

Statements of Heritage Impact (SOHI)

Proposed demolition of Existing Residential Building

**31 Court Street Mudgee
Lot 15, Section 19 DP758721**



Figure 1: Front view of the brick residence at 31 Court Street proposed to be demolished and partially reconstructed.

Client: Symond Carr of S.A. CARR & CO. PL

Date: 27 July 2021



Figure 2 Aerial view from Six Maps.

This Statement of Heritage Impact is required because the place proposed to be demolished is located within the Mudgee Heritage Conservation Area.

By 'Impact' the report covers any effect that may alter the historic significance of that place. It can be a visual or physical effect. It can be a small effect or large. Having an 'impact' on a heritage item or place does not mean that such a proposal cannot proceed. The description of the impact will enable council staff to determine whether to approve such a development, and if the impact is acceptable.

Summary

This residential building proposed to be demolished is located within the Mudgee Conservation Area. The residence is in exceptionally poor condition with little historical integrity due too many alterations and additions. The site will make way for new residential development.

As per the MWRC LEP 2012, the Council requires a statement addressing any heritage impacts for the demolition before determination.

The site is located within a residential area, and not adjacent to any heritage item.

The proposal is to construct a new front residence, that remembers the past and utilizes fabric salvaged from the main heritage era, the federation period, of the house. This will be both a suitable infill to retain the streetscape significance and serve as a good use of salvaged material.

The demolition will unlock residentially zoned land potentially making good use of existing land and service assets close to the CBD while retaining streetscape values.



Figure 3 Aerial View. The proposed demolition site is shown shaded yellow.

Statement of significance

The site is located within in the Mudgee Conservation area. Its Statement of significance for the MCA is as follows:

The settlement of Mudgee, located along the banks of the Cudgegong River, demonstrates the principal characteristic of early government town layout in NSW. Designated land uses include the Anglican and Catholic churches in key central positions, with reserved land for law and order, education, and recreation, following government practice of the day.

Initial settlement occurred in 1822 with many pioneer families still represented in the town today.

The Heritage Conservation Area of Mudgee closely follows the 1884 parish map of the town and retains many key heritage buildings especially in the central business area of Church and Market Streets. Historically significant buildings on corners include the Post Office, the Anglican and Catholic churches, hotels, and banks, all of which help frame the central shopping area. Many impressive commercial, civic, and religious buildings of similar late

Victorian style and scale, such as the former Town Hall, banks, hotels and churches, form the core of the Conservation Area, creating an aesthetically significant NSW country town. Remnants of early road works, stone kerbs and gutters, are extant and contribute to the setting.

Two excellent parks, Robertson Park and Lawson Park, set aside in the initial surveys of the town, provide partial boundaries to the commercial core. The town setting is also framed by the backdrop of the hills, reminding residents of the original meaning of Mudgee: the 'nest in the hills'. Mudgee also has a good stock of heritage listed houses beyond the central business area. In a special category are those buildings designed by Mudgee architect Harold Hardwick in the 1890s to 1920s because of their quality.

Heritage impact: This residence, whilst not a heritage listed item, does contribute to the Court Streetscape. It presents as a relatively intact Federation House. However, there will be no material effect on the Heritage Significance of the Mudgee Conservation Area if, when the residence is removed, it is replaced with a suitable, contributory infill residence.

The recommendation is that the section of the house that is the Federation Era be reproduced in modern materials and construction but with reconstruction of the original decorative gables, doors and windows from that era so far as is practical. The Victorian posts should be reused or reproduced.

The garage should be well set back or placed at the rear of the house.

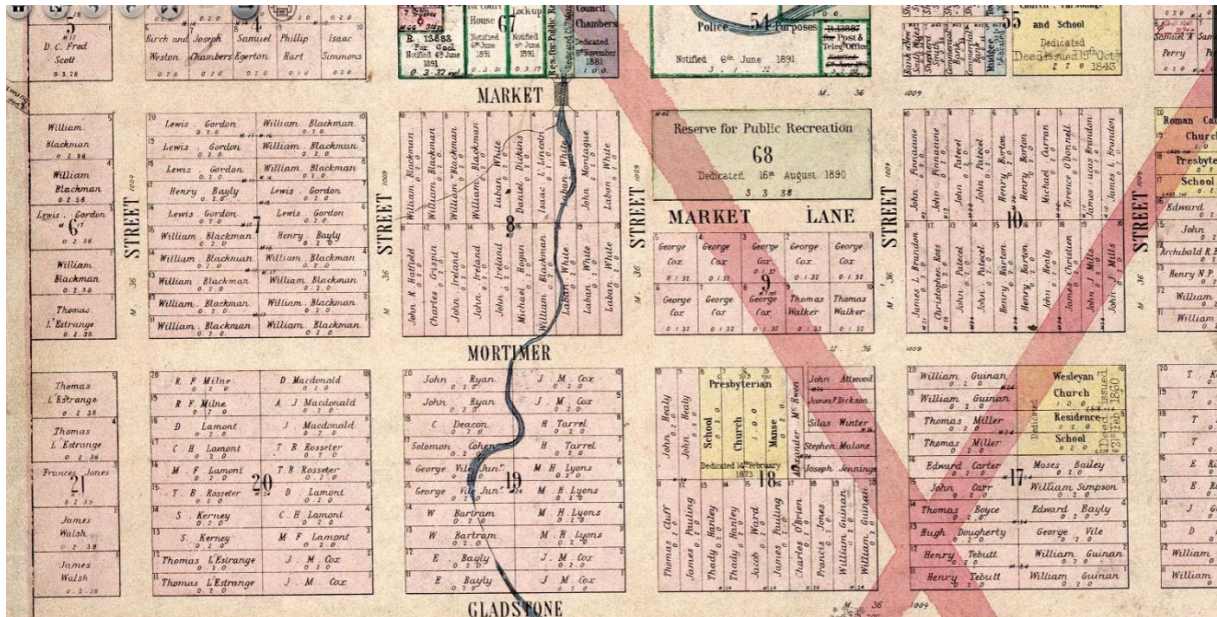


Figure 4: Existing Street façade.

Brief History

The early parish maps of the Town of Mudgee shows the Lot 15 in Section 19 was originally owned by George Vile Junior. George bought two lots: 14 and 15.

Lot 15 is the same shape today as it was originally.



George Vile, an early Mudgee Hotelier, was the father of George Vile Junior, (George Elijah (Vile) Viles).¹

Born Apr 1814 in Shepton Beauchamp, Somerset, England, United Kingdom, George came with his wife Hannah as a free settler to the Colony of New South Wales. George & his wife Hannah Vile were married in England and arrived in Australia 1838 on the "Amelia Thompson".

On 26.7.1851 George procured 2 oz nugget at Worlds End, 16 miles from Mudgee. Presumably, he then invested in hotels Licenses of which he held two:

- 21-3-1853 "Tradesman Arms" (Hannah took over the Tradesman's Arms hotel in 1860).
- 20-4-1858 "The Welcome Inn"

¹ https://www.wikitree.com/wiki/Vile-42_et_al

George Vile died at age 45. The Cause of Death noted as 'Intemperate Habits'.

George and Hannah Vile had seven children: Hamen Wilbertree Vile, Walter George Vile, Hester Louisa Vile, Georgina Vile, Amelia Augusta Vile, Albert Isaac Vile and **George Elijah (Vile) Viles**

The death of one of their daughters, Mrs. Honeysett in October 1928 recorded in the Mudgee Guardian, notes the significance of her father in the history of Mudgee. ¹

'The late Mrs.(Georgina) Honeysett, a daughter of the late Mr. George Viles, of Mudgee, who was well known in that centre and carried on business in a store and hotel in Market-street. It was there that Mrs. Honeysett was born, and it is claimed that she was the first white child born in Mudgee.

She lived her long life in Mudgee and Gulgong districts, and after her marriage to the late Mr. John Honeysett they kept the Railway Hotel in Mudgee.'

George Elijah Viles was the last born of Hannah and George's children. He was just 11 years old when his mother passed away on the 19 May 1863 in Mudgee.

²**George Elijah Viles** (formerly Vile) was born on the **27 Mar 1852** in **Mudgee**. In 1883 he married Ann Selina (Bond) in Gulgong NSW Australia. Not much is known about his life but he may have resided in Gulgong for some years. He died 11 Aug 1936 at 'Hazeldene', 21 Sydney Street, Concord. His death notice read:

*THE death has occurred of **Mr. George E. Viles**, at his Concord residence, at the age of 85. Mr. Viles was formerly of Gulgong, and the family once kept a hotel in Mudgee. He was the husband of Mrs. Anna S. Viles, and the father of E. G., F. H., and H. A. Viles.*

¹ Mudgee Guardian 18 Oct 1928: THE LATE MRS. HONEYSETT

² <https://www.wikitree.com/wiki/Vile-42> et al

Physical Description



Figure 5 The house at 31 Court Street presents as a Federation House.

The house at 31 Court Street presents as a Federation period house. From Court Street the roof pitch and decorative gables, front and south side window and front doors, and an original chimney indicate a construction period of c. 1910. However the brick posted verandah with brick balustrade (C. 1950s) and the front fence (late 1930s) are later additions. So the house was remodelled a number of times and many windows have sashes divided horizontally indicating renovations from the late 1930s when these sashes were very popular.

The earliest section of the house is probably Victorian but has been also altered a great deal.

Overall the house is an accumulation of many periods with additions generally poorly constructed or altering earlier sections to create a house that is dominated by problems of severe rising damp, poor layout and friable asbestos problems. Court Street generally has extreme damp problems which has resulted in many houses along that street struggling with the issue.

Initially a small Victorian house of two rooms and probably out-buildings was built about mid 1880-90. It was placed near the centre of the two original lots and overruns the centre boundary, which indicates that it may have been the build of George Vile Junior, the first owner of the land. (Refer mauve area on plan below). Any outhouses have been long gone but presumably there would have been a separate kitchen at the rear and ablutions further back.

When additions were added in the Federation period c. 1900-10, the floor level of the Victorian era was left below the new additions which were constructed about 450 mm higher. This was partly because of the nature of the design where a flight of steps at the front and generous verandah were considered important. Levels of damp were probably already recognised, so the new house needed to be more elevated. However, this locked the first house in at a lower level. Internal rising damp has resulted with failure of the linings and encouragement of additional rising damp.

The Federation house has then been encased with a concrete path and the front concrete verandah. This mistake encourages more rising damp.

The remaining areas of the Federation are those parts shaded cream below. Figure 6. Internally there is now very little integrity. The double-sided fireplace has been fully bricked, eastern windows changed, and the side porch was extended out as a lean-to, then divided into two spaces and lined with fibro. This alteration was probably carried out late 1930s.



Figure 6 Stair from Victorian room up to Federation level.

Further additions to the house were added over the following decades adding bathroom and laundry and replacing the kitchen. These additions reverted to ground level, presumably so that the first two rooms (Victorian) were not further damaged by damp.

The result is an unhealthy house with friable asbestos, a lack of ventilation, chronic rising damp, extremely poor masonry repairs and little integrity. However, it does still present well to the street.

DEFECTS. MBC ASBESTOS REPORTED:

It was noted during the inspection & findings of “rising damp” / “urban salinity” which has affected & continuing to cause resultant damage to the structure internally & externally. We noted moisture damage sustained to significant areas of bonded asbestos sheeting throughout internal & external of the dwelling causing in areas the sheeting to de-laminate caused by salt / moisture.

We noted wall linings in various areas, mostly notably lounge wall linings which have been installed over masonry walls, tapping the wall linings revealed “crumbling” of mortar behind wall linings; questions over structural integrity of the structure’s masonry due to the serious issue evidenced onsite related to salt / urban salinity condition onsite.



Figure 7: Sections of damp walls in the Federation section of the house.



Figure 8 Periods of construction at 31 Court Street.

Context

The site is in a residential area. Houses in the vicinity are generally heritage houses of early 20th C. There is a mixture of size and quality and no listed items in the vicinity. The area has strong potential for residential redevelopment due to its proximity to the town centre.



Streetscape 27, 29 Court St.



Streetscape 31,33 Court St.



Opposite Streetscape

Heritage Objectives

The MWRC LEP 2012 provides the following information with respect to the management of Environmental Heritage. Relevant clauses are highlighted as follows:

(1) Objectives

The objectives of this clause are as follows:

- (a) to conserve the environmental heritage of Mid-Western Regional,
- (b) to conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings, and views.
- (c) to conserve archaeological sites,
- (d) to conserve Aboriginal objects and Aboriginal places of heritage significance.

(2) Requirement for consent

Development consent is required for any of the following:

- (a) **demolishing** or moving any of the following or altering the exterior of any of the following (including, in the case of a building, making changes to its detail, fabric, finish or appearance):
 - (i) a heritage item,
 - (ii) an Aboriginal object,
 - (iii) a building, work, relic or tree within a heritage conservation area,
- (e) erecting a building on land:
 - (i) on which a heritage item is located or that is within a heritage conservation area, or

(3) When consent not required

(4) Effect of proposed development on heritage significance

The consent authority must, before granting consent under this clause in respect of a heritage item or heritage conservation area, consider the effect of the proposed development on the heritage significance of the item or area concerned. This subclause applies regardless of whether a heritage management document is prepared under subclause (5) or a heritage conservation management plan is submitted under subclause (6).

(5) Heritage assessment

The consent authority may, before granting consent to any development:

- (a) on land on which a heritage item is located, or
- (b) on land that is **within a heritage conservation area**, or
- (c) on land that is within the vicinity of land referred to in paragraph (a) or (b),

require a heritage management document to be prepared that assesses the extent to which the carrying out of the proposed development would affect the heritage significance of the heritage item or heritage conservation area concerned.

The Heritage Impact caused by the demolition 'will not adversely affect the heritage significance of the Mudgee heritage conservation area,' provided the infill development is suitable to the location. Refer Recommendations.

Recommendations

The removal of the house at 31 Court Street will affect the streetscape as it currently stands, because the present house, although not heritage listed, is a contributing item.

Its removal requires suitable residential infill to lead to a positive improvement for the Mudgee Conservation Area.

Any replacement building should respect the nature of the Mudgee Heritage Conservation area by being suitable in scale, setback and bulk but also it should 'remember' the house as it presently stands. It is recommended that such a house could utilize sound salvaged materials through reconstruction. Retaining them on the site. The infill house should:

- Address the street.
- Be of a similar height to houses in the area, and the house it replaces. See streetscape images.
- Have a setback similar to older adjacent houses in the Court Street and be around 4.5m.
- Any garage should not dominate the street frontage but be well setback.
- The design should include a front decorative fence to unify the street.
- The infill building should remember the past by re-using suitable salvaged materials including the decorative gable ends facing Court Street, the existing front door, timber framed double

- hung windows (or reproductions) and wrought iron roof finials. Windows should have decorative rendered sills.
- Any fabric of interest and value such as the French Doors (1930s) that are not required here should be recycled elsewhere in Mudgee
 - Roof pitch will need to be similar to the existing roof to accommodate the front facing gables.
 - A wide front verandah and stepped entry are other desirable features to display features of the Federation past.
 - The new proposal will allow the new building to move off the boundary with Lot 16, which is presently built on.
 - The house should have a suitable colour scheme.
 - The earliest part of the building was probably the small Victorian building of 2 rooms at the front LHS. (There would have been other spaces that are no longer standing: kitchen, out house etc). It was constructed c. 1885. Some archaeology may come to light. Council's standard policy on uncovering any archaeology when excavations occur should be included as a condition, and the council notified.

STATEMENT OF HERITAGE IMPACT

Address and property description: of the Proposed development

31 Court Street Mudgee.

Prepared by:

Barbara Hickson PO Box 610 Mudgee. Mobile 0409368133.

Office at 103 Market St Mudgee.

Owner of the proposed development site

Symond Carr of S.A. Carr & Co. PL

A brief description of proposal

Demolition of present residence that comprises a predominantly Federation house at the front with many alterations and additions behind.

The in-fill should be suitable for residential heritage streetscape, filling in the space created to provide continuity to the streetscape and to move part of the present house off the north boundary. Reuse salvaged fabric in the new build where appropriate. This new house make land available at the rear for suitable Residential infill re-development.

Date: 27th July 2021

STATEMENT OF HERITAGE IMPACT

<p>1. why the item is of heritage significance.</p>	<p>There is no heritage item on, or immediately adjacent to, this site.</p> <p>However, the location is within the Mudgee Conservation Area.</p> <p><i>The Conservation Area is significant because it demonstrates the principal characteristic of early government town layout in NSW, with churches in key central positions, and reserved land for law and order, education, and recreation. Key heritage buildings are in the central business area of Church and Market Streets. Historically significant buildings on corners include Post Office, churches, hotels, and banks, which help frame the central shopping area. Many impressive commercial, civic, and religious buildings of similar late Victorian style and scale, such as the former Town Hall, banks, hotels and churches, form the core of the Conservation Area, creating an aesthetically significant NSW country town. Remnants of early road works, stone kerbs and gutters, are extant and contribute to the setting.</i></p>
<p>2. what positive impact will the proposed works have on its significance.</p>	<p>The positive impact is to remove an unhealthy house and replace it with a house that recalls the past and is able to infill the streetscape in a positive and appropriate way.</p> <p>Clearing the site will allow for more construction of residential buildings within the conservation area on land otherwise inaccessible.</p>
<p>3. what negative impact will the proposed works have on its significance.</p>	<p>The demolition of this item will have some detrimental effect in the loss of an original home.</p>
<p>4. what measures are proposed to mitigate the negative impacts</p>	<p>The residential infill building at the front of the site will remember the past by re-using salvaged materials and recreating a federation style house using authentic fabric.</p>

5. why were more sympathetic solutions are not viable.	It is not feasible to repair and conserve this house to make the historical fabric healthy and habitable. Serious problems with rising damp, poor construction, bad repairs and asbestos make salvage very difficult. The house looks good externally but reveals a very unsatisfactory, unhealthy interior that has little integrity having been altered and extended many times.
6. Demolition	Demolition, but salvaging suitable reusable historical materials, appears to be the best solution.



Barbara Hickson HERITAGE ADVISER 27 JULY 2021

ADDENDUM – PHOTOS & PLANS

The following plans suggest how the current plan could be modified to accommodate salvaged materials from the existing house.

The geometry of the proposed roof should follow the original to accommodate the two decorative front-facing gables. Guttering should be a traditional profile and wrought iron finials could be reused.

The new front porch can accommodate the original front door and windows or reproduced timber windows of similar proportion (golden proportion), and turned posts (existing or reproduction to match). Door screens should be designed to complement the original doors.

Existing timber framed double hung windows can be reused in the front elevation and front returns.

Images of salvage fabric:



Figure 9 Decorative gables and wrought iron finial.



double hung windows



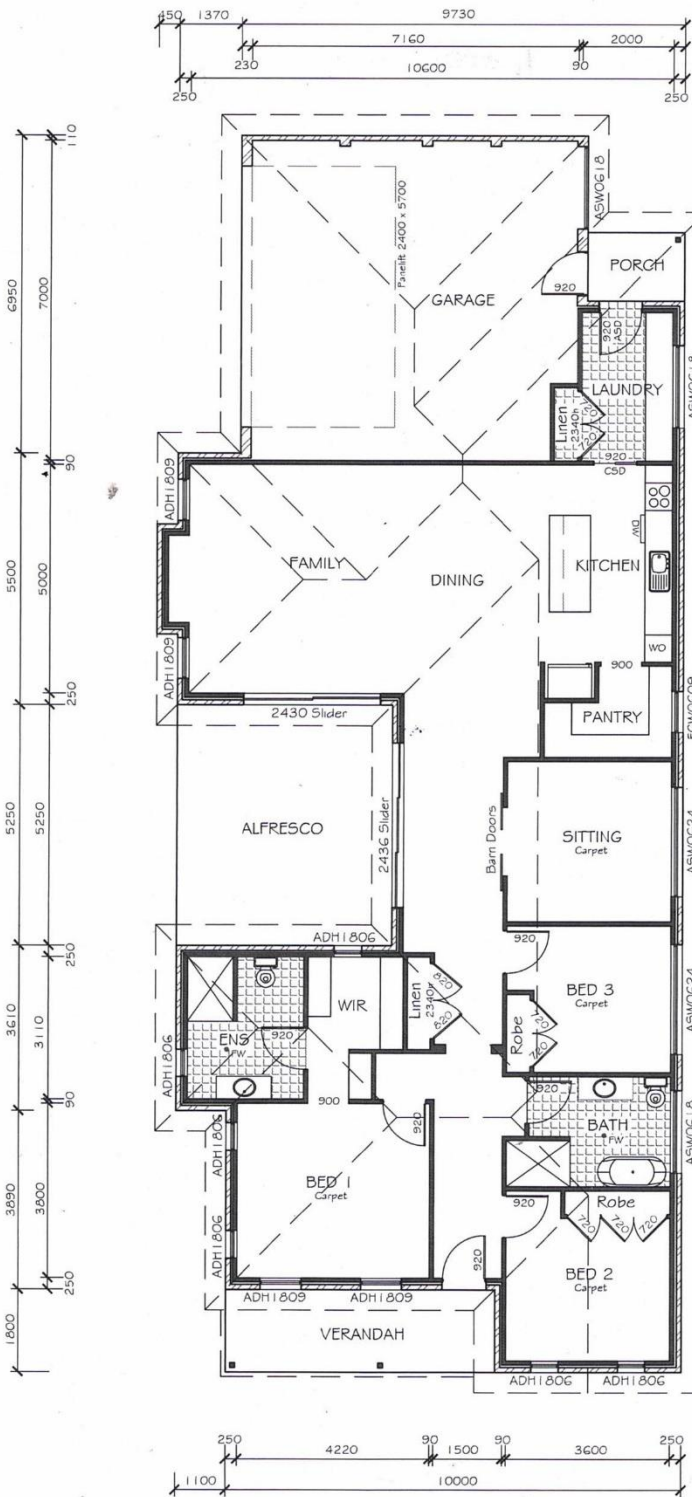
*Figure 10
Timber framed*



Figure 11 front door with highlight



Figure 12 Turned timber post.



UNIT 1 - FLOOR PLAN

PROPOSED PLAN

SUGGESTED PLAN CHANGES

