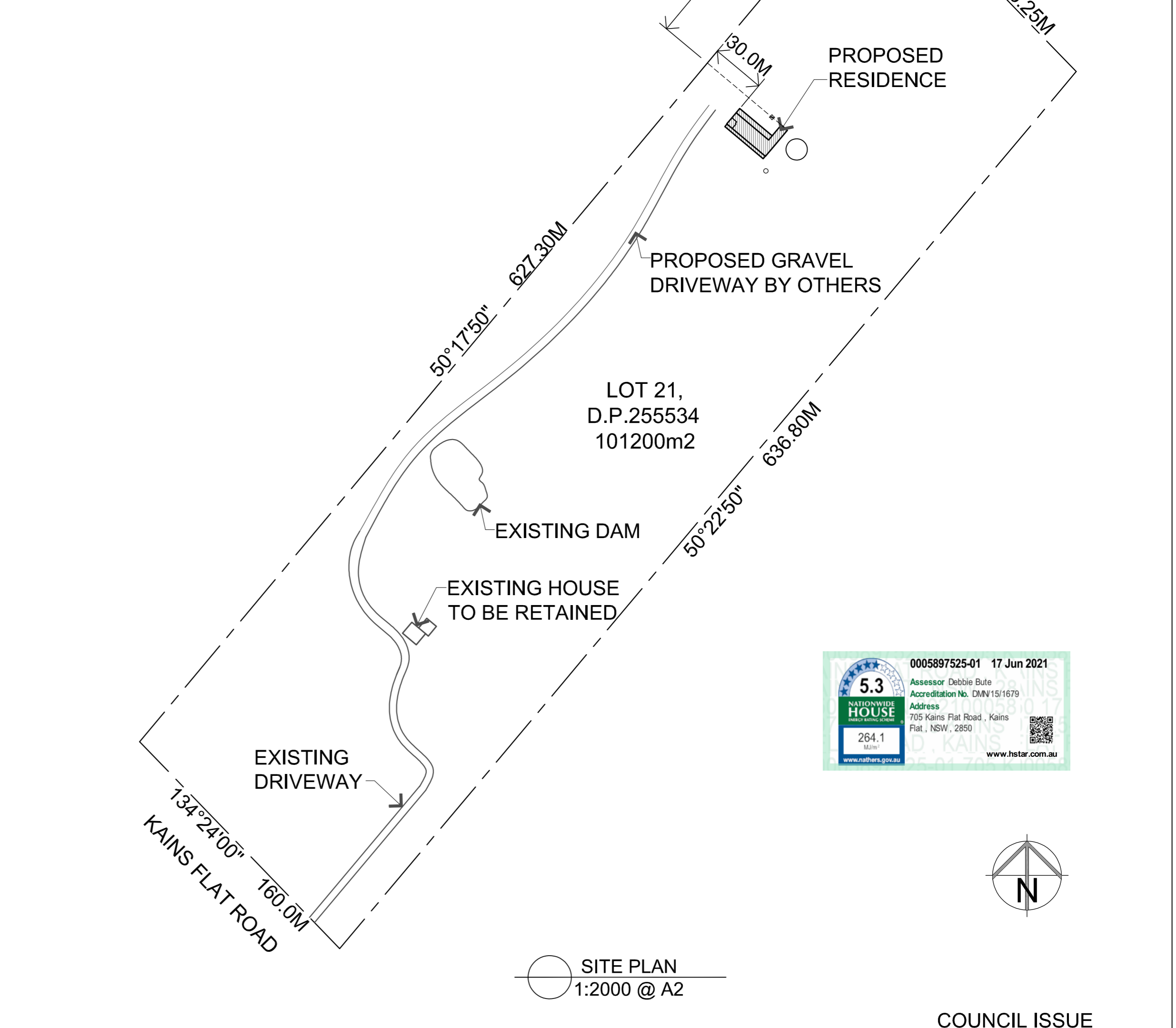
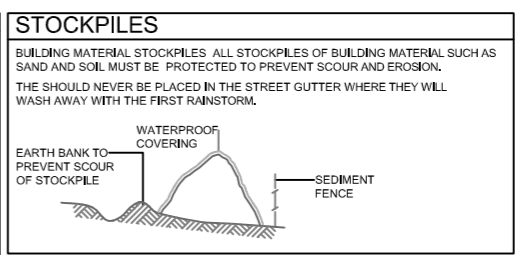


- DUST CONTROL**
- NOTE: DURING EXCAVATION, DEMOLITION AND CONSTRUCTION, ADEQUATE MEASURES SHALL BE TAKEN TO PREVENT DUST FROM AFFECTING THE AMENITY OF THE NEIGHBOURHOOD.
- THE FOLLOWING MEASURES MUST BE ADOPTED:
1. PHYSICAL BARRIERS SHALL BE ERECTED AT RIGHT ANGLES TO PREVENT WIND DIRECTION OR SHALL BE PLACED AROUND OR OVER DUST SOURCES TO PREVENT WIND OR ACTIVITY FROM GENERATING DUST.
  2. EARTHWORKS AND SCHEDULING ACTIVITIES SHALL BE MANAGED TO COINCIDE WITH THE NEXT STAGE OF DEVELOPMENT TO MINIMISE THE AMOUNT OF TIME THE SITE IS LEFT TO CUT OR EXPOSED.
  3. ALL MATERIALS SHALL BE STORED OR STOCKPILED AT THE BEST LOCATIONS.
  4. THE GROUND SURFACE SHOULD BE DAMPENED SUFFICIENTLY TO PREVENT DUST FROM BECOMING AIRBORNE BUT SHOULD NOT BE WET TO THE EXTENT THAT RUNOFF OCCURS.
  5. ALL VEHICLES CARRYING SOIL OR RUBBLE TO OR FROM THE SITE SHALL AT ALL TIMES BE COVERED TO PREVENT THE ESCAPE OF DUST.
  6. ALL EQUIPMENT WHEELS SHALL BE WASHED BEFORE EXITING THE SITE USING MANUAL OR AUTOMATED SPRAYERS AND DRIVE-THROUGH WASH BAYS.
  7. GATES SHALL BE CLOSED BETWEEN VEHICLE MOVEMENTS SHALL BE FITTED WITH SHADE CLOTH.
  8. CLEANING OF FOOTPATHS AND ROADS SHALL BE CARRIED OUT DAILY.
  9. ALL BUILDERS REFUSE, SPILL AND/OR MATERIAL UNFIT FOR USE IN LANDSCAPE AREAS SHALL BE REMOVED FROM SITE ON COMPLETION OF THE BUILDING WORKS.



0005897525-01 17 Jun 2021

Assessor Debbie Bute  
Accreditation No. DMN15/1679  
Address  
705 Kains Flat Road, Kains  
Flat, NSW, 2850

264.1  
Miles

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**LEVELS**  
ALL LEVELS INDICATED ARE ASSUMED.  
CONFIRM LEVELS ON SITE.

DESIGNED FOR:	
WIND SPEED LOAD	'N3'
BUSHFIRE ATTACK LEVEL	'BAL-19'

NOTE: ALL SETBACKS FROM BOUNDARIES TO BE CONFIRMED ON SITE.

NOTE: SUBJECT SITE IS VACANT LAND WITH ESTABLISHED TREES. BUILDING ENVELOPE TO BE LEVELED AND CLEARED OF ANY OBSTRUCTIONS PRIOR TO COMMENCEMENT OF ANY BUILDING WORKS.



REV:	DATE	DESCRIPTION
B	16/06/2021	COUNCIL ISSUE
A	28/05/2021	PRELIMINARY ISSUE - NOT FOR COUNCIL SUBMISSION

DESIGNED AND SUPPLIED BY		SCALE	1:200,1:2000@A1
PAAL Homes Pty Ltd		PRINTED ON	16/06/2021
P.O Box 290 Penrith NSW 2751 Ph: (02) 4735 4377 Copyright PAAL Homes 2021		DRAWN	J.D.
		DATE	28/05/2021
ISSUE	B	DRAWING No:	1/6
		JOB No:	M5717

**COUNCIL ISSUE**

PROPOSED NEW RESIDENCE FOR:

Mr J. Grosse  
at  
Lot 21, DP 255534  
No.705 Kains Flat Road,  
Kains Flat, N.S.W. 2850

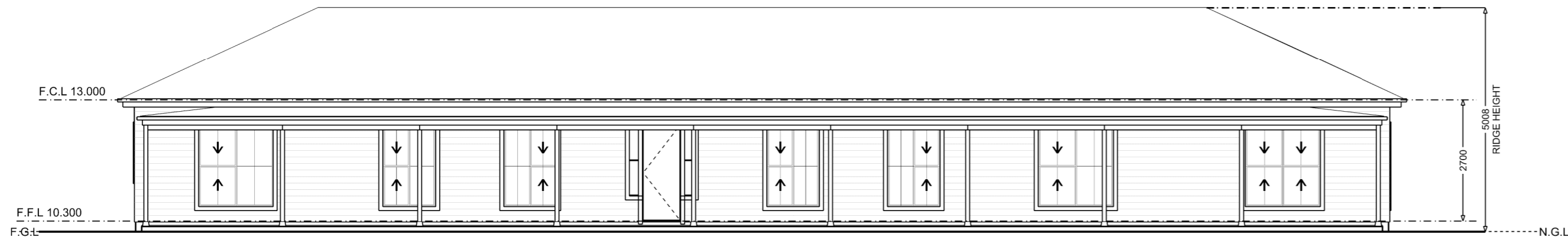
EXTERNAL MATERIAL FINISHES AND COLOURS

COLORBOND CORRUGATED ROOFING - SHALE GREY  
 WINDOWS - PEARL WHITE  
 EXTERNAL CLADDING - PRIMELINE NEWPORT

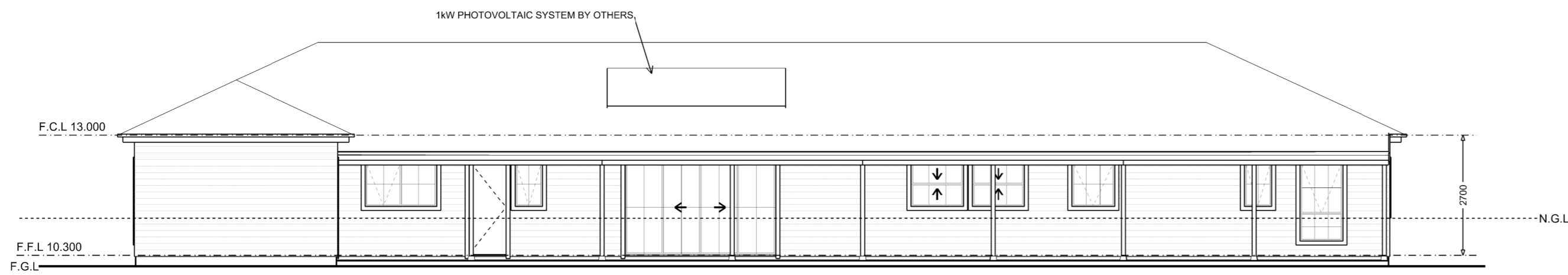
LEVELS

ALL LEVELS INDICATED ARE ASSUMED.  
 CONFIRM LEVELS ON SITE.

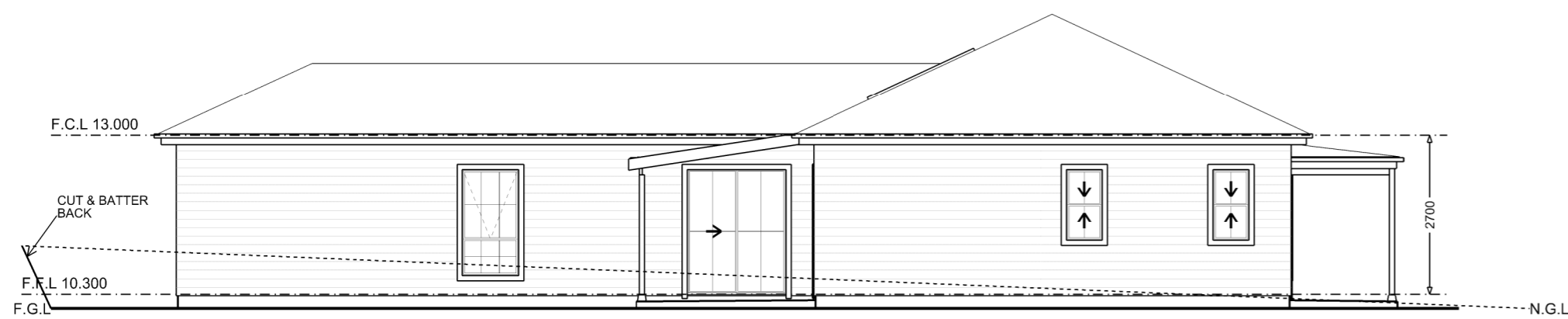
DESIGNED FOR  
 WIND SPEED LOAD N3  
 FIRE RATING BAL 19



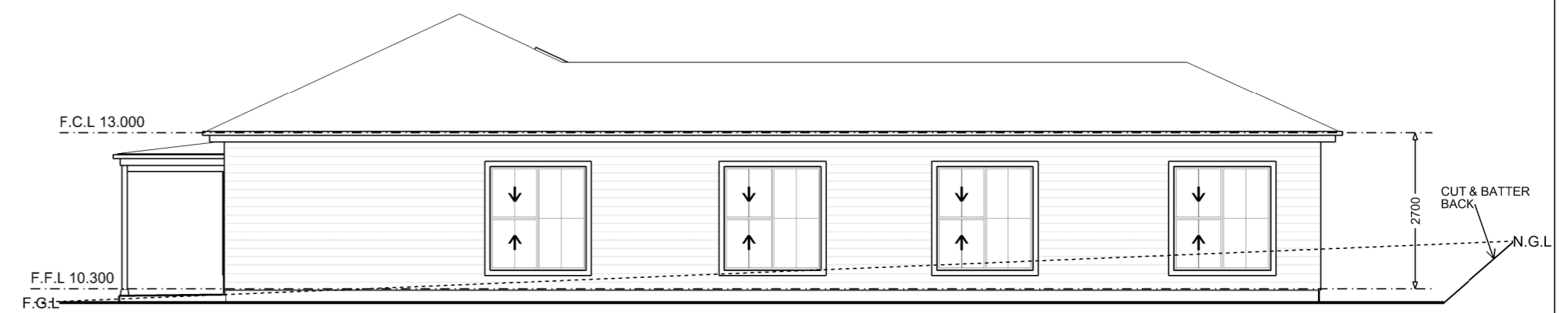
S.W Elevation



N.E Elevation



N.W Elevation



S.E Elevation



			DESIGNED AND SUPPLIED BY PAAL Homes Pty Ltd	SCALE 1:100 on A2	COUNCIL ISSUE PROPOSED NEW RESIDENCE FOR Mr J. & Mrs A. Grosse at Lot 21, D.P. 255534, No. 705 Kains Flat Road, Kains Flat, N.S.W. - 2850	
			P.O Box 290 Penrith NSW 2751	PRINTED ON 16-06-2021		
			Ph: (02) 4735 4377	DRAWN J.D		
			Copyright PAAL Homes 2021	E.V 21 (2.1.803)		
REV	DATE	DESCRIPTION		Issue B		DWG No. 3/6
B	16-06-2021	COUNCIL ISSUE				
A	28-05-2021	PRELIMINARY ISSUE - NOT FOR COUNCIL SUBMISSION				

SCHEDULE OF BASIX COMMITMENTS

WATER COMMITMENTS

FIXTURES

The applicant must install showerheads with a minimum rating of 3 star (> 7.5 but <= 9 L/min) in all showers in the development. The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development. The applicant must install taps with a minimum rating of 4 star in the kitchen in the development. The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.

ALTERNATIVE WATER

The applicant must install a rainwater tank of at least 100000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities. The applicant must configure the rainwater tank to collect rain runoff from at least 409 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam). The applicant must connect the rainwater tank to:

- \* All Toilets in the development
- \* the cold water tap that supplies each clothes washer in the development
- \* At least one outdoor tap in the development
- \* All hot water systems in the development
- \* All indoor cold water taps(excluding taps that supply clothes washers) in the development

THERMAL COMMITMENTS

SIMULATION METHOD

The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.

ENERGY COMMITMENTS

HOT WATER

The applicant must install the following hot water system in the development, or a system with a higher energy rating: Gas Instantaneous with a performance of: 5 Star

COOLING SYSTEM

The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase Air Conditioning; Energy Rating: EER 3.5 - 4.0 The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase Air Conditioning; Energy Rating: EER 3.5 - 4.0

HEATING SYSTEM

The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase Air conditioning ; Energy Rating: EER 3.5 - 4.0 The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase Air conditioning ; Energy Rating: EER 3.5 - 4.0

VENTILATION

The applicant must install the following exhaust systems in the development:

- At least 1 Bathroom: Individual Fan, ducted to facade or roof, Operation control: Manual On/Off
- Kitchen: Individual Fan, ducted to facade or roof, Operation control: Manual On/Off
- Laundry: Natural Ventilation only, Operation control: n/a

ARTIFICIAL LIGHTING

The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:

- \* at least 7 of the bedrooms / study, "dedicated"
- \* at least 2 of the living / dining rooms, "dedicated"
- \* the kitchen, "dedicated"
- \* all bathrooms/toilets, "dedicated"
- \* the laundry, "dedicated"

NATURAL LIGHTING

The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting. The applicant must install a window and/or skylight in 2 bathroom(s)/toilet(s) in the development for natural lighting.

ALTERNATIVE ENERGY

The applicant must install a photovoltaic system with the capacity of at least 1 peak kilowatts of electricity as part of the development. The applicant must connect this to the development's electrical system.

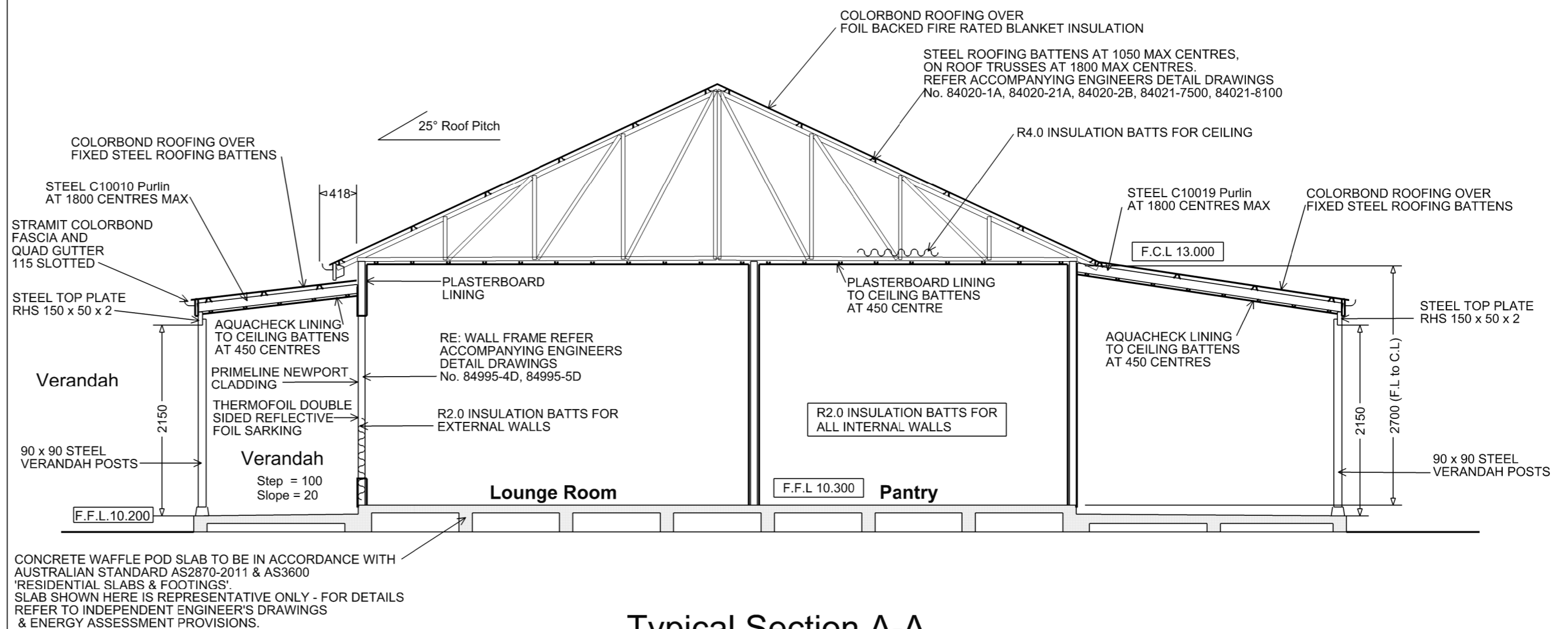
OTHER

The applicant must install a Gas cooktop & Electric oven in the kitchen of the dwelling. The applicant must install a fixed outdoor clothes drying line as part of the development.

BAL - 19 STANDARD SPECIFICATIONS:

The following specification is a summary of Section 6.1, Bal 19 Construction requirements, of Australian Standard AS3959 'Construction of Buildings in Bushfire Prone Areas'. Refer to the principle document for further information as required.

- \* External walls:- shall be of a non-combustible material, i.e. fibre cement (min 6mm thick), bushfire-resisting timber, masonry, or the like for a minimum of 400mm from the ground, or above decks, carport roofs, awnings and similar elements.
- \* Joints:- All joints in the external surface shall be covered, sealed, overlapped or butt jointed to prevent gaps greater than 2mm.
- \* Vents and weepholes"- shall be screened with a mesh with a maximum aperture of 2mm, made of corrosion resistant steel.
- \* Windows:- window assemblies less than 400mm from the ground or less than 400mm above a deck, shall be made of bush-fire resisting timber or metal. Glazing to similarly positioned windows shall be a minimum of 5mm Grade A safety glass. The openable portion of all windows shall be screened internally or externally with screens that comply with the following :-
- \* Window flyscreens - shall be screened with a mesh with a maximum aperture of 2mm, made of corrosion resistant steel. The frame supporting the screen shall be made of metal.
- \* External Doors and door frames:- Doors shall be non-combustible; or, a solid timber, laminated timber, or reconstituted timber door, having a minimum thickness of 35mm for the first 400mm above the ground or landing. Fully glazed doors shall be framed with a non-combustible material or a bushfire resisting material. Glazing shall be as specified for windows. Doors shall be tight fitting to the door frame or an abutting door. Any part of the door frame less than 400mm from the ground or less than 400mm above a deck, shall be made of bush-fire resisting timber or metal. Weather strips, draught excluders or draught seals shall be installed at the base of side hung external doors.
- \* Vehicle Access doors:- The lower portion of a vehicle access door (where applicable) that is within 400mm of the ground when the door is closed shall be made of a non-combustible material, bush-fire resisting timber, or fibre cement sheet with a minimum of 6mm thickness. Panel lift or tilt doors shall be fitted with suitable weather strips, draught excluders, draught seals or guide tracks with a maximum gap of no more than 2mm. Roller doors shall have guide tracks with a maximum gap no greater than 2mm and shall be fitted with a nylon brush that is in contact with the door. Vehicle access doors shall not include ventilation slots.
- \* Sheet roofs- shall be fully sarked with the sarking to cover the entire area including ridges and hips. Any gaps greater than 2mm shall be sealed at the fascia, wall line, valleys, ridges and hips by mineral wool or other non-combustible material.
- \* Roof penetrations:- Roof penetrations, including roof lights, roof ventilators or vent pipes, etc, shall be adequately sealed at the roof to prevent gaps greater than 3mm. The material used to seal the penetration shall be non-combustible.
- \* Eaves linings, fascias and gables:- Joints in eave linings, fascias and gables may be sealed with plastic jointing strips or timber storm moulds. Eave penetrations greater than 3mm shall be covered or fitted with ember guards made of a non-combustible material or a mesh with a maximum aperture of 2mm made of a non-corrosive steel.
- \* Gutters and downpipes:- If installed, gutter and valley leaf guards shall be non-combustible.
- \* Verandahs, decks and the like. Shall be of masonry, or, where elevated, to local Council or Certifier assessment guidelines. \* Refer to the conditions of approval.



Typical Section A-A

DESIGNED FOR

WIND SPEED LOAD	N3
FIRE RATING	BAL 19

LEVELS

ALL LEVELS INDICATED ARE ASSUMED. CONFIRM LEVELS ON SITE.

SARKING COMPLIANCE

WALL SARKING MATERIAL TO COMPLY WITH AS/NZS 4200.1 AND BCA PART 3.8.7.2(a) iii AND BE INSTALLED IN ACCORDANCE WITH AS/NZS 4200.2

PLEASE NOTE

A MINIMUM 75 mm OF EXPOSED CONCRETE (ABOVE EXTERNAL FINISHED SURFACE) TO BE MAINTAINED AROUND BUILDING.

WHITE ANT PROTECTION SUBJECT TO COUNCIL REQUIREMENTS.

FIRE COMPLIANCE

ALL CONSTRUCTION METHODS, MATERIALS AND GLAZING TO BE DESIGNED TO COMPLY WITH AS3959-2018 BUSH FIRE CAT BAL 19 (S.W ) BAL 19 (N.E ) BAL 19 (N.W ) BAL 19 (S.E )

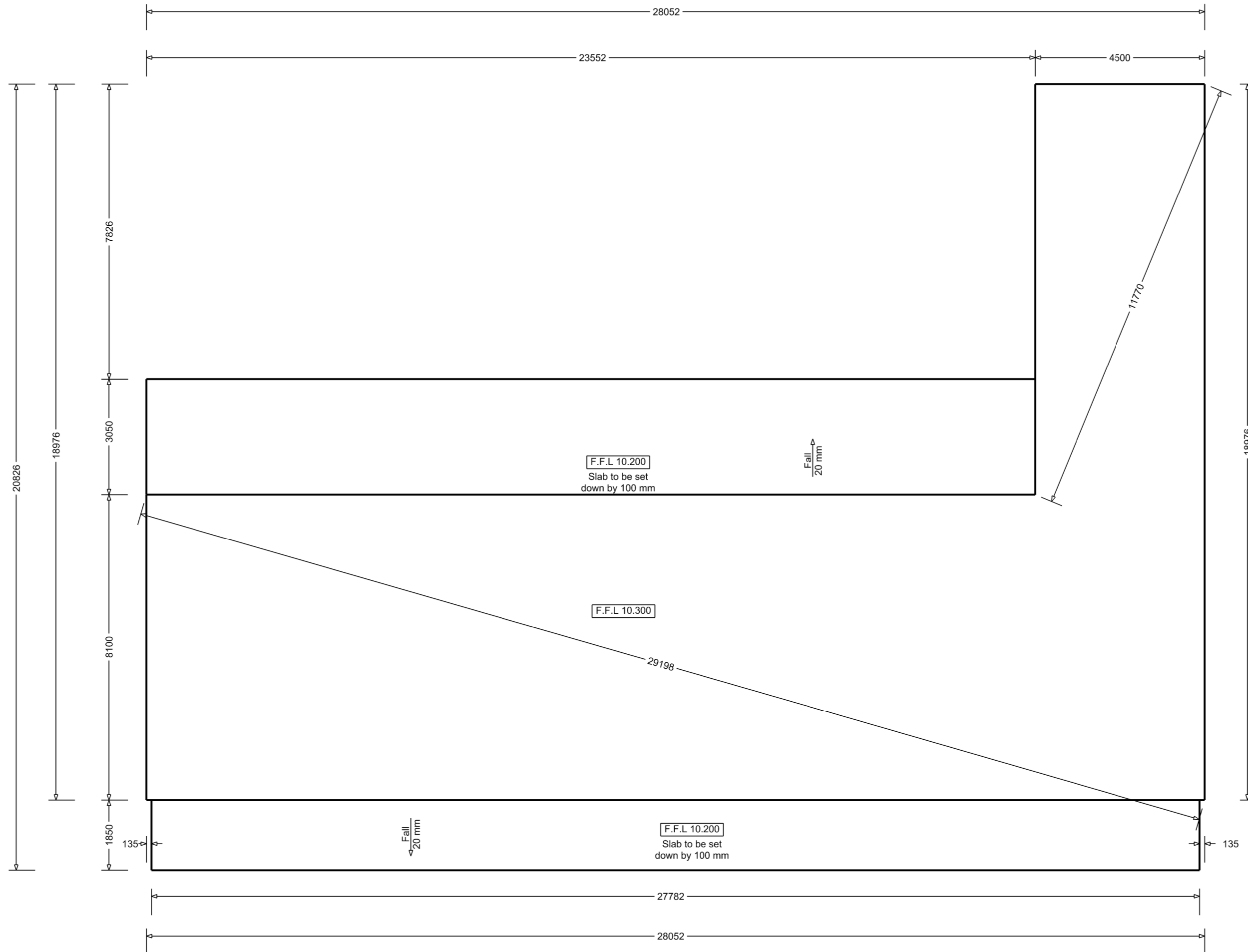
'CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS' AND PART 3.10.5 OF THE BCA (CURRENT EDITION) 'BUSHFIRE AREAS'.



			DESIGNED AND SUPPLIED BY	SCALE	1:50 on A2	PROPOSED NEW RESIDENCE FOR		
			PAAL Homes Pty Ltd	PRINTED ON	16-06-2021	Mr J. & Mrs A. Grosse at		
			P.O Box 290 Penrith NSW 2751	DRAWN	J.D	Lot 21, D.P. 255534,		
			Ph: (02) 4735 4377	E.V	26 (2.1.803)	No. 705 Kains Flat Road,		
			Copyright PAAL Homes 2021	Issue	B	DWG No.	4/6	
				JOB No.	M5717	Kains Flat,		
B	16-06-2021	COUNCIL ISSUE						N.S.W. - 2850
A	28-05-2021	PRELIMINARY ISSUE - NOT FOR COUNCIL SUBMISSION						
REV	DATE	DESCRIPTION						

**IMPORTANT**

CONCRETER TO ENSURE ANY SET DOWNS IN THE FLOOR SLAB MATCH THE LEVELS SHOWN ON THE PAAL CONCRETE SLAB SETOUT PLAN. PAAL WALL FRAMES ARE MANUFACTURED TO SUIT THESE LEVELS.  
PAAL NEEDS TO BE INFORMED OF ANY CHANGES FROM THE LEVELS NOMINATED.  
FAILURE TO DO SO WILL RESULT IN DELAYS AND COMPLICATIONS IN CONSTRUCTION.

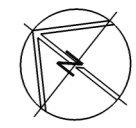


**Slab Layout Plan**

**LEVELS**

ALL LEVELS INDICATED ARE ASSUMED.  
CONFIRM LEVELS ON SITE.

CONCRETE SLAB TO BE IN ACCORDANCE WITH AUSTRALIAN STANDARD AS2870-2011 & AS3600 'RESIDENTIAL SLABS & FOOTINGS'



COUNCIL ISSUE

			DESIGNED AND SUPPLIED BY <b>PAAL Homes Pty Ltd</b>	SCALE 1:100 on A2	PROPOSED NEW RESIDENCE FOR Mr J. & Mrs A. Grosse at Lot 21, D.P. 255534, No. 705 Kains Flat Road, Kains Flat, N.S.W. - 2850
			P.O Box 290 Penrith NSW 2751	PRINTED ON 16-06-2021	
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REV	DATE	DESCRIPTION		Issue <b>B</b>	DWG No. <b>5/6</b>
B	16-06-2021	COUNCIL ISSUE		JOB No. <b>M5717</b>	
A	28-05-2021	PRELIMINARY ISSUE - NOT FOR COUNCIL SUBMISSION			

NOTE:

IF CONTEMPLATING USING WALL HUNG VANITIES, PLEASE ADVISE YOUR PLUMBER PRIOR TO DRAINAGE INSTALLATION, AS THE VANITY DRAINAGE WILL NEED TO BE LOCATED INSIDE THE WALL FRAME AND SOME ON-SITE ADJUSTMENT MAY BE NEEDED. WE RECOMMEND USING A 100 mm PIPE WITH A 40 mm REDUCER.

NOTE:

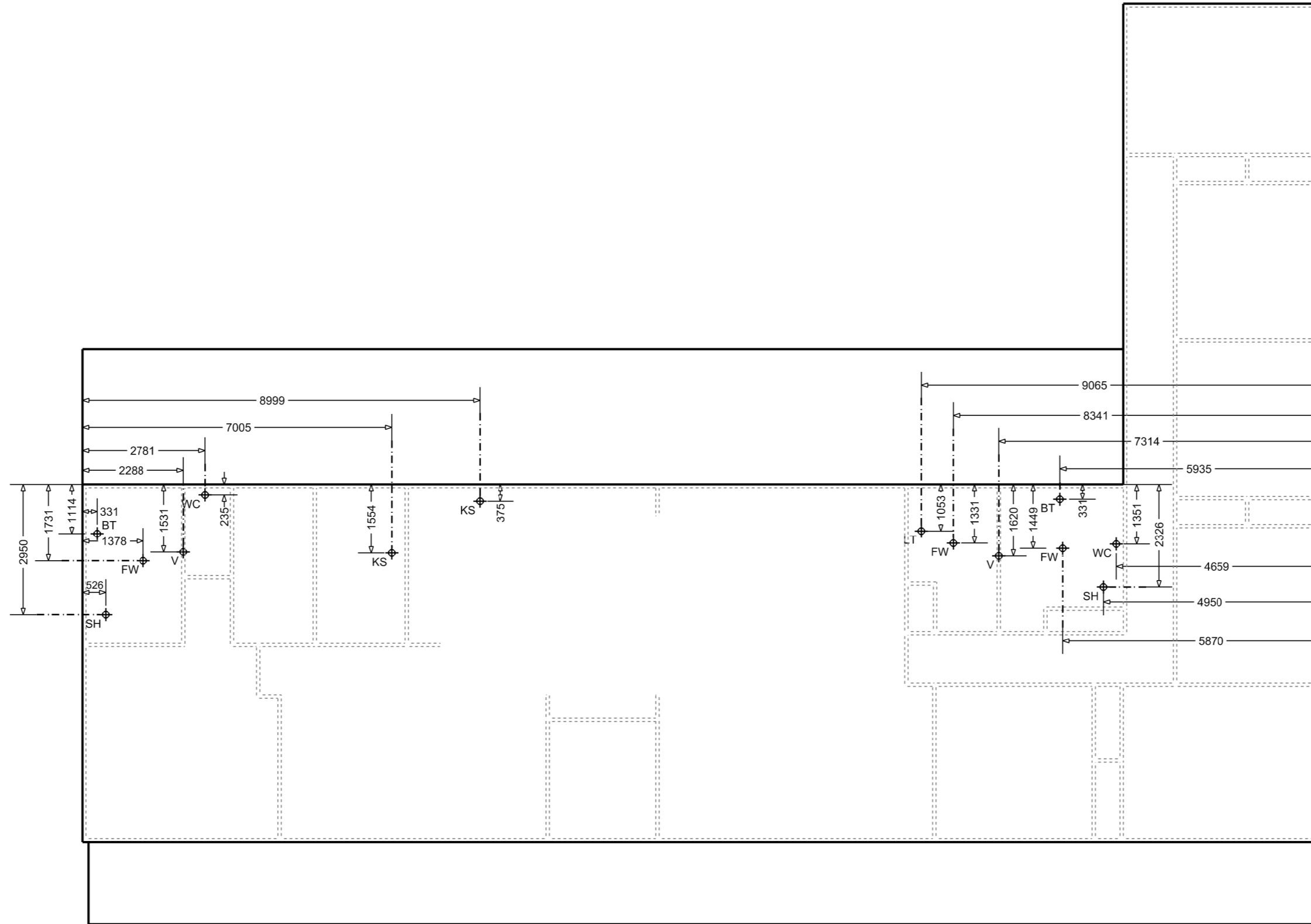
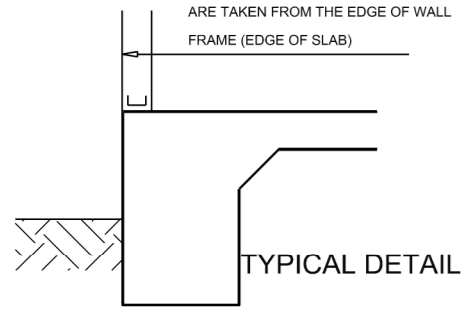
OUTLET DIMENSIONS FOR ALL VANITY & BATH-TUB UNITS ARE FOR PAAL HOMES STANDARD P.C. INCLUSIONS. BUILDER IS TO CHECK AND CONFIRM DIMENSIONS OF ANY OTHER FITTING SELECTED BY OWNER OTHER THAN PAAL STANDARD.

FLOOR WASTE OUTLETS

FW	FLOOR WASTE
WC	TOILET WASTE
SH	SHOWER WASTE
BT	BATH TUB WASTE
LT	LAUNDRY TUB WASTE
KS	KITCHEN SINK WASTE
V	VANITY WASTE

ALL PLUMBING OUTLET DIMENSIONS

ARE TAKEN FROM THE EDGE OF WALL FRAME (EDGE OF SLAB)



### Slab Penetration Plan

0005897525-01 17 Jun 2021

Assessor Debbie Bute  
Accreditation No. DMN151/1679

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705 Kains Flat Road, Kains  
Flat, NSW, 2850

264.1  
M2018

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COUNCIL ISSUE

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				E.V 23 (2.1.803)		
B	16-06-2021	COUNCIL ISSUE		Issue B	DWG No. 6/6	JOB No. M5717
A	28-05-2021	PRELIMINARY ISSUE - NOT FOR COUNCIL SUBMISSION				
REV	DATE	DESCRIPTION				