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Specification

General

- Design & Construct drawings prepared on the basis of DA approved drawings and the client supplied Design Brief.
- Dimensions are in millimetres unless otherwise noted.
- All dimensions shall be verified on site by contractor prior to commencement of any works.
- Figured dimensions take precedence over scaled.
- Do not scale off drawings.
- It is the responsibility of the builder to verify documents as to their accuracy and suitability.
- These plans are to be read in conjunction with Engineer's details.
- NCC refers to the National Construction Code - Volume 1, Building Code of Australia, Class 2 to 9 Buildings
- All discrepancies are to be referred to designer for action.
- Ground levels shown are subject to preliminary survey only and as such final levels and confirmation of same remains the contractors responsibility.
- No liability will be accepted due to failure to observe & implement any of the above.

Statutory Requirements

- All work to be carried out in accordance with the BCA, conditions imposed by the local authority and the commitments outlined in the relevant Part J Assessment.
- The builder is to comply with the requirements of all legally constituted authorities having jurisdiction over the building works.
- Soil & sediment erosion control in accordance with requirements of the department of land & water conservation are to be put into place prior to commencement of building works.
- Prior to the commencement of building work, the builder shall provide temporary toilet facilities for the use of subcontractors. On completion the builder shall remove the amenity.

BCA Requirements

- All materials shall comply with Section B - Structure of the NCC.
- All materials & assembly materials & structure must comply with Specification C1.10 of the NCC.
- All selected floor coverings to comply with Clause C1.10 of the NCC. A compliance report is to be provided to Council prior to granting of the Occupation Certificate in accordance with this Clause.
- All wet area floors are to be graded and drained to floor wastes to NCC & plumbing codes.
- An approved impervious wall/floor joints is to be provided to the perimeter of all wet areas to NCC & Council requirements.
- The electricity supply system must comply with Clause C2.13 of the NCC.
- All services penetrating building elements required to have an FRL are to be done so in accordance with NCC Clause C3.15 Openings for service installations.
- All construction joints, spaces and the like in and between building elements required to be protected are to be done so in accordance with NCC Clause C3.16 Construction Joints.
- Exits must be constructed in accordance with Part D1 of the NCC
- The unobstructed height of the exit path must not be less than 2m in accordance with NCC Clause D1.6a.
- The unobstructed width of the exit path must not be less than 1m in accordance with NCC Clause D1.6b.
- The stair, handrails & balustrades shall comply with Part D2 'Construction of exits' of the NCC.
- Doors & operation of latches are to comply with Parts D2.19, D2.20 & D2.21 of the NCC.
- All accessible doors shall have a luminance contrast in accordance with AS 1428.1 - 2009 Clause 13.1 Luminance contrast.
- Thresholds shall comply with Clause D2.15(d) of the NCC.
- Location of services & equipment must comply with Clause D2.7(d) of the NCC.
- All full height glazing to have visual indicators in accordance with BCA 2016 Clause D3.12 Glazing on an accessway.
- Enclosure of space under Non fire-isolated stairs to comply with NCC Clause D2.8b.i. Enclosing walls and ceilings to have an FRL of not less than 60/60/60; and, ii. access doorway to the enclosed space to be fitted with a self-closing -/60/30 fire door
- Disabled access is to comply with AS1428.1.
- Accessible facilities, services & features are to comply with Clause D3.6 of the NCC.
- Tactile indicators are to be provided to comply with Clause D3.8 of the NCC.
- Certificates relating to essential services (list to come from Council) shall be submitted pursuant to Section E of the NCC.
- Exits are not to be locked at point of discharge.
- An automatic smoke detection and alarm system complying with Specification E2.2a and Clause E2.2a General Requirements of the NCC.
- An emergency lighting system is to be provided in accordance with AS 2293.1 and Clause E4.2 of the NCC.
- Exit signage must be supplied and operated in accordance with Clauses E4.5 & E4.8 of the NCC.
- Directional signage must be installed in accordance Clause E4.6 of the NCC.
- Fire precautions during construction shall be undertaken in accordance with section E, Clause E1.9 of the NCC.
- All stormwater drainage work shall be carried out to comply with Clause F1.1 of the NCC & AS/NZ 3500.3.
- All roof coverings to be installed in accordance with Clause F1.5 of the NCC & AS/NZ 1562.1.
- All Sarking to be provided and installed in accordance with Clause F1.6 of the NCC.
- Wet area waterproofing shall be carried out in accordance with Clause F1.7 of the NCC.

- All damp-proofing to be carried out in accordance with Clauses F1.9 & F1.10 of the NCC.
- All wet area floors are to be graded and drained to floor wastes in accordance with Clause F1.11 of the NCC.
- To comply with Clause F1.13 & Part J2 of the BCA, window and door frame and glazing qualities are to be supplied in accordance with the Glazing calculator attached to the BCA Part J Assessment.
- Adequate means of disposal of sanitary towels must be provided in sanitary facilities for use by female in accordance with Clause F2.3 Facilities in Class 3 to 9 buildings of the NCC.
- Disabled toilets & the fit out of the same are to comply with Part F2.4 of the NCC & AS1428.1.
- An accessible unisex sanitary compartment must contain a closet pan, washbasin, shelf, or bench top and adequate means of disposal of sanitary towels in accordance with Clause F2.4d Accessible sanitary facilities of the NCC.
- The circulation spaces, fixtures and fittings of all accessible sanitary facilities must comply with Clause F2.4d Accessible sanitary facilities of the NCC and AS1428.1
- Artificial lighting must be provided in accordance with Clause F4.4a and b of Artificial lighting.
- The ventilation of each room is to comply with Clause F4.5 of the NCC. The proposed mechanical ventilation system is to comply with AS 1688.2 and AS/NZS 3666.1.

Signage must be provided in accordance with BCA 2015 Clause D3.6 Signage In a building required to be accessible—

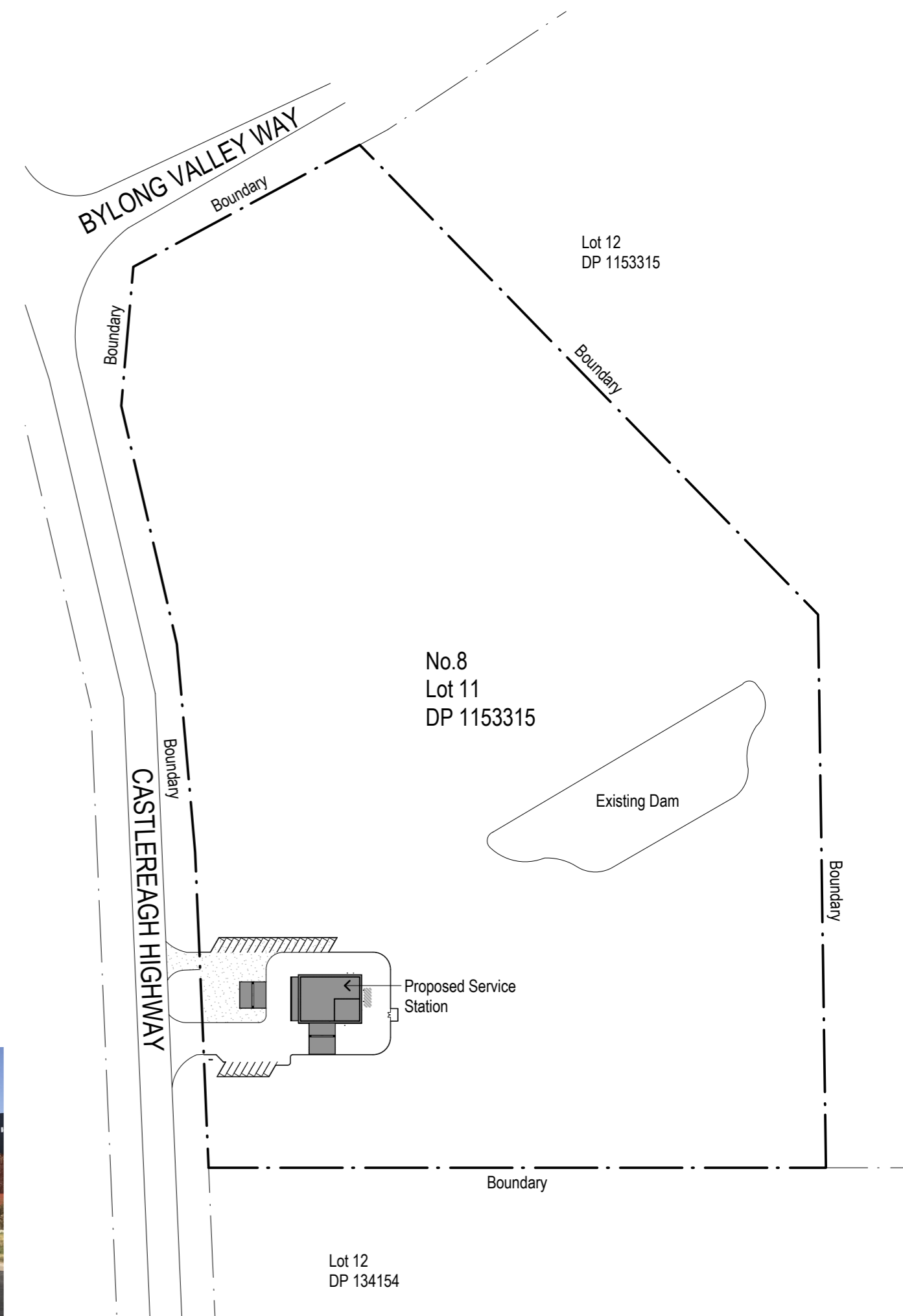
- (a) braille and tactile signage complying with Specification D3.6 must -
- (i) incorporate the international symbol of access or deafness, as appropriate, in accordance with AS 1428.1 must identify each -
- (A) sanitary facility, except a sanitary facility within a sole-occupancy unit in a Class 1b or Class 3 building; and
- (B) space with a hearing augmentation system; and
- (ii) identify each door required by E4.5 to be provided with an exit sign and state -
- (A) "Exit" and
- (B) "Level" followed by the floor level number; and
- (b) signage including the international symbol for deafness in accordance with AS 1428.1 must be provided within a room containing a hearing augmentation system identifying -
- (i) the type of hearing augmentation; and
- (ii) the area covered within the room; and
- (iii) if receivers are being used and where the receivers can be obtained; and
- (c) signage in accordance with AS 1428.1 must be provided for accessible unisex sanitary facilities to identify if the facility is suitable for left or right handed use; and
- (d) signage to identify an amulent accessible sanitary facility in accordance with AS 1428.1 must be located on a door of the facility; and
- (e) where a pedestrian entrance is not accessible, directional signage incorporating the international symbol of access in accordance with AS 1428.1 must be provided to direct the person to the location of the nearest accessible pedestrian entrance; and
- (f) where a bank of sanitary facilities is not provided with an accessible unisex sanitary facility, directional signage incorporating the international symbol of access in accordance with AS1428.1 must be placed at the location of the sanitary facilities that are not accessible, to direct a person to the location of the nearest accessible unisex sanitary facility



Colour Scheme



Colour Scheme



Site Plan
Scale 1:2000

Date	Issue	Amendment	Date	Issue	Amendment
29/07/21	A		29/07/21	A	Issued for comment
20/08/21	B		20/08/21	B	Issued for comment
06/09/21	C		06/09/21	C	Issued for comment
14/09/21	D		14/09/21	D	Issued for final comment
16/09/21	E		16/09/21	E	ISSUED FOR APPROVAL
20/09/21	F		20/09/21	F	Truck Manoeuvring Diagrams

Legend

- A Aluminium
- B Basin
- BDRY Boundary
- BPB Bagged & Painted Brickwork
- BV Brick Veneer
- CL Ceiling Level
- CONC Concrete
- CP Concrete Paver
- CPT Carpet
- CRS Corrugated Roof Sheetting
- CS Cavity Sliding Door
- CT Ceramic Tile
- DH Double Hung
- DP Downpipe
- EMB Electrical Meterboard
- ENS Ensuite
- FB Face Brick
- FC Fibre Cement
- FFL Finished Floor Level
- F Fixed Glass
- FW Floor Waste
- GM Gas Meter
- HC Hollow Core
- HWS Hot Water Service
- LDRY Laundry
- MH Manhole
- PB Plasterboard
- PFC Painted Fibre Cement
- O Fixed Panel
- OG Obscure Glass
- REF Refrigerator
- RH Rangehood
- RL Reduced Level
- RWT Rain Water Tank
- SC Solid Core
- SD Sliding Door
- SHR Shower
- SS Stainless Steel Sink
- SV Stone Veneer
- T Tub
- TC Texture Coated Hebel
- TYP Typical
- UBO Under Bench Oven
- WC Water Closet
- W Water Meter
- WM Washing Machine
- X Sliding panel

Car Parking

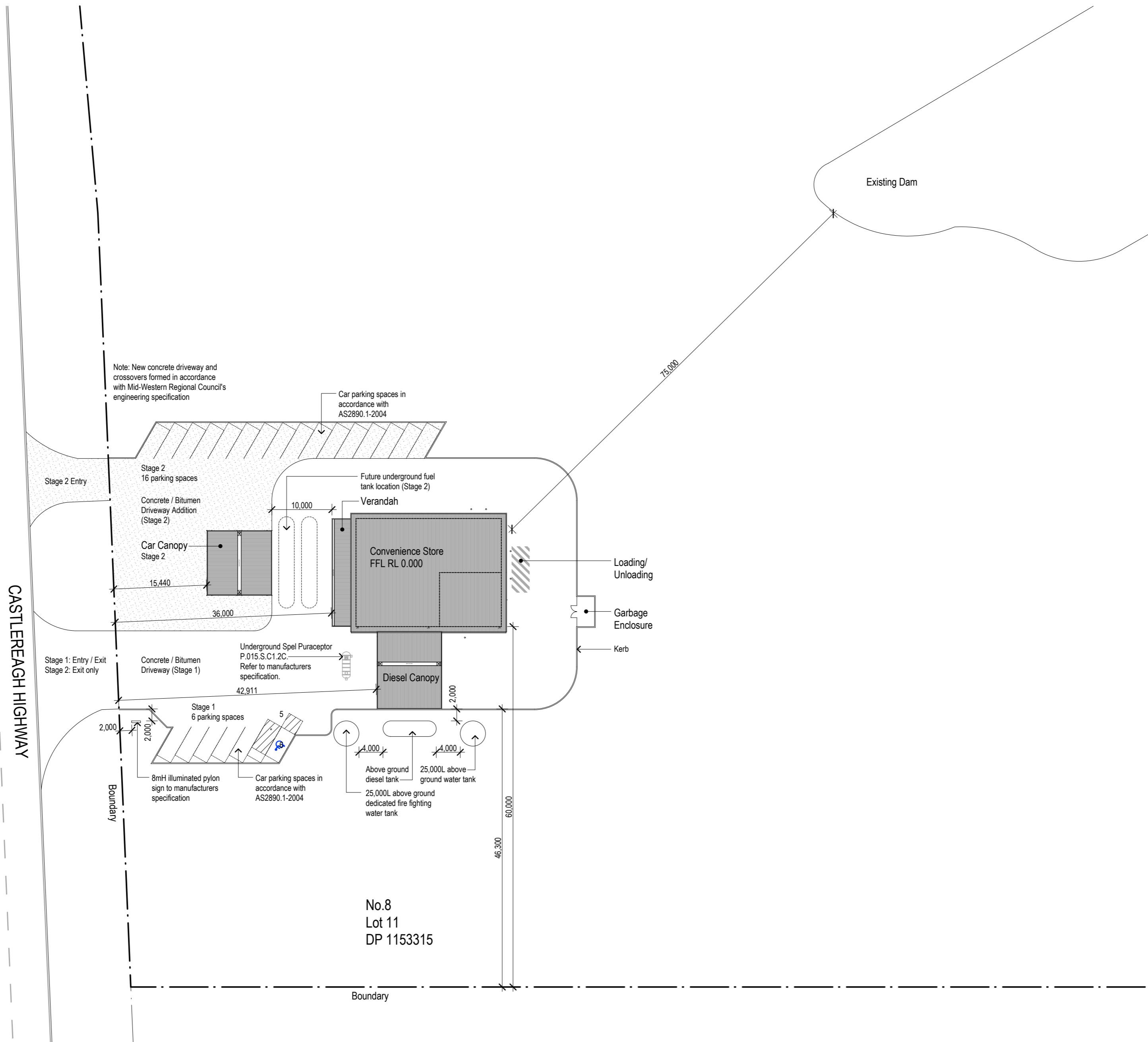
Service Stations and Highway Service Centres:
6 spaces per service bay (including automatic car wash bay) plus 2 driveway spaces per fuel bowser.

Car parking spaces required (Stage 1): 6
Car parking spaces provided: 6

Restaurants or cafes or take away food and drink premises:
1 space per 7sq.m GFA or 1 space per 3 seats, whichever is greater.
(90sq.m dining area / 7 = 12.86)
(48 seats / 3 = 16)
Car parking spaces required (Stage 2): 16
Car parking spaces provided: 16

Area Schedule

Stage 1	92.7 m ²
Stage 2	342.9 m ²
Total Building Area	435.6 m²
Verandah	72.0 m ²
Site	9 ha



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Notes:

1. Builders to confirm coordination of structural and architectural documentation prior to construction.
2. All dimensions shall be verified on site.
3. All full height glazing on front elevation to have visual indicators in accordance with BCA Clause D3.12 Glazing on an accessway.
4. Construction and fit out of food premises to be in accordance with AS4674.
5. Equipment specification by others.
6. Unisex Accessible Amenities in accordance with AS1428.1.
7. Unisex Ambulant Amenities in accordance with AS1428.1.
8. Door circulation in accordance with AS1428.1 Clause 13.3.
9. If required, install a proprietary roof access and lanyard system to assist in the safe access and maintenance of the whole of the roof area of the building at roof level. The system is to comply with AS1657.

Staged Development

Stage 1

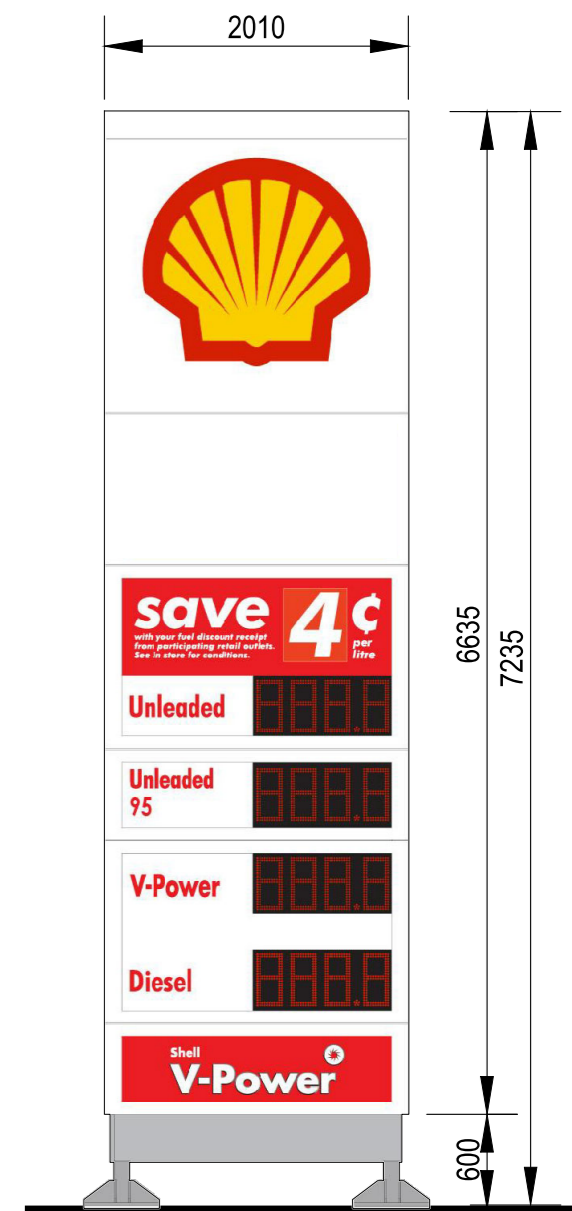
- Construction of Workshop, Store and Amenities
- Install diesel tank, fuel tanks and Petrol Plaza

Stage 2

- Construction of remainder of building
- Construction of Car Canopy

Water tank notes:

1. Non-combustible fittings on the tank shall be located on the eastern side of the tank
2. The gate or ball valve, pipes and tank penetration are adequate for full 50mm inner diameter water flow through the Stotz fitting and are of metal
3. A 'SWS' marker shall be obtained from the local NSW Rural Fire Service and positioned facing Freemans Drive for ease of identification by brigade personnel and other users of the SWS



8m high Pylon Sign to manufacturers specification

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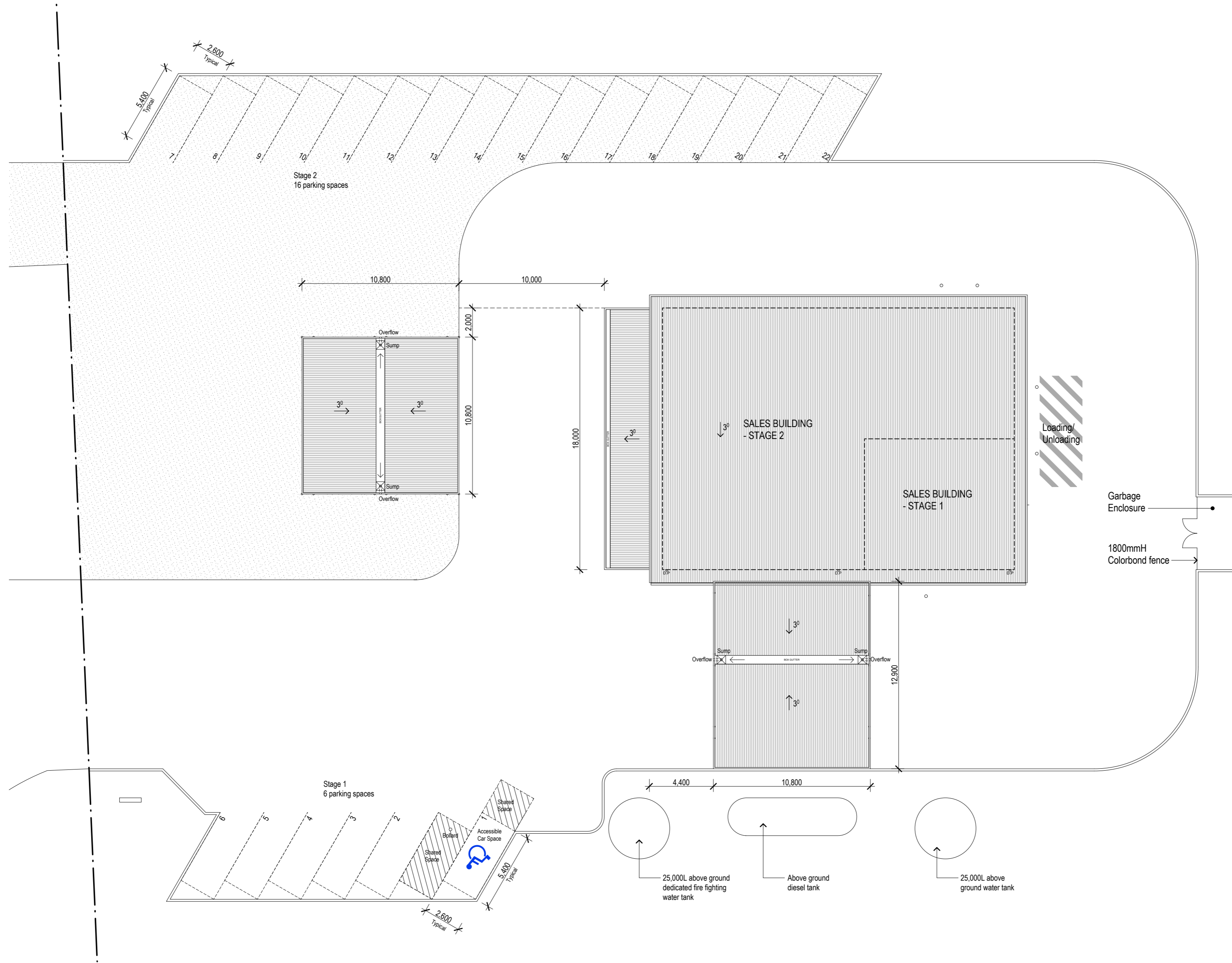
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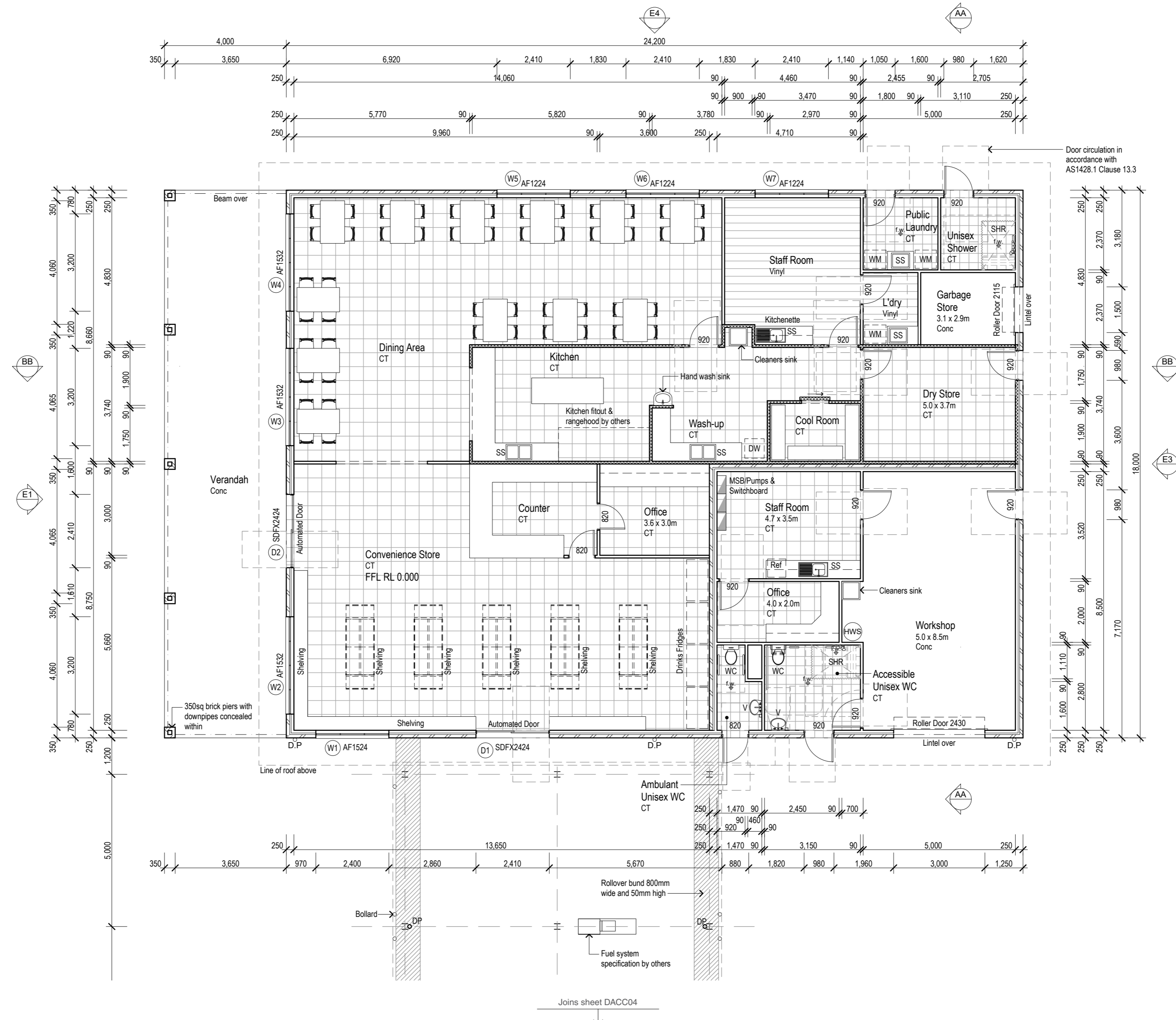
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Staged Development

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- Construction of Workshop, Store and Amenities
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- Stage 2**
- Construction of remainder of building
 - Construction of Car Canopy

Part J Mimimum Glazing Requirements:

- D1 & D2 Automated Sliding Door
- Aluminium framed with 6.38 Comfort Plus Clear glass (U-value:4.2, SHGC:0.56)
- Fixed Windows
- Aluminium framed with 6.38 Comfort Plus Clear glass (U-value:4.2, SHGC:0.59)



Area Schedule

Stage 1	92.7 m ²
Stage 2	342.9 m ²
Total Building Area	435.6 m²
Verandah	72.0 m ²
Site	9 ha

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Proposed Service Station
Michael Khoury
8 Bylong Valley Way ILFORD

Ground Floor Plan
DACC 04
Issue: F
Scale: 1:100 @ A2
Date: 20/09/21
Project: BMD20219953

Legend

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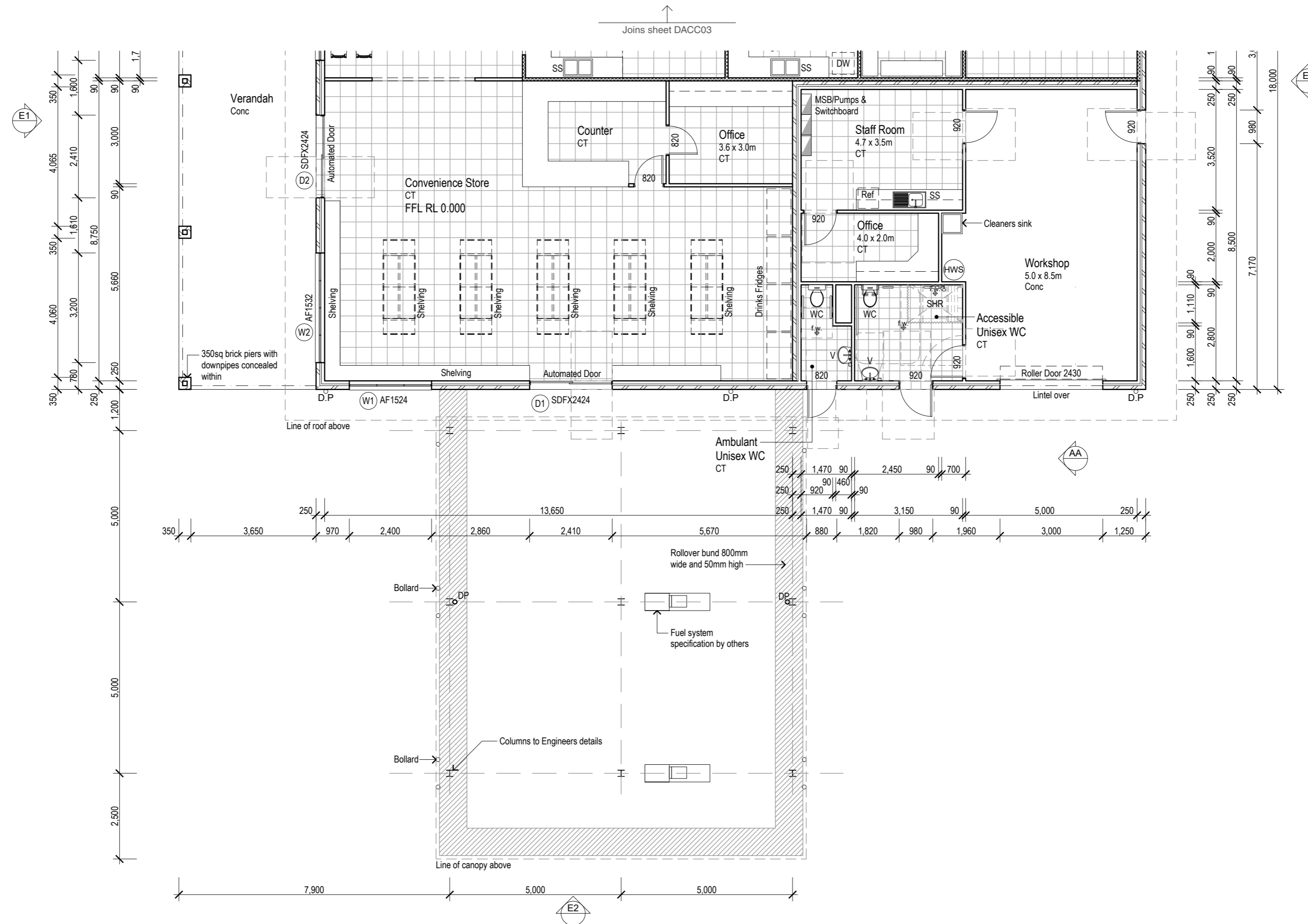
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Staged Development

- Stage 1**
- Construction of Workshop, Store and Amenities
 - Install diesel tank, fuel tanks and Petrol Plaza
- Stage 2**
- Construction of remainder of building
 - Construction of Car Canopy

Part J Minimum Glazing Requirements:

- W1 Automated Sliding Door - 6mm super grey glass (U-value:6.0, SHGC:0.28)
- W2, W3, W4 Fixed Windows - Double Glazed 6mm / 12mm air gap / 6mm clear (U-value:3.5, SHGC:0.18)
- W5 Fixed Window Single Glazed - 6mm (U-value:3.5, SHGC:0.18)
- W6 Fixed Window Single Glazed - 6mm (U-value:6.1, SHGC:0.48)



Area Schedule

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Total Building Area	435.6 m²
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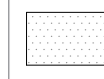
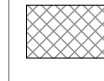


Ground Floor Plan

DACC 05

Issue: F
Scale: 1:100 @ A2

Date: 20/09/21
Project: BMD20219953

Legend

-  Flush finished plasterboard ceiling on metal suspension system. Ceiling height 3000mm AFFL
-  Flush finished wet area plasterboard ceiling on metal suspension system. Ceiling height 3000mm AFFL
-  1200 x 600 ceiling tiles. Colour: White
-  Exit light

Notes

1. All bathroom exhaust fans to be discharged to the exterior of the building.
2. All bathroom exhaust fans to be provided with a self-closing damper in accordance with Clause J3.5 Exhaust Fans of BCA 2019.

Part J Lighting Calculations

Lighting Type - Internal

	QTY	Total (W)
⊙L1 20W recessed LED downlight	32	640
⊙L2 12W recessed LED downlight	4	48
▬ 40W surface mounted LED batten	13	520
▬ 56W flush mounted LED batten	15	840
Total:	2048	

The maximum allowable illumination power density for the proposed development is 4651W/m². Refer to BCA Part J lighting calculator. A total of 2048W is being proposed for this development.

Lighting Type - External

- ▬ 40W surface mounted LED batten (4 of)

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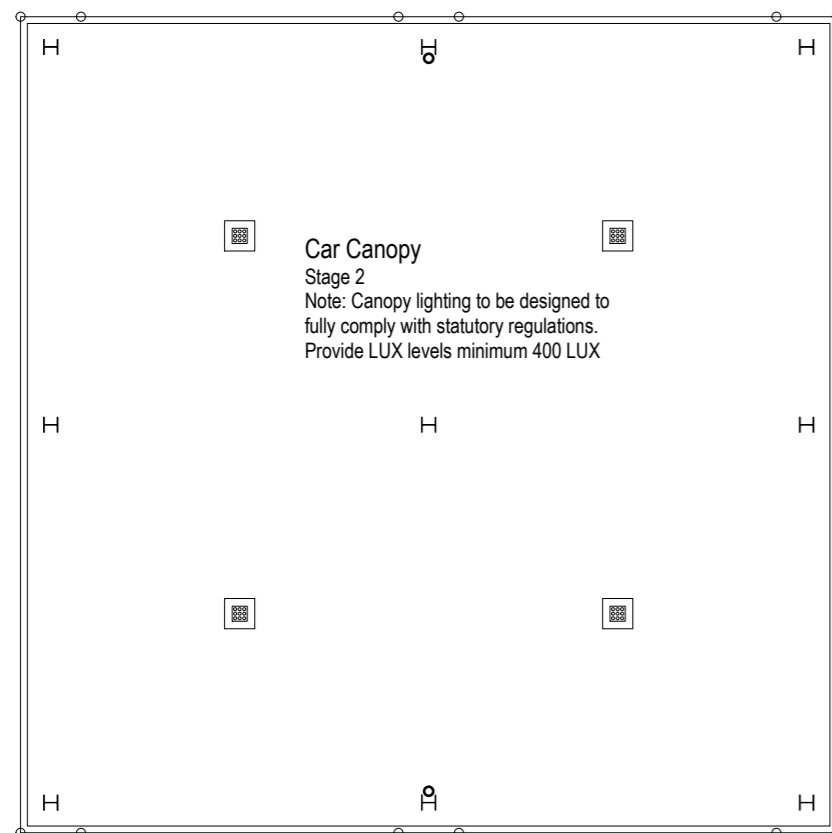
Staged Development


Stage 1

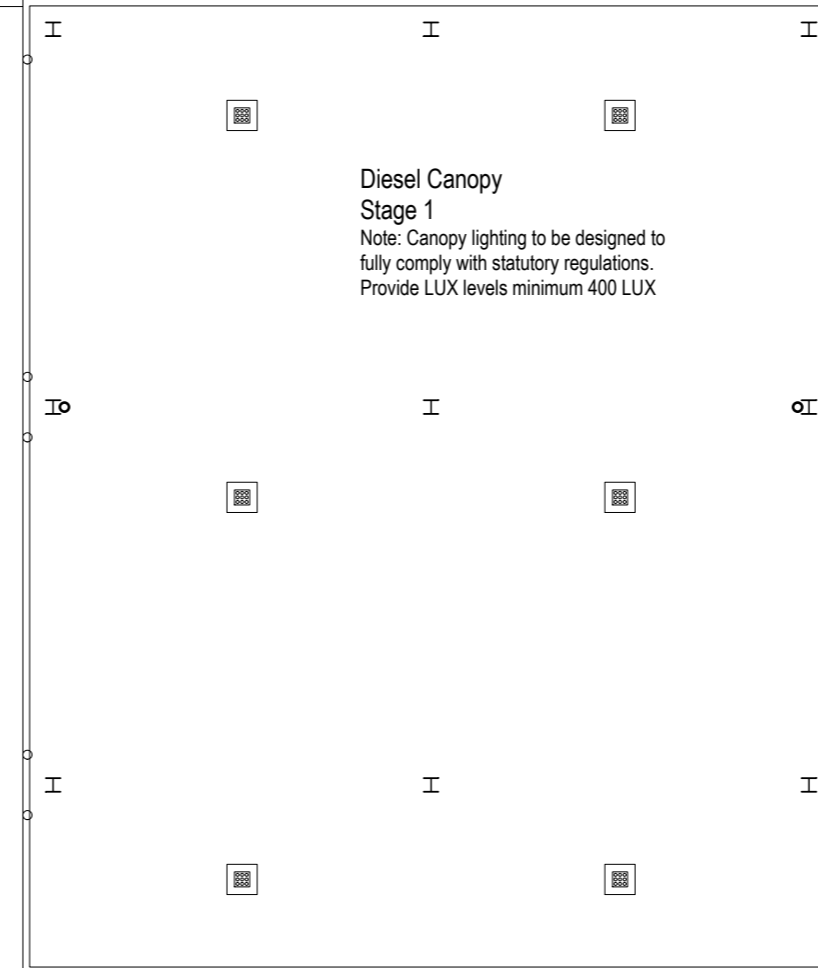
- Construction of Workshop, Store and Amenities
- Install diesel tank, fuel tanks and Petrol Plaza

Stage 2

- Construction of remainder of building
- Construction of Car Canopy



 Car Canopy
Scale 1:100



 Diesel Canopy
Scale 1:100

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Legend

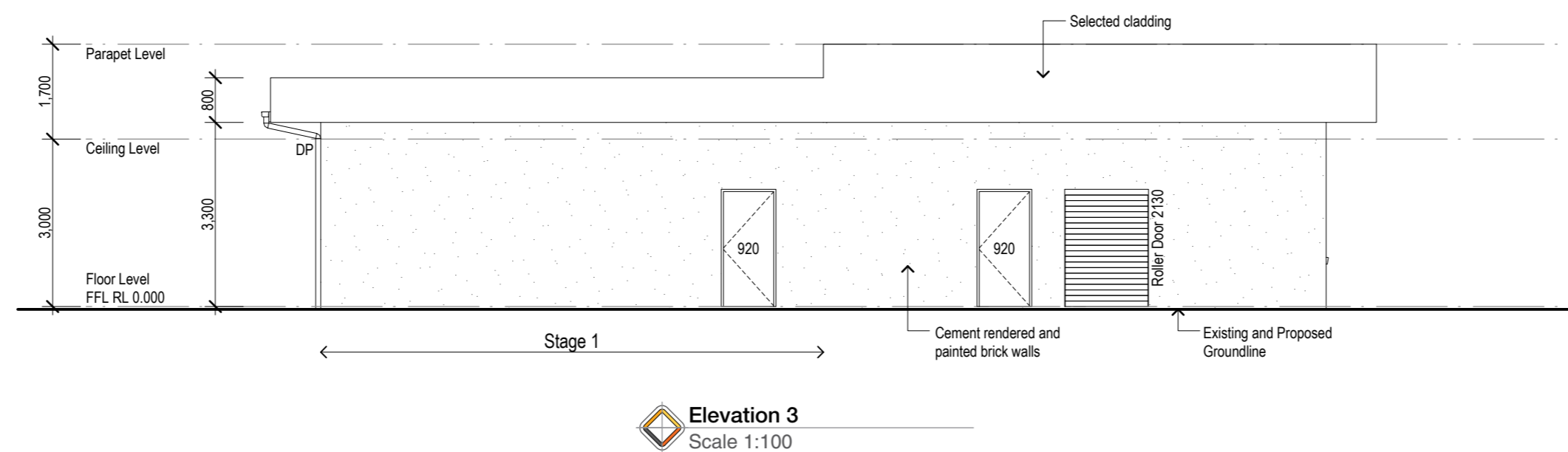
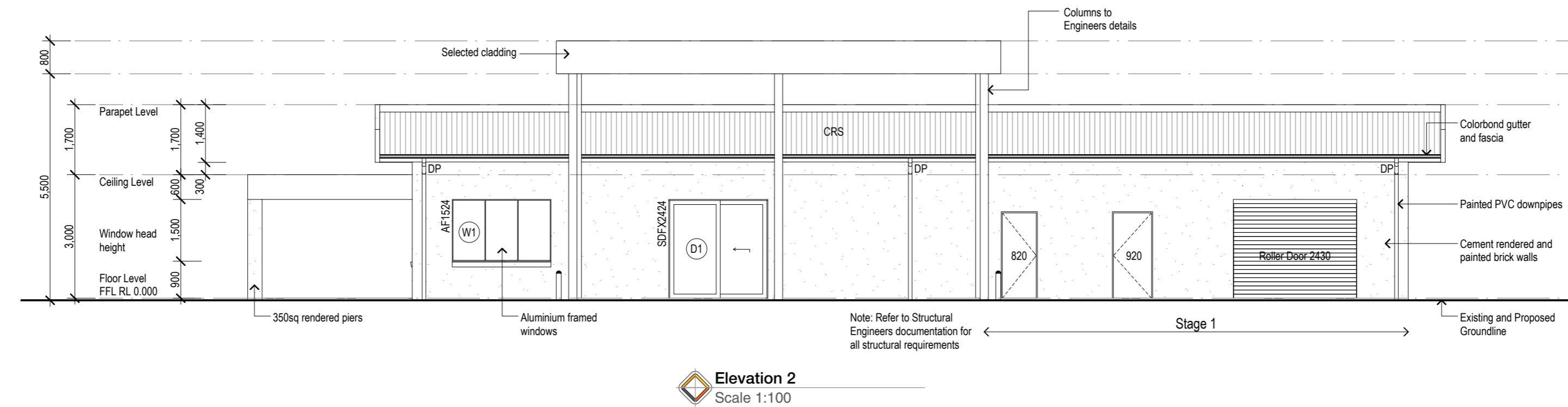
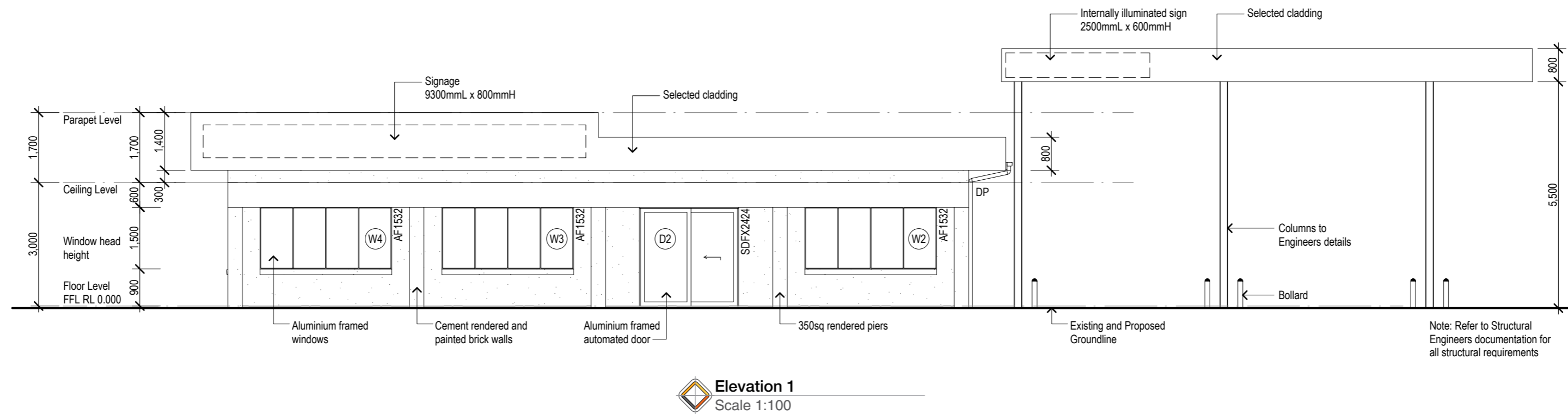
- A Aluminium
- B Basin
- BDRY Boundary
- BPB Bagged & Painted Brickwork
- BV Brick Veneer
- CL Ceiling Level
- CONC Concrete
- CP Concrete Paver
- CPT Carpet
- CRS Corrugated Roof Sheetting
- CS Cavity Sliding Door
- CT Ceramic Tile
- DH Double Hung
- DP Downpipe
- EMB Electrical Meterboard
- ENS Ensuite
- FB Face Brick
- FC Fibre Cement
- FFL Finished Floor Level
- F Fixed Glass
- FW Floor Waste
- GM Gas Meter
- HC Hollow Core
- HWS Hot Water Service
- LDRY Laundry
- MH Manhole
- PB Plasterboard
- PFC Painted Fibre Cement
- O Fixed Panel
- OG Obscure Glass
- REF Refrigerator
- RH Rangehood
- RL Reduced Level
- RWT Rain Water Tank
- SC Solid Core
- SD Sliding Door
- SHR Shower
- SS Stainless Steel Sink
- SV Stone Veneer
- T Tub
- TC Texture Coated Hebel
- TYP Typical
- UBO Under Bench Oven
- WC Water Closet
- W Water Meter
- WM Washing Machine
- X Sliding panel

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12 MAXWELL DRIVE, EGLINTON NSW 2795



Staged Development

- Stage 1**
- Construction of Workshop, Store and Amenities
 - Install diesel tank, fuel tanks and Petrol Plaza
- Stage 2**
- Construction of remainder of building
 - Construction of Car Canopy



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20/09/21	F	Truck Manoeuvring Diagrams



Legend

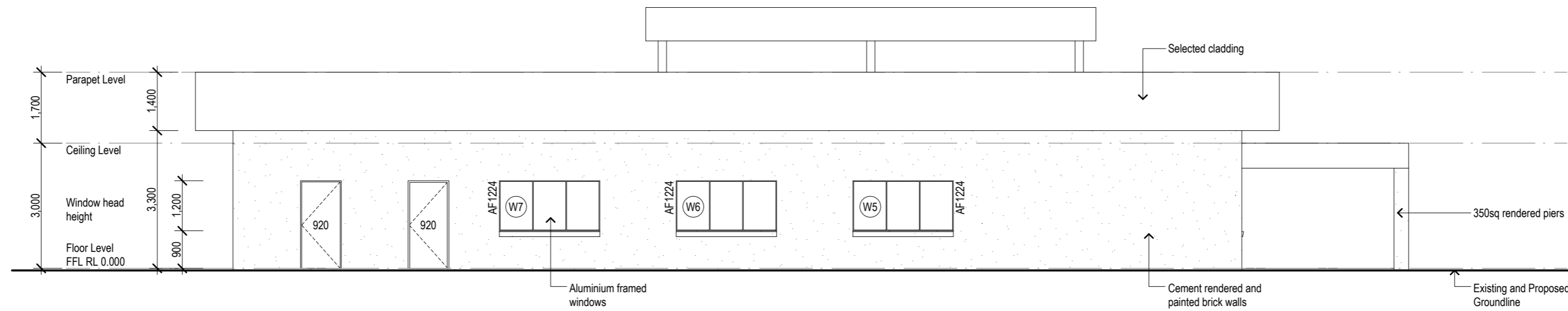
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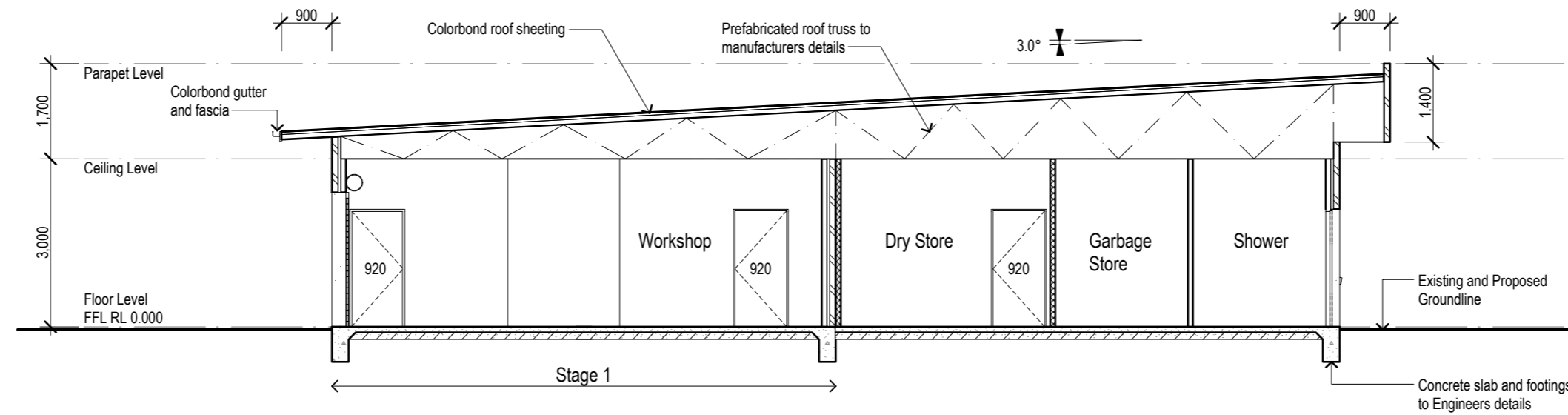


Staged Development

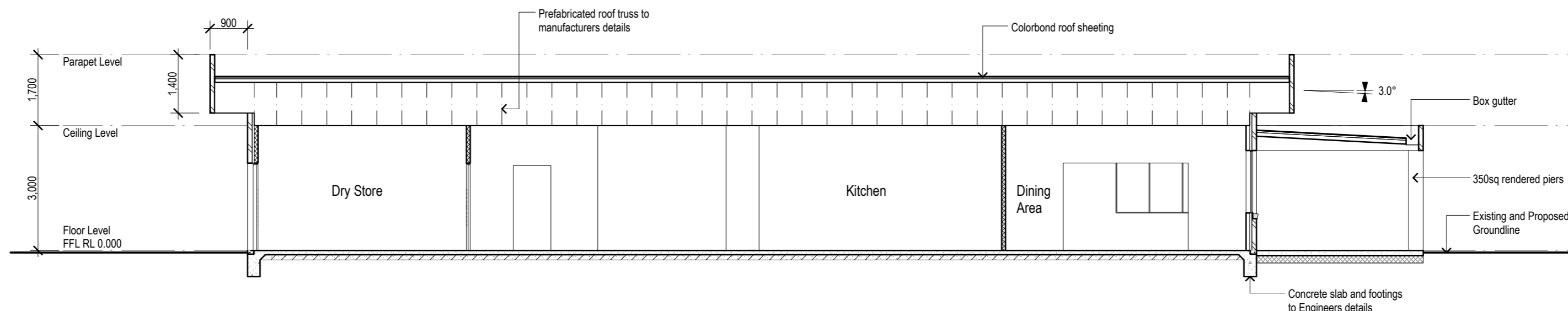
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Elevation 4
Scale 1:100



Section AA
Scale 1:100



Section BB
Scale 1:100

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Notes:

1. Builders to confirm coordination of structural and architectural documentation prior to construction.
2. All dimensions shall be verified on site.
3. All full height glazing on front elevation to have visual indicators in accordance with BCA Clause D3.12 Glazing on an accessway.
4. Construction and fit out of food premises to be in accordance with AS4674.
5. Equipment specification by others.
6. Unisex Accessible Amenities in accordance with AS1428.1.
7. Unisex Ambulant Amenities in accordance with AS1428.1
8. Door circulation in accordance with AS1428.1 Clause 13.3.
9. If required, install a proprietary roof access and lanyard system to assist in the safe access and maintenance of the whole of the roof area of the building at roof level. The system is to comply with AS1657.

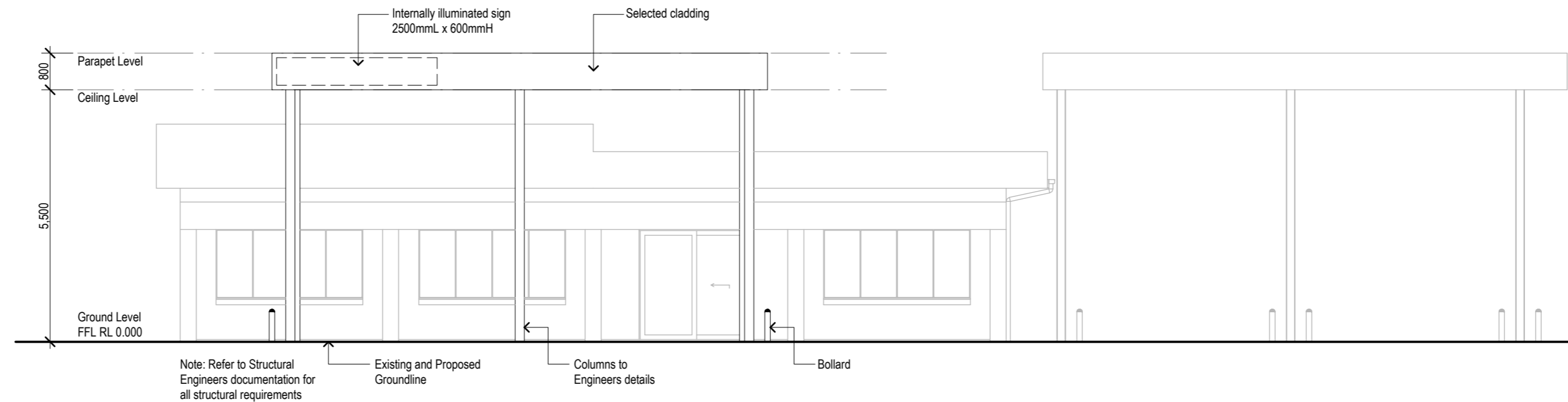
Staged Development

Stage 1

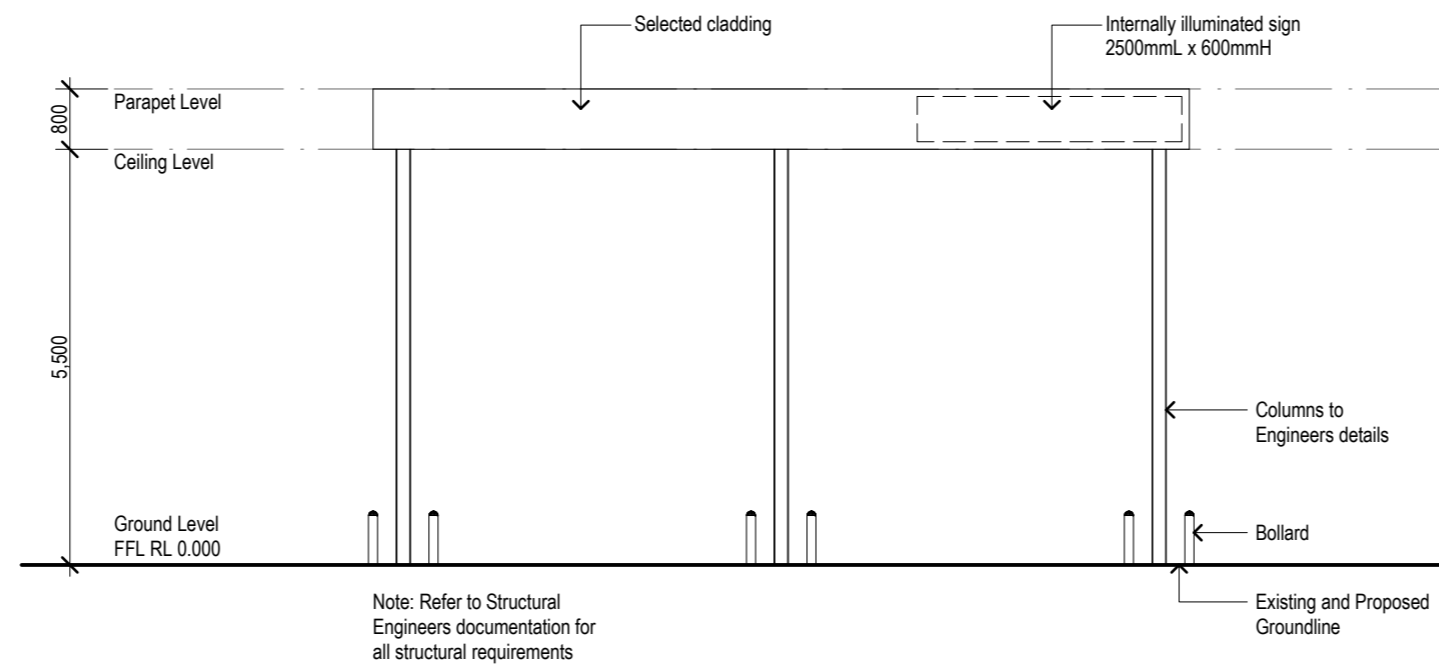
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Stage 2

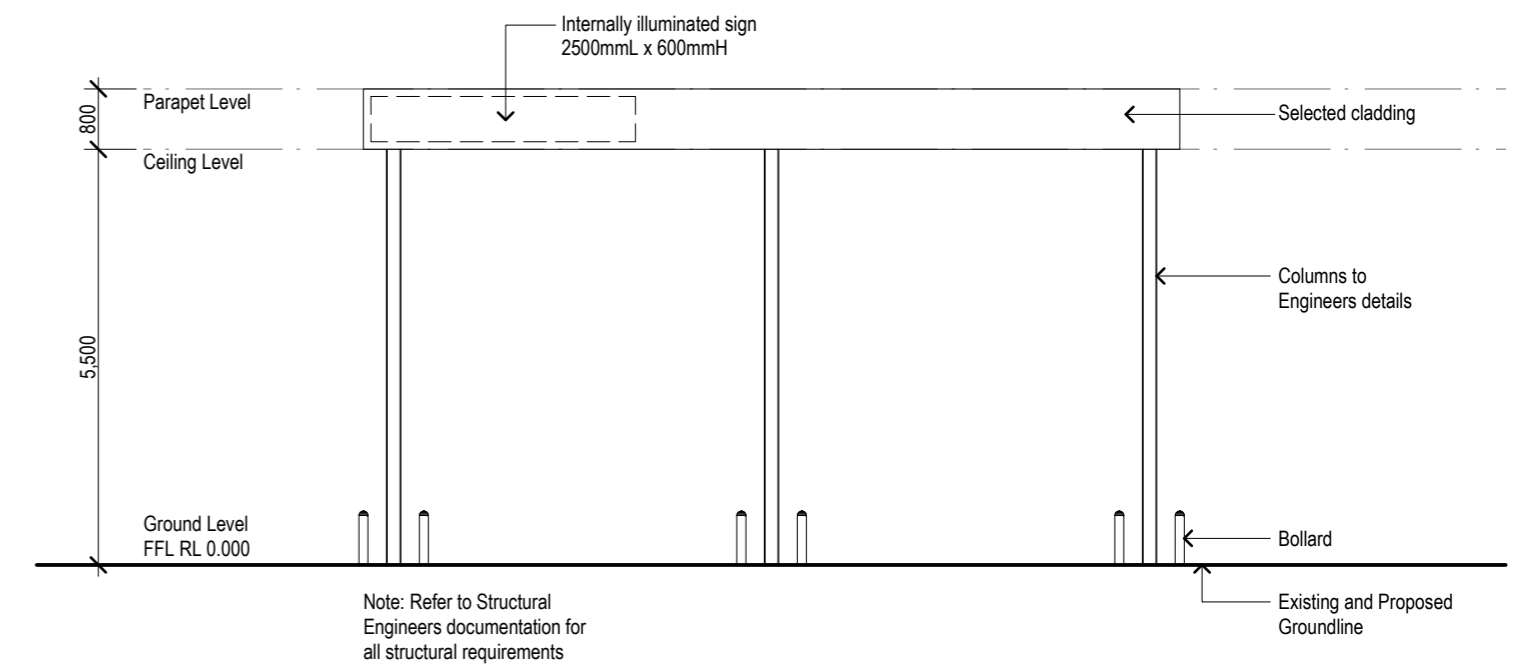
- Construction of remainder of building
- Construction of Car Canopy



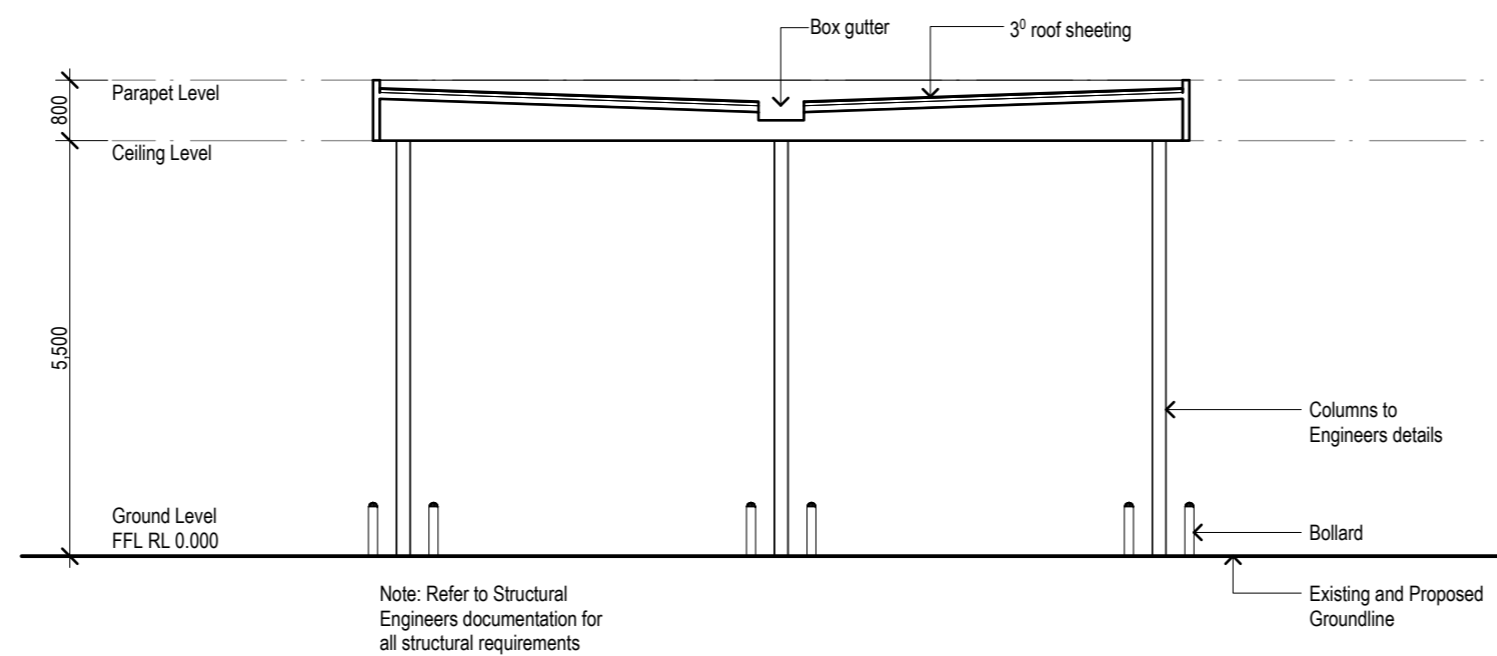
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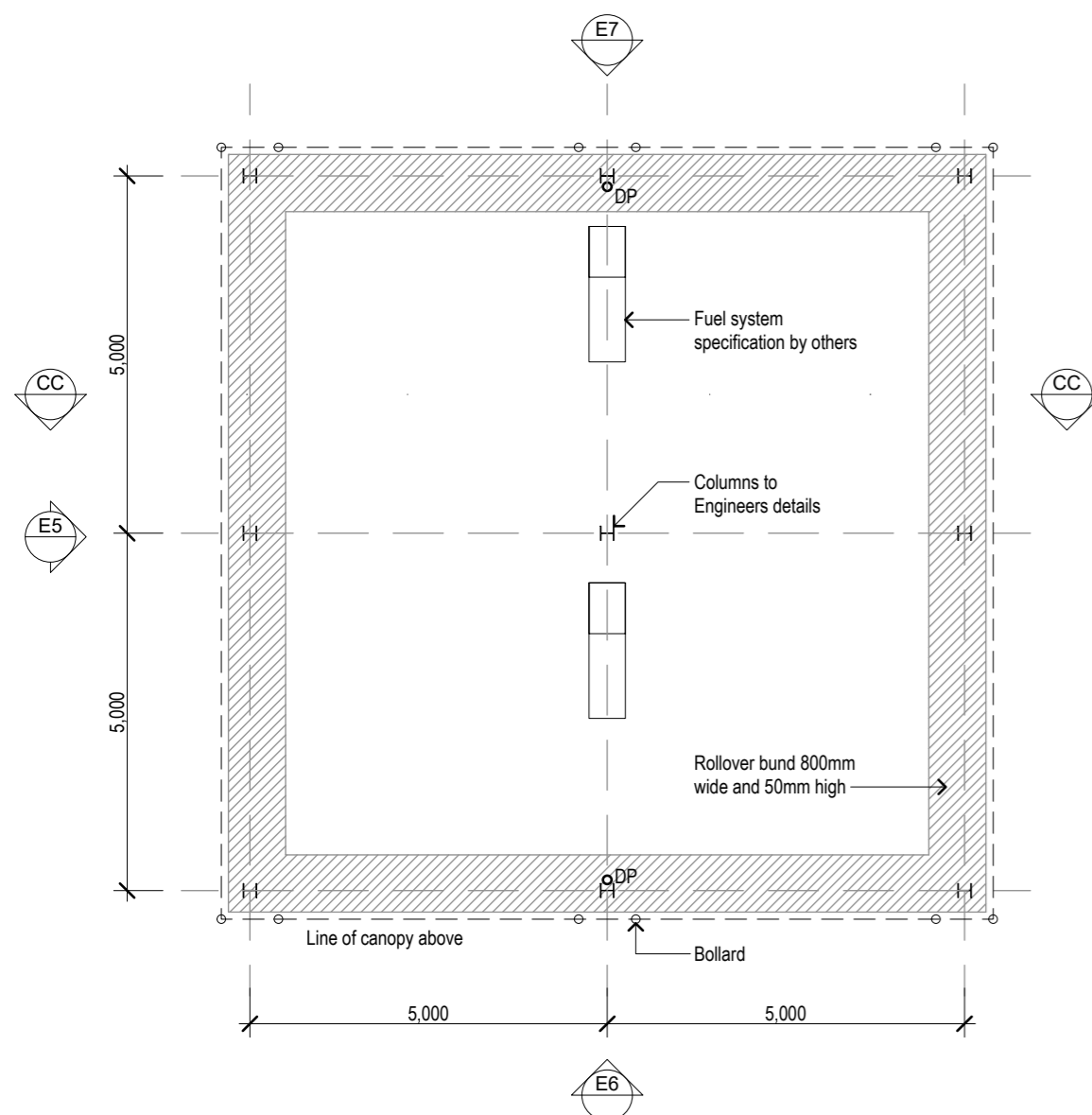
Elevation 7
Scale 1:100



Elevation 6
Scale 1:100



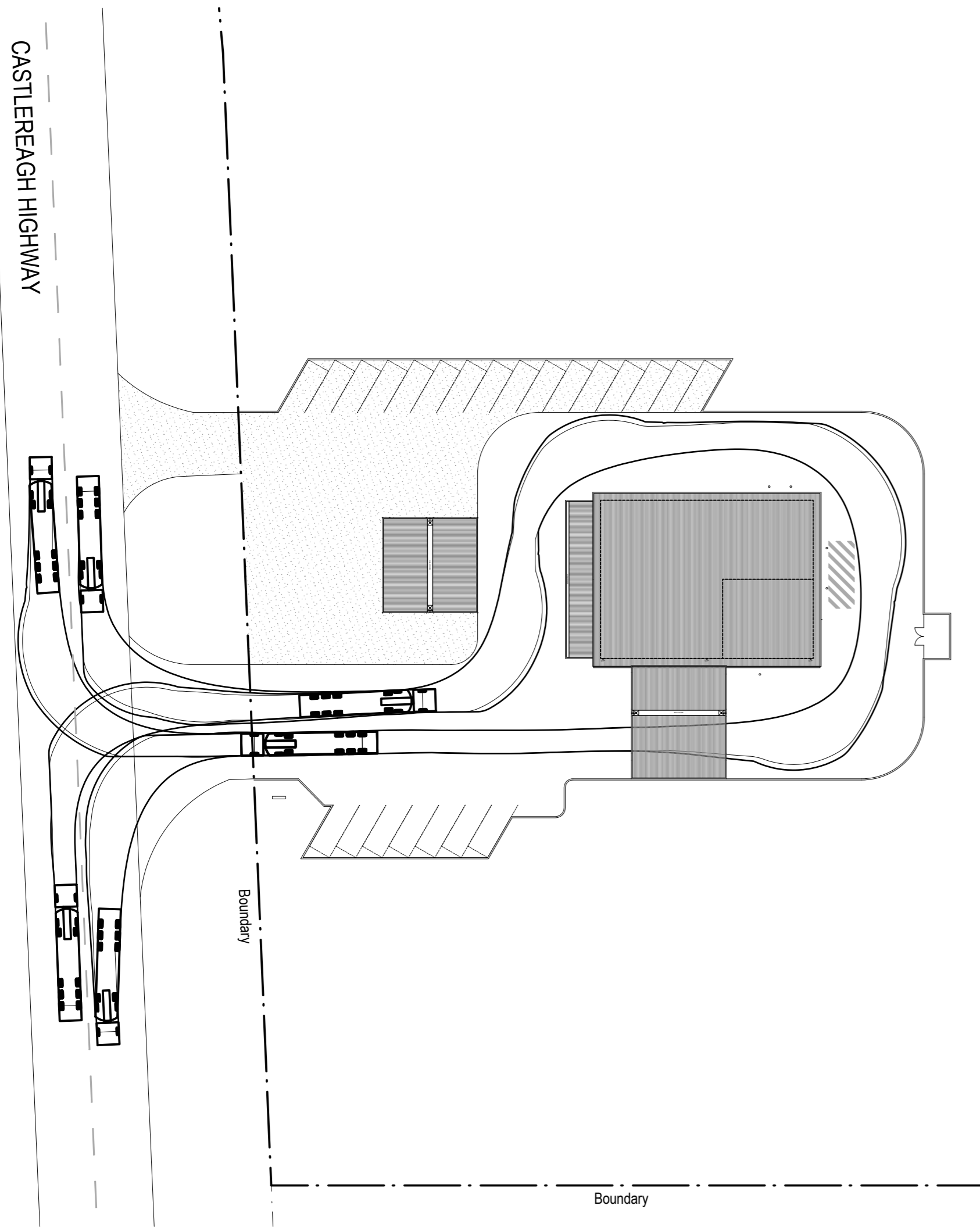
Section CC
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Ground Floor Plan
Scale 1:100

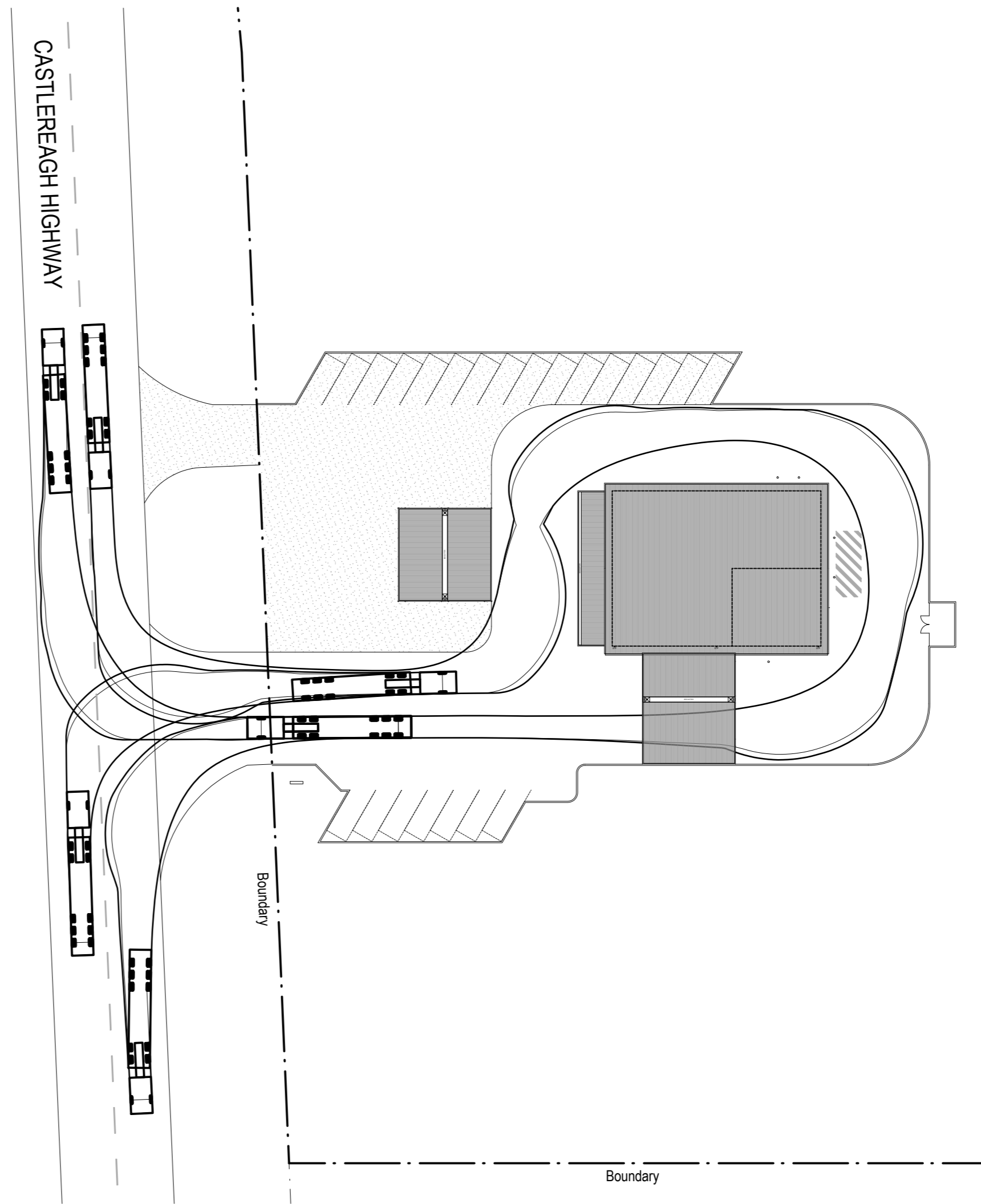


CASTLEREAGH HIGHWAY

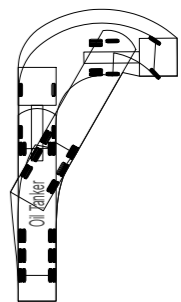
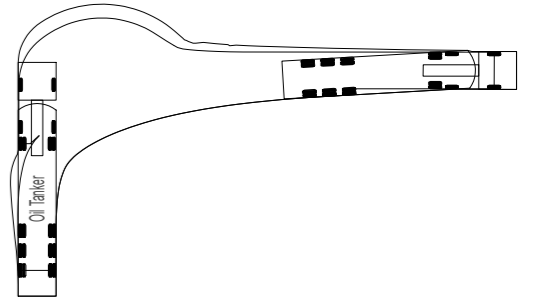


Fuel Tanker Swept Path
Scale 1:500

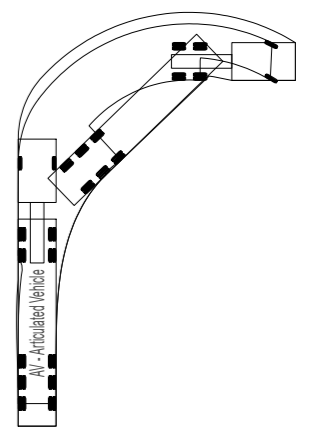
CASTLEREAGH HIGHWAY



Semi Trailer Swept Path
Scale 1:500



Swept paths created using Autodesk 2021 'Vehicle Tracking' software.
Vehicle swept path selected from 'World Wide Real Vehicles - Oil Tanker' option: ERF ECT 6x2 Midlift Lite Tractor 440PS with tanker trailer.
Width: 2.5m, Length: 15.461m, W/W Radius: 7.414m

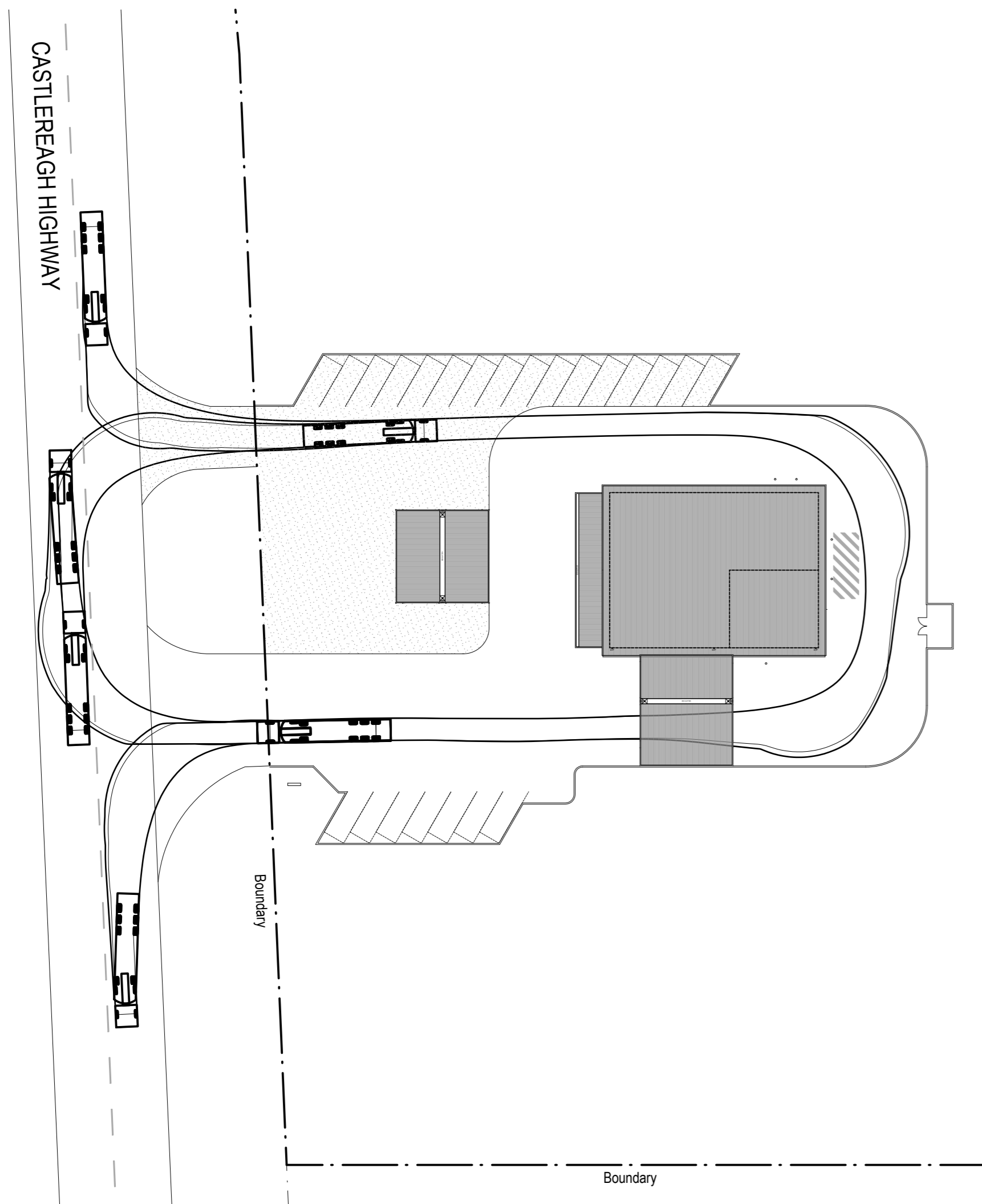


Swept paths created using Autodesk 2021 'Vehicle Tracking' software.
Vehicle swept path selected from 'Standards Australia - AS2690.2-2002 (Commercial Vehicles) - AV Articulated Vehicle'
Width: 2.5m, Length: 19.0m, W/W Radius: 13.258m

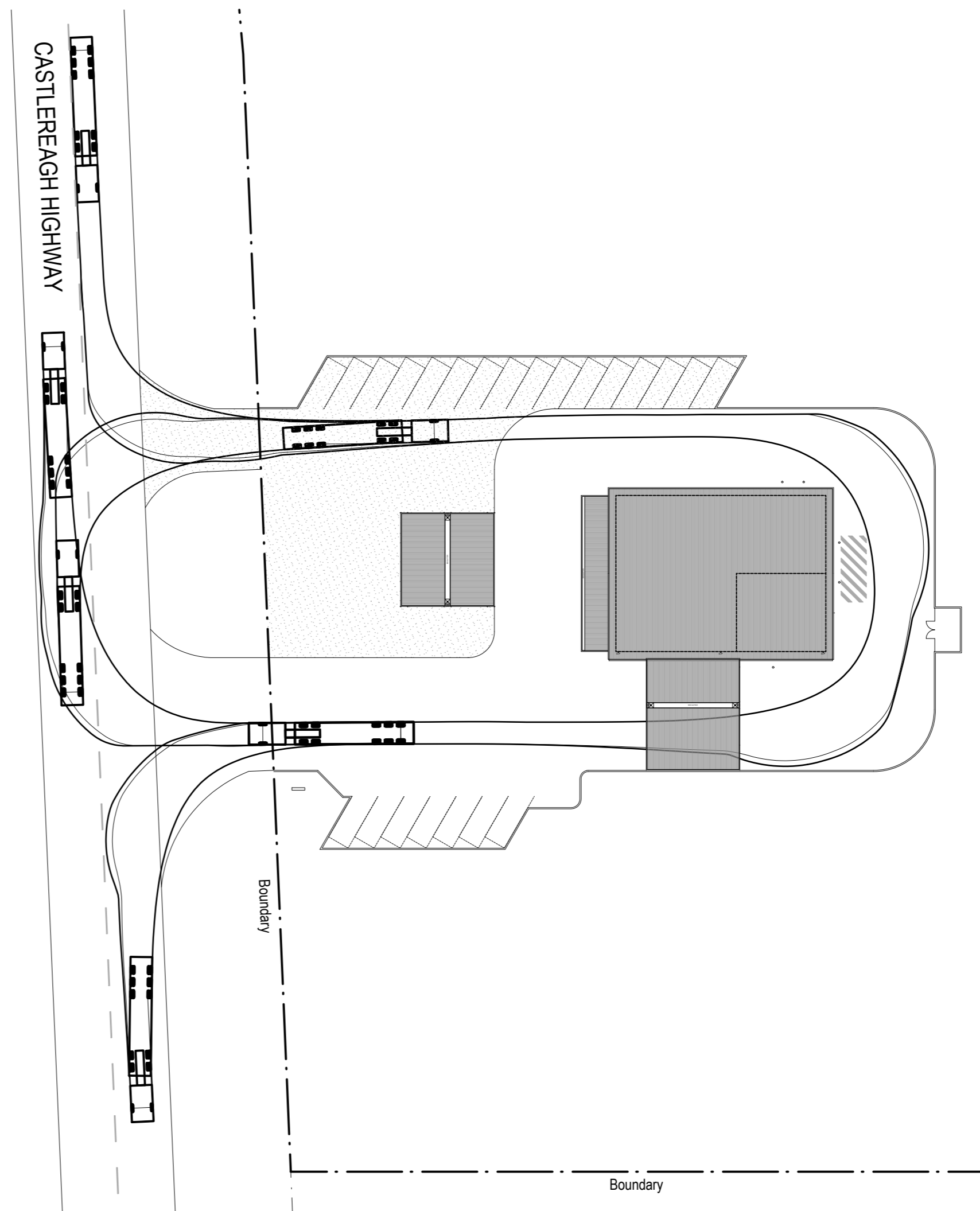


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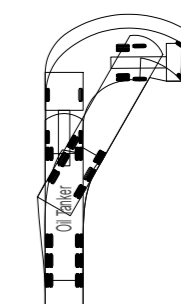
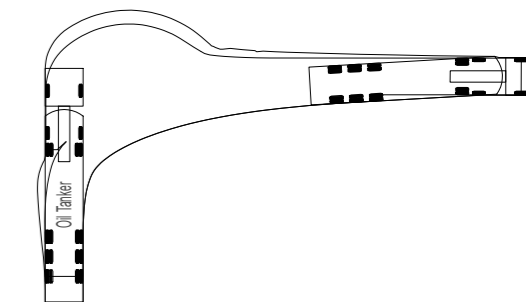




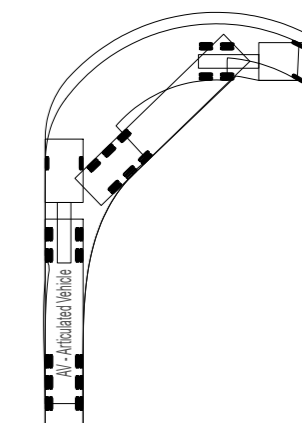
Fuel Tanker Swept Path
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