS EXPRESSLY FORBIDDEN WITHOUT THE WRITTEN PERMISSION OF THE COMPANY.

**job:**  
Proposed Residence

**client:**  
Hill & Mitcherson

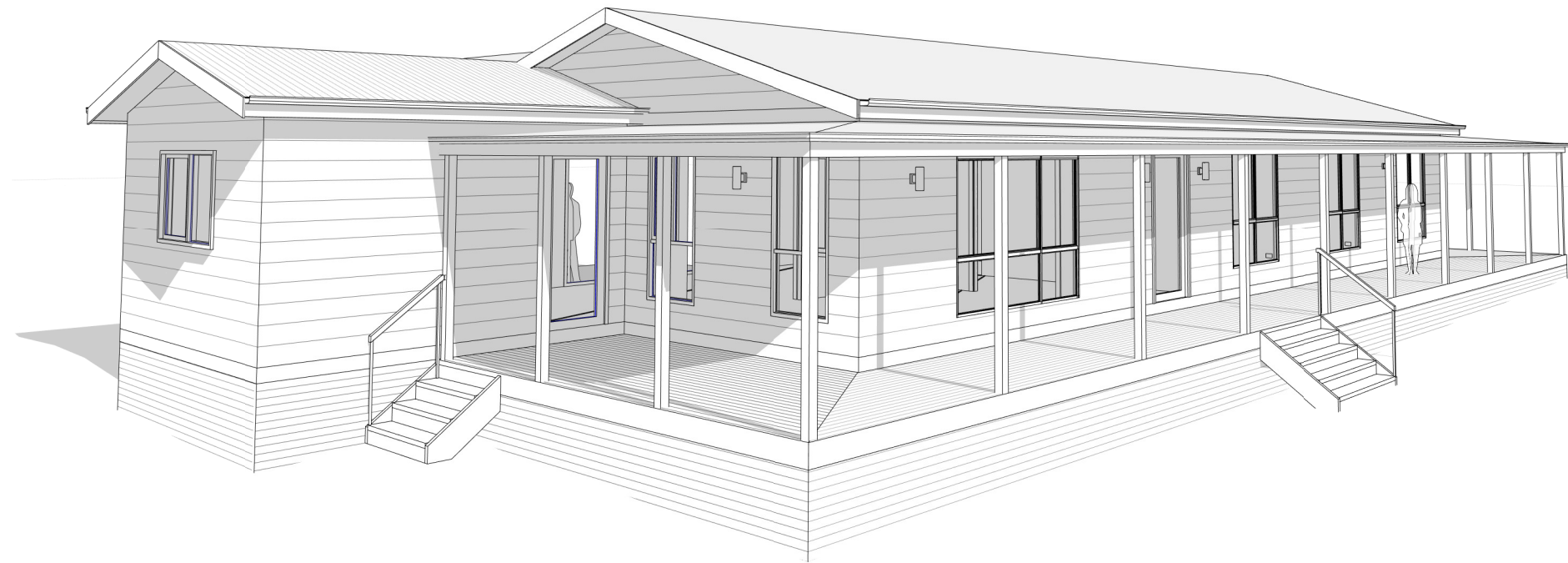
Amended 'The Lochinvar - Standard'

**address:** '29 Peru Lane Gulgong NSW 2852

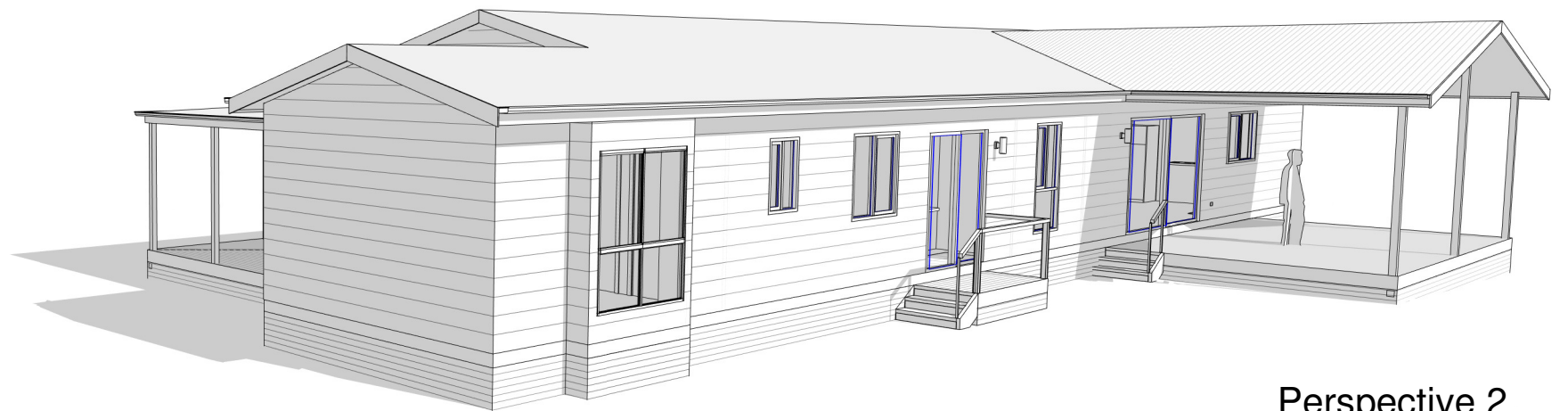


PO BOX 1416 GOSFORD NSW 2250 AUSTRALIA  
 t 02 4340 8300 f 02 4340 2080  
 e info@manor.net.au w www.manor.net.au

drawing: Elevations		drawing no: MG4934V2
drawn by:	Author	Date: 15/7/2021
scale:	1 : 100	
no. of sheets:	6 of 9	
job no:	Project Status	revision no: 3



Perspective 1



Perspective 2


© Manor Group

No.	Description	Date	By
2	Roof pitch & raked ceilings	2/8/2021	DJP
3	Street Address adjusted	3/9/2021	DJP

BUILDER TO CHECK AND VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT OF WORK.

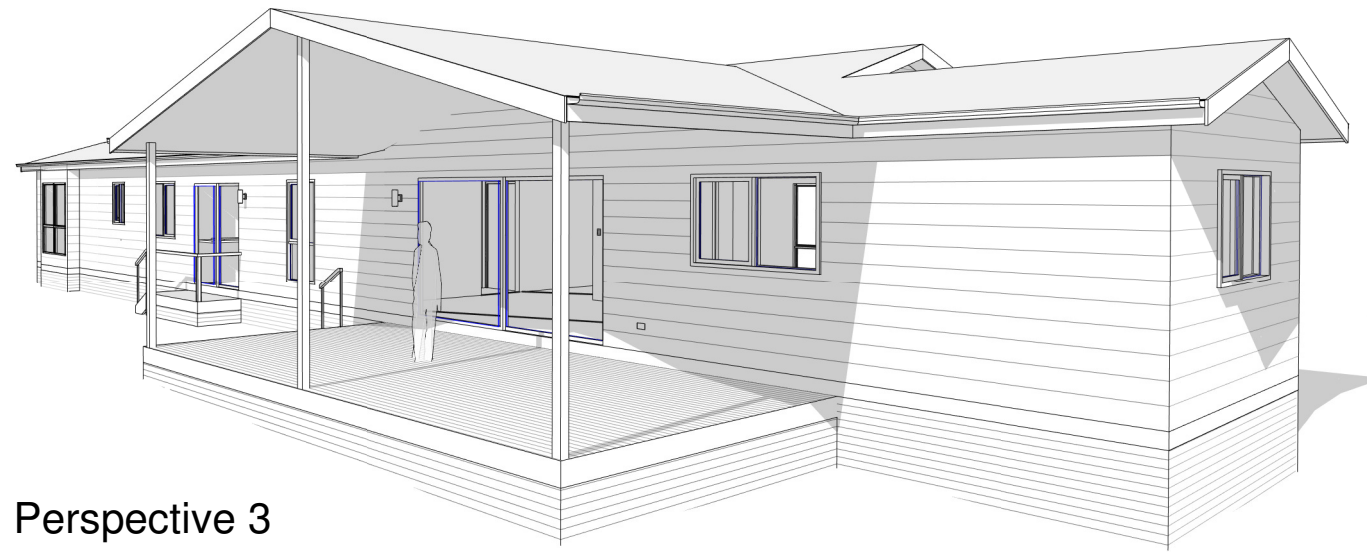
COPYRIGHT OF THE DESIGN AND INFORMATION SHOWN HERE IS OWNED BY THE MANOR GROUP. REPRODUCTION OR USE OF THE DESIGN BY ANY PARTY FOR ANY PURPOSE IS EXPRESSLY FORBIDDEN WITHOUT THE WRITTEN PERMISSION OF THE COMPANY.

<b>job:</b> Proposed Residence	<b>client:</b> Hill & Mitcherson
<b>Amended 'The Lochinvar - Standard'</b>	
<b>address:</b> '29 Peru Lane Gulgong NSW 2852	

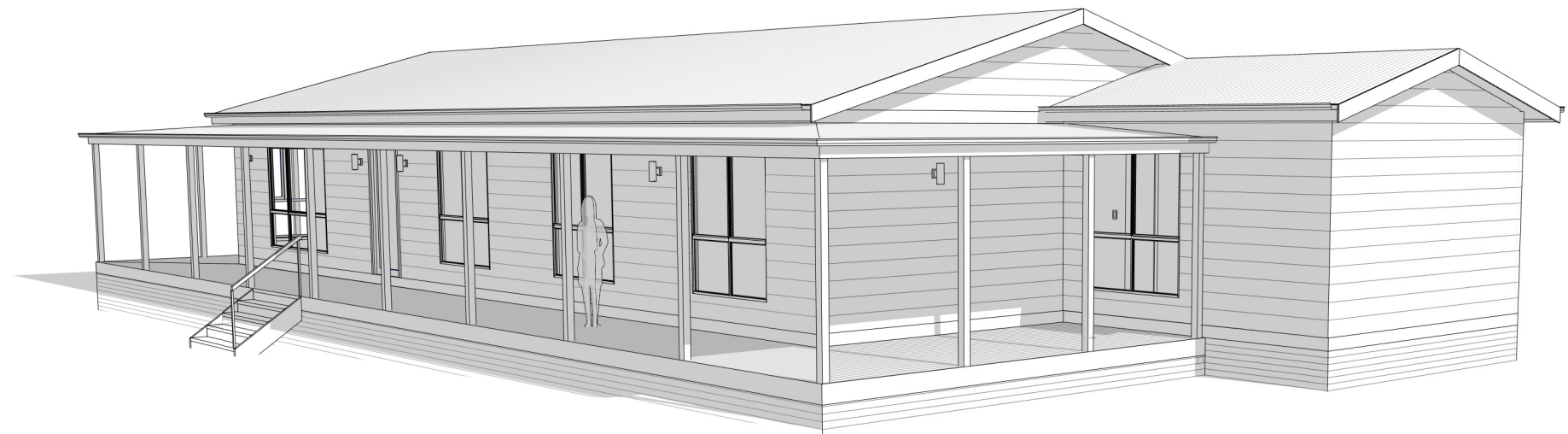
 <b>manor</b> BUILT FOR LIVING.
PO BOX 1416 GOSFORD NSW 2250 AUSTRALIA t 02 4340 8300 f 02 4340 2080 e info@manor.net.au w www.manor.net.au

<b>drawing:</b> 3D Views	<b>drawing no:</b> MG4934V2
<b>drawn by:</b> DJP	<b>Date:</b> 15/7/2021
<b>scale:</b>	<b>no. of sheets:</b> 7 of 9
<b>job no:</b> Project Status	<b>revision no:</b> 3

<b>no. of sheets:</b> 7 of 9	<b>revision no:</b> 3
---------------------------------	--------------------------



Perspective 3



Perspective 4

© Manor Group

No.	Description	Date	By
2	Roof pitch & raked ceilings	2/8/2021	DJP
3	Street Address adjusted	3/9/2021	DJP

BUILDER TO CHECK AND VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT OF WORK.

COPYRIGHT OF THE DESIGN AND INFORMATION SHOWN HERE IS OWNED BY THE MANOR GROUP. REPRODUCTION OR USE OF THE DESIGN BY ANY PARTY FOR ANY PURPOSE IS EXPRESSLY FORBIDDEN WITHOUT THE WRITTEN PERMISSION OF THE COMPANY.

**job:**  
Proposed Residence

**client:**  
Hill & Mitcherson

**Amended 'The Lochinvar - Standard'**

**address:** '29 Peru Lane Gulgong NSW 2852



PO BOX 1416 GOSFORD NSW 2250 AUSTRALIA  
 t 02 4340 8300 f 02 4340 2080  
 e info@manor.net.au w www.manor.net.au

**drawing:**  
3D Views

**drawn by:** DJP

**scale:**

**no. of sheets:** 8 of 9

**job no:** Project Status

**drawing no:**  
MG4934V2

Date: 15/7/2021

revision no: 3