

PROPOSED NEW DUAL OCCUPANCY  
 LOT 16 in proposed subdivision of  
 LOT 13 DP 1266486 SALEYARDS LANE  
 MUDGEE NSW 2850 FOR:  
 DRAWING SCHEDULE



**BASIX REQUIREMENTS**

- 3-STARS SHOWERHEADS.
- 4-STARS WC, 4-STARS TAPS.
- 3000L SLIMLINE FOR EACH DWELLING MUST COLLECT WATER FROM 150m<sup>2</sup> OF ROOF AREA.
- SISAL TUFF WALL WRAP TO EXTERNAL WALLS.
- R1.5 HIGH DENSITY INSULATION BATTS TO INTERNAL WALLS JOINING TO GARAGE
- R3.5 INSULATION BATTS TO ENTIRE CEILING INCLUDING GARAGE.
- ROOF - DARK, EXTERNAL WALLS - DARK
- **WINDOWS W1,W2,W7-W11** SSW-001-07 A 100 SERIES - ALUMINIUM SLIDING WINDOW SG 4Clr (U-6.16, SHGC 0.74)
- **WINDOW W3,W4,W4a,W5,W6,W12** ALM-002-01 A Aluminium B SG Clear (U-6.70, SHGC 0.70)
- **DOOR D1,D4** SSW-012-11 A 100 SERIES - ALUMINIUM SLIDING DOOR SG 5Clr (U-6.07, SHGC 0.74).
- 6-STARS GAS INSTANTANEOUS HOT WATER SYSTEM TO DWELLING. LPG
- EXHAUST FANS TO BATHROOM & ENSUITE.
- 12.5kW PANASONIC DUCTED REVERSE CYCLE AIR CONDITIONING UNIT, DAY/NIGHT ZONED WITH UPTO 11 OUTLETS.
- OVEN - ELECTRIC: INALTO 1060XL5M
- COOKTOP - LPG : INALTO ICG6604W
- RANGEHOOD: INALTO ASL600R25
- DISHWASHER: INALTO IDW75

**CONSTRUCTION NOTES**

- ALL DIMENSIONS ARE IN MILLIMETRES AND SHOULD BE USED IN PREFERENCE TO SCALED MEASUREMENTS.
- ALL LEVELS ARE TO BE VERIFIED ON THE SITE BY THE BUILDER PRIOR TO WORK COMMENCING.
- ALL WET AREAS ARE TO BE SUITABLY GRADED AND DRAINED.
- FLOOR SLAB TO BE DESIGNED BY AN APPROVED STRUCTURAL ENGINEER.
- ALL TIMBER SPACING, SPANS AND SIZES SHALL COMPLY WITH TIMBER FRAMING CODE AS 1684.
- ENSURE STRICT COMPLIANCE WITH THE REQUIREMENTS OF BUILDING CODE OF AUS IN RELATION TO SIDE BOUNDARY CLEARANCE.
- ALL SEWER AND STORMWATER DRAINAGE TO BE IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL GOVERNMENT AUTHORITY.
- WET AREAS ARE TO BE SEALED AT THE INTERSECTION OF THE FLOOR AND WALL AND 1800 HIGH IN THE SHOWER RECESS CORNERS WITH AN APPROVED WET AREA SEAL.
- POWDER COATED ALUMINIUM WINDOWS AND DOORS TO BE USED THROUGHOUT. COLOUR SELECTION BY BUILDER.
- ALL FIXINGS, TIE DOWNS AND CONSTRUCTION METHODS ARE TO BE IN STRICT ACCORDANCE WITH AS1684 AND THE BCA.
- TERMITE PROTECTION TO BE IN ACCORDANCE WITH AS3660-1

**GENERAL NOTES:**

- LOCATE EXISTING SERVICES PRIOR TO CONSTRUCTION.
- EROSION / SEDIMENT CONTROL IN STRICT ACCORDANCE WITH COUNCIL REQUIREMENTS (REFER BUILDER).
- PROVIDE HARDBASE ALL WEATHER ACCESS, DURING CONSTRUCTION.
- CUT AND FILL TO BUILDER'S DISCRETION.
- NOMINATED WATER TO TANK. OVERFLOW TO INTER-ALLOTMENT DRAINAGE.
- BUILDER TO CONFIRM ALL FINISHED FLOOR LEVELS ON SITE.
- WIND - E.G. "N2"
- SITE - E.G. "H1"
- SOIL - E.G. "H1"

SHEET	DESCRIPTION/TITLE
01	COVER SHEET
02	SITE PLAN
03	LANDSCAPE PLAN
04	SERVICES PLAN
05	SUBDIVISION PLAN
06	UNIT 1 FLOOR PLAN
07	UNIT 1 ELEVATIONS 1-3
08	UNIT 1 ELEVATION 4 - SECTION 1
09	UNIT 1 SLAB PLAN
10	UNIT 1 ELECTRICAL PLAN
11	UNIT 1 BATH/WC/ENSUITE
12	UNIT 1 LAUNDRY/ KITCHEN
13	UNIT 1 WET AREA STEP DOWN DETAIL
14	UNIT 1 ROBE/LINEN/CABINETRY
15	UNIT 1 RAISED PORTICO DETAIL
16	UNIT 1 REAR ALFRESCO - ADJUSTABLE POST
17	UNIT 1 ALFRESCO -BULKHEADS
18	UNIT 1 GARAGE DOOR /CORNER/TERMITE PROTECTION
19	UNIT 1 FLOOR DETAILS
20	UNIT 1 ARTICULATION VERTICAL JOINT



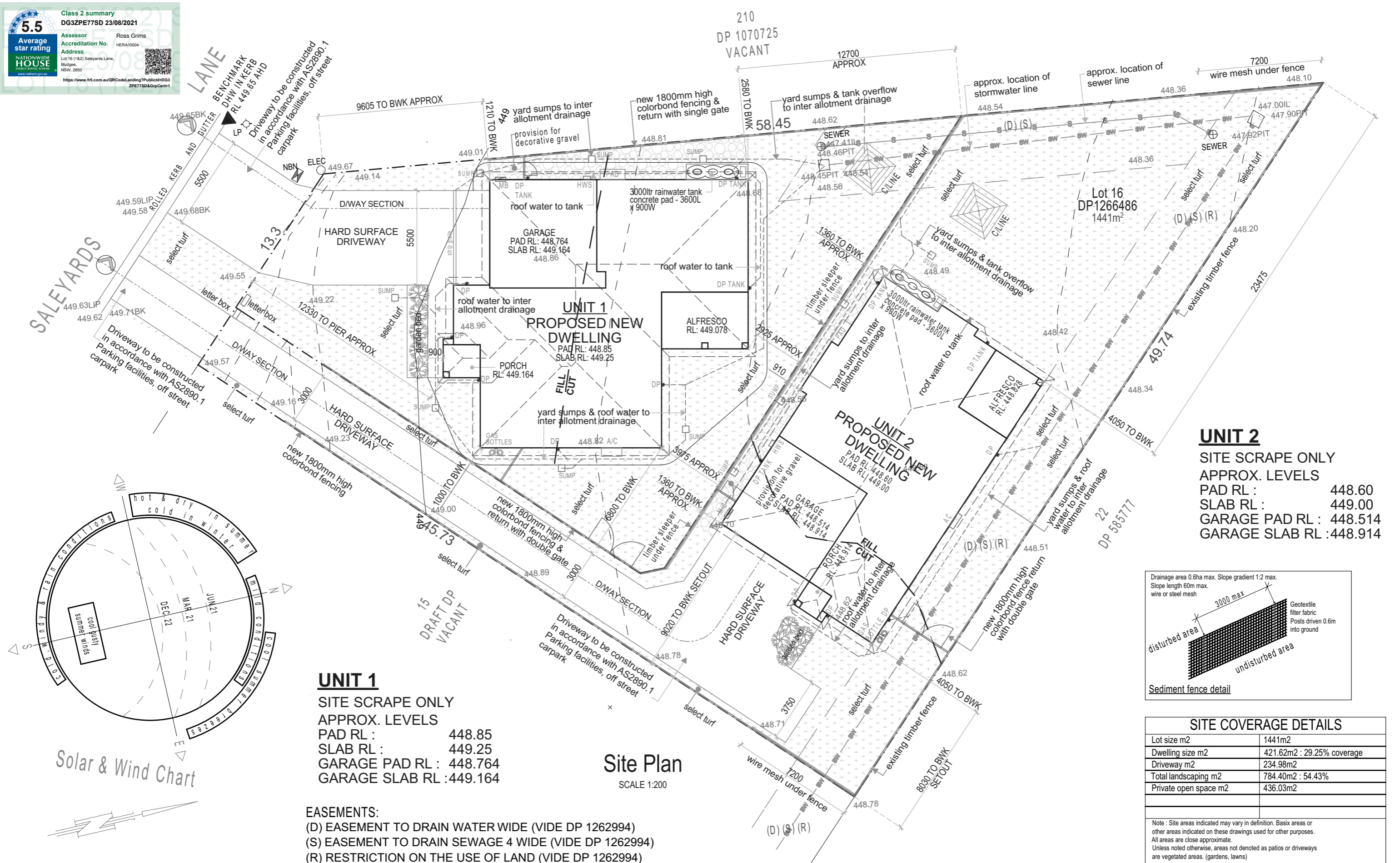
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**JOB ADDRESS**  
 LOT 16 in proposed subdivision of  
 LOT 13 DP 1266486 SALEYARDS  
 LANE MUDGEE NSW 2850  
**DESIGN** ALPHA 221 B19 MK4 LHG  
**PROPOSAL** NEW DWELLING **DP:** 1266486

drawing title		COVER SHEET		
date	issue	description	JOB No.	revision
10.08.21	1	FOR APPROVAL	10914.1	2
01.09.21	2	FRONT FENCE AMENDED	NTS <small>printed to A3 size</small>	PAGE
			DRAWN RG	1
			DATE 1/09/2021	
			WIND 'N2' SITE	

**5.5** Average star rating  
**NATIONWIDE HOUSE**  
 Assessor: Ross Grims  
 Accreditation No. HERA10004  
 Address: Lot 16 (1&2) Saleyards Lane, Mudgee, NSW, 2850  
 https://www.nrs.com.au/QRCodeLanding?PublicId=0G3ZPE77SD&Op=Cert1



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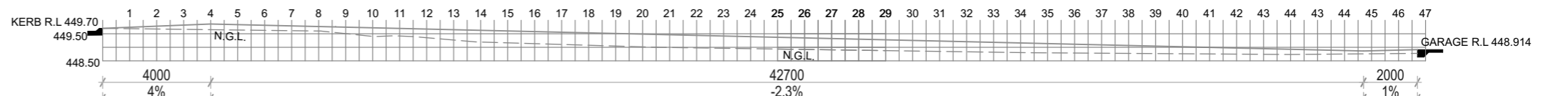
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date	issue	description		JOB No.	revision
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01.09.21	2	FRONT FENCE AMENDED		SCALE	1:200 <small>printed to A3 size</small>
				DRAWN	RG
				DATE	1/09/2021
				WIND 'N2'	SITE
					2

SITE COVERAGE DETAILS	
Lot size m2	1441m2
Dwelling size m2	421.62m2 : 29.25% coverage
Driveway m2	234.98m2
Total landscaping m2	784.40m2 : 54.43%
Private open space m2	436.03m2

Note : Site areas indicated may vary in definition. Basic areas or other areas indicated on these drawings used for other purposes. All areas are close approximate. Unless noted otherwise, areas not denoted as patios or driveways are vegetated areas. (gardens, lawns)

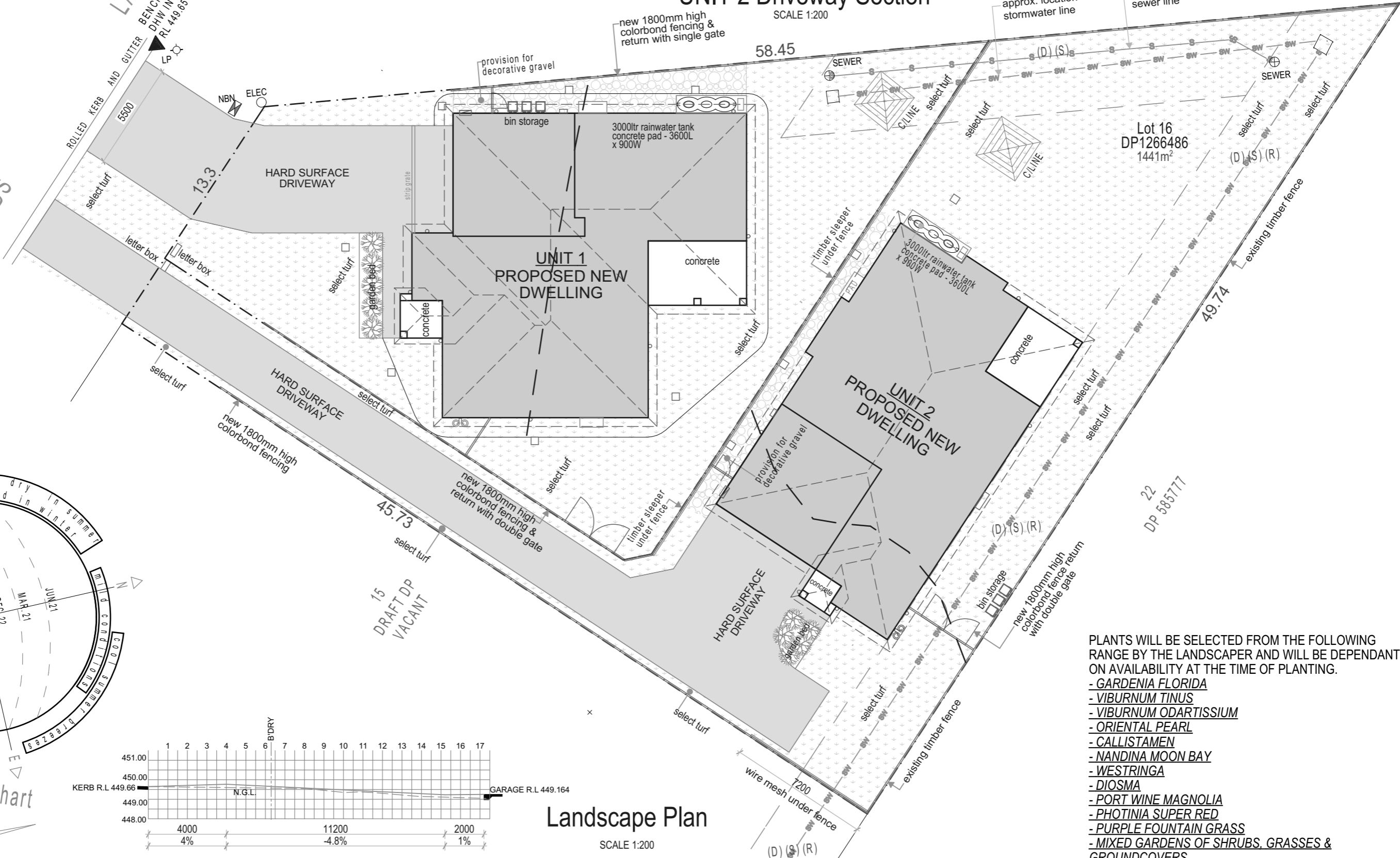


EASEMENTS:  
 (D) EASEMENT TO DRAIN WATER WIDE (VIDE DP 1262994)  
 (S) EASEMENT TO DRAIN SEWAGE 4 WIDE (VIDE DP 1262994)  
 (R) RESTRICTION ON THE USE OF LAND (VIDE DP 1262994)

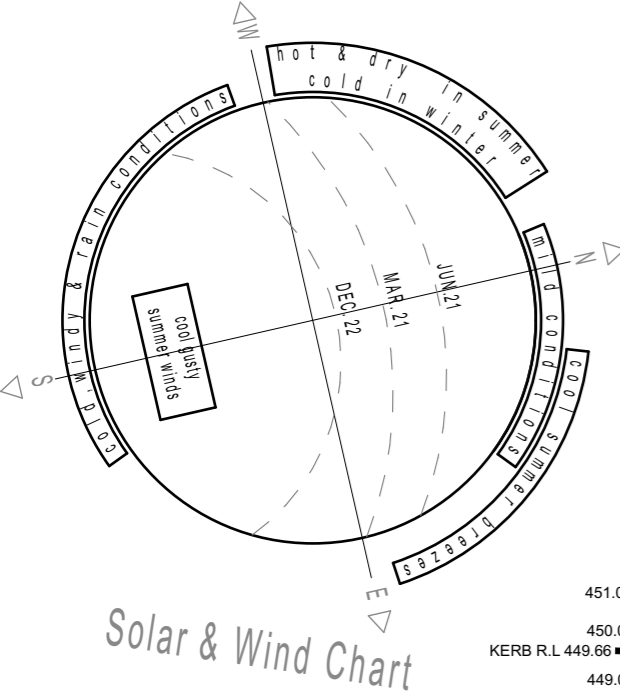


### UNIT 2 Driveway Section

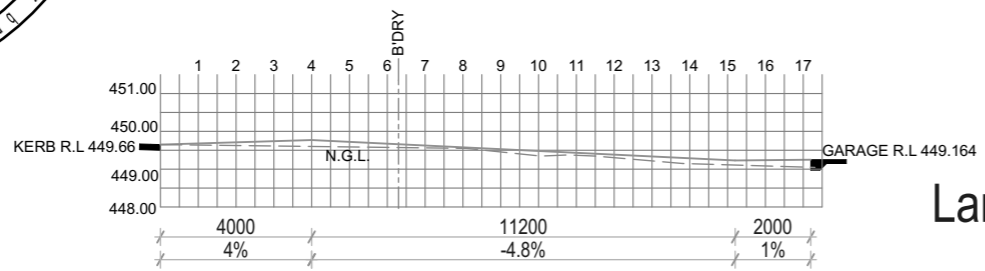
SCALE 1:200



SALEYARDS



Solar & Wind Chart



### UNIT 1 Driveway Section

SCALE 1:200

### Landscape Plan

SCALE 1:200

- PLANTS WILL BE SELECTED FROM THE FOLLOWING RANGE BY THE LANDSCAPER AND WILL BE DEPENDANT ON AVAILABILITY AT THE TIME OF PLANTING.
- GARDENIA FLORIDA
  - VIBURNUM TINUS
  - VIBURNUM ODARTISSIUM
  - ORIENTAL PEARL
  - CALLISTAMEN
  - NANDINA MOON BAY
  - WESTRINGA
  - DIOSMA
  - PORT WINE MAGNOLIA
  - PHOTINIA SUPER RED
  - PURPLE FOUNTAIN GRASS
  - MIXED GARDENS OF SHRUBS, GRASSES & GROUNDCOVERS



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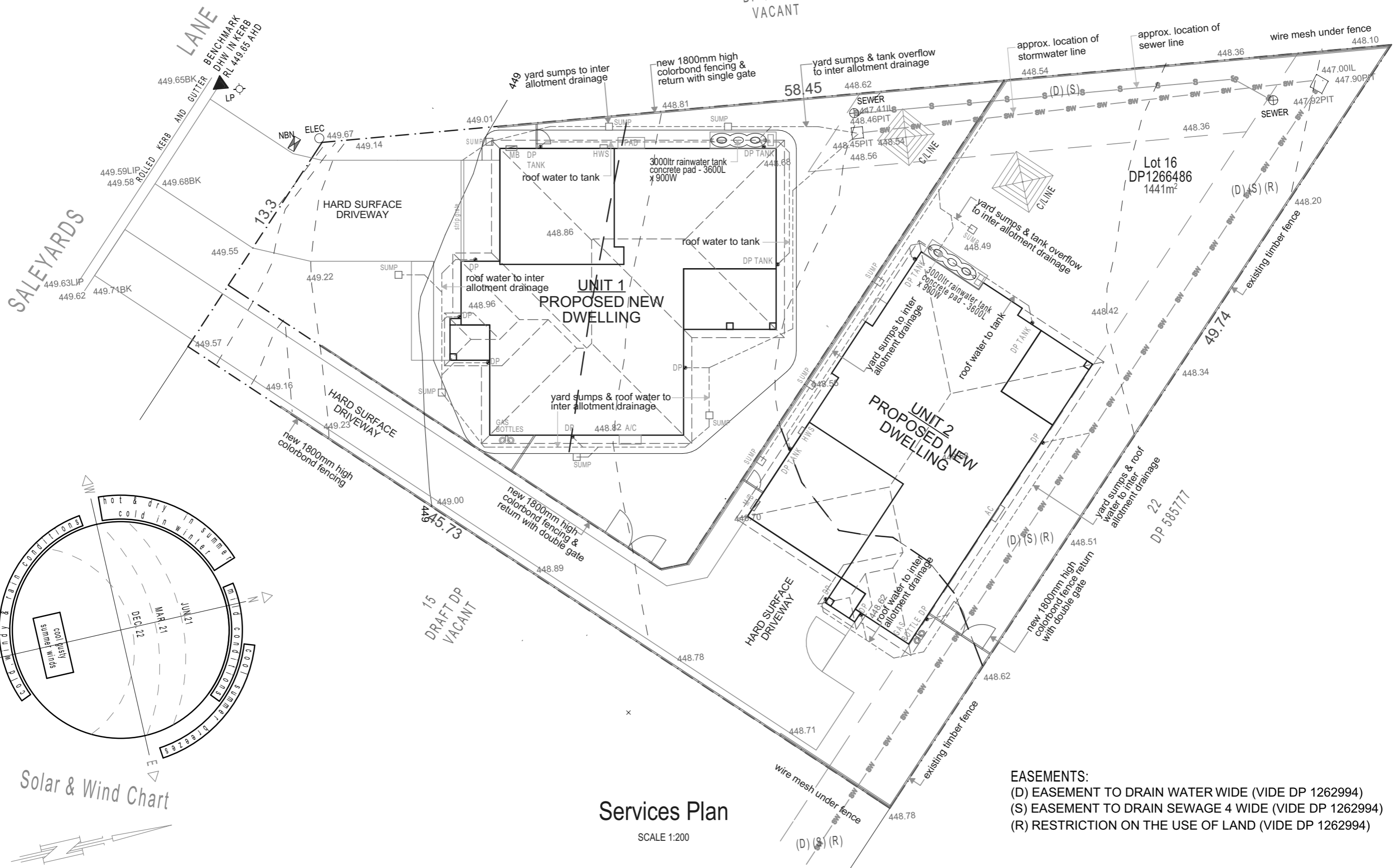
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 LANE MUDGEES NSW 2850

PROPOSAL: NEW DWELLING DP: 1266486

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01.09.21	2	FRONT FENCE AMENDED	DRAWN	RG	PAGE
			DATE	1/09/2021	3
			WIND 'N2'	SITE	

210  
DP 1070725  
VACANT



**Services Plan**

SCALE 1:200

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 (S) EASEMENT TO DRAIN SEWAGE 4 WIDE (VIDE DP 1262994)  
 (R) RESTRICTION ON THE USE OF LAND (VIDE DP 1262994)

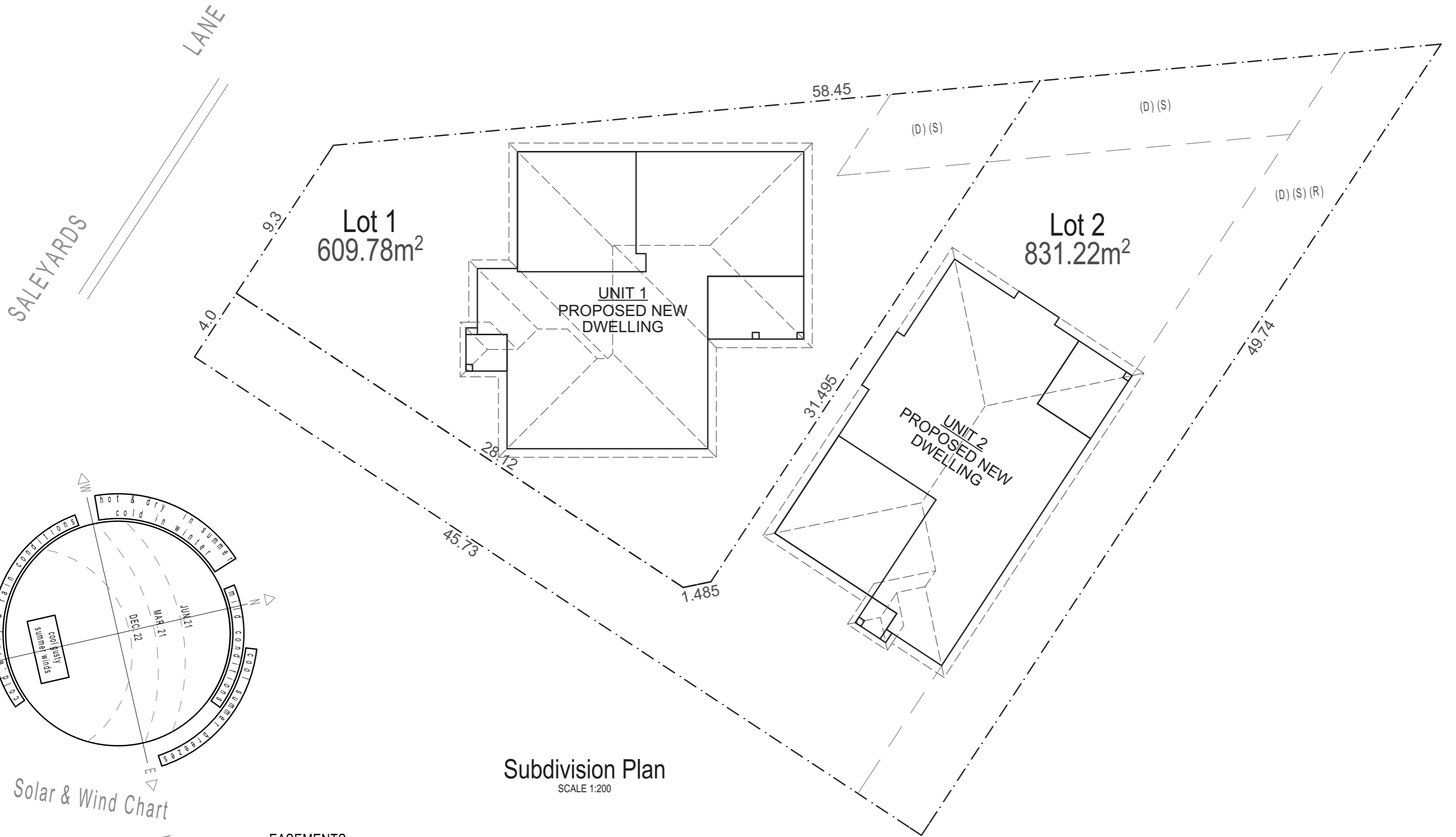
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01.09.21	2	FRONT FENCE AMENDED	DRAWN	RG	PAGE
			DATE	1/09/2021	4
			WIND 'N2'	SITE	



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**PROPOSAL**  
 NEW DWELLING DP: 1266486



Subdivision Plan  
SCALE 1:200

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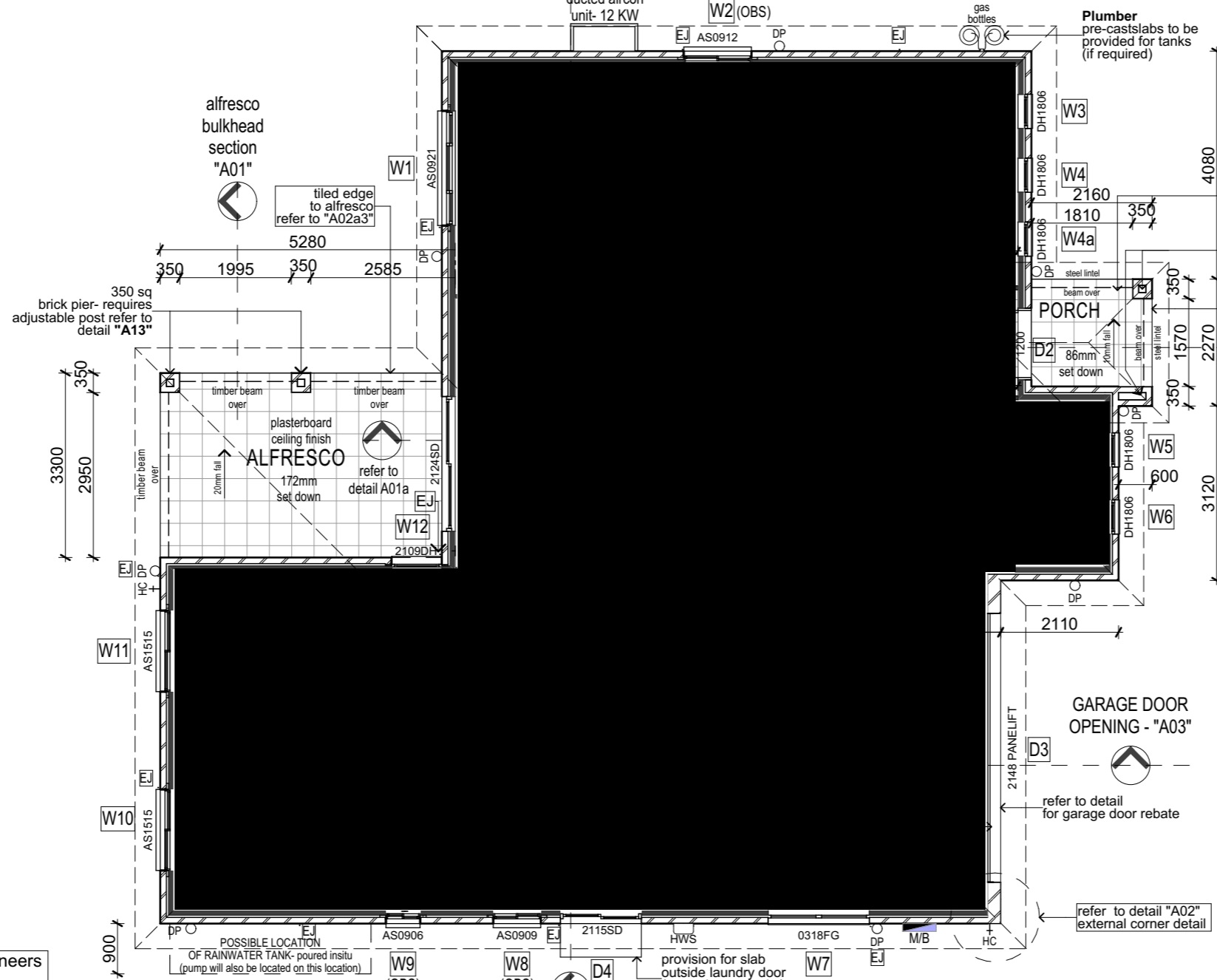
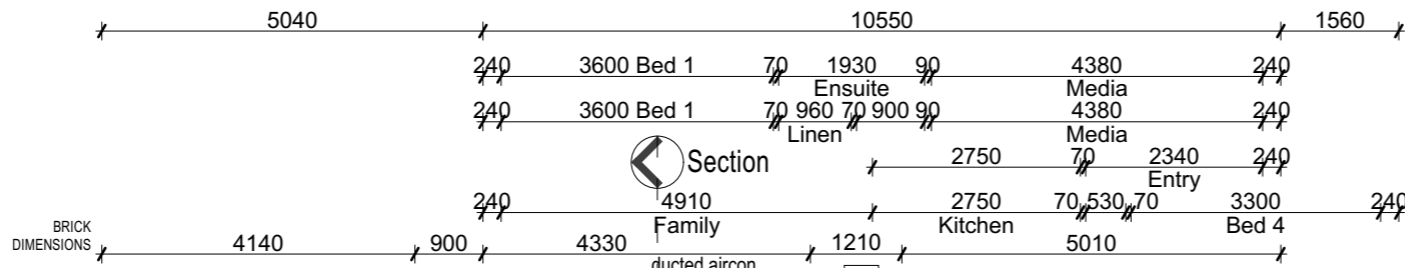
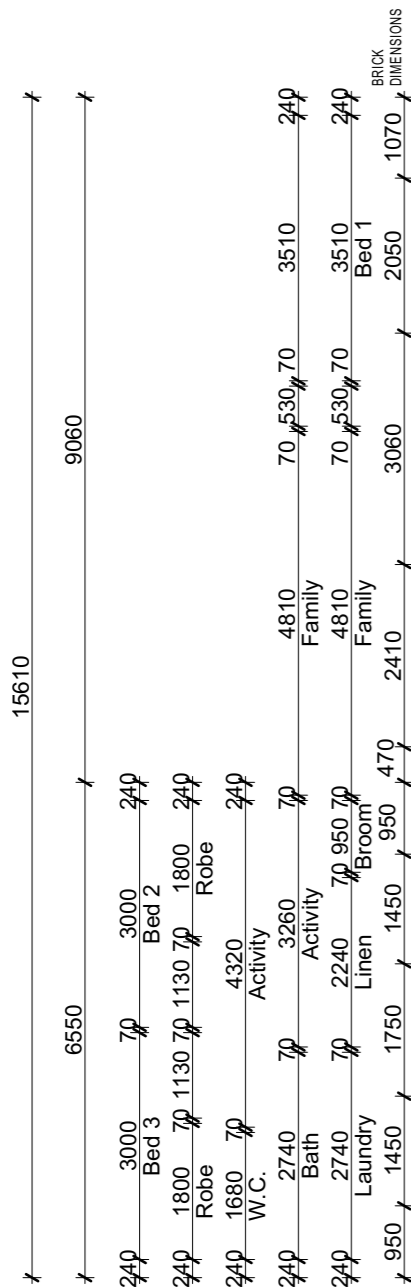
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drawing title		SUBDIVISION PLAN		
date	issue	description	JOB No.	revision
10.08.21	1	FOR APPROVAL	10914.1	2
01.09.21	2	FRONT FENCE AMENDED	SCALE 1:100 <small>printed to A3 size</small>	PAGE
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			WIND 'N2' SITE	

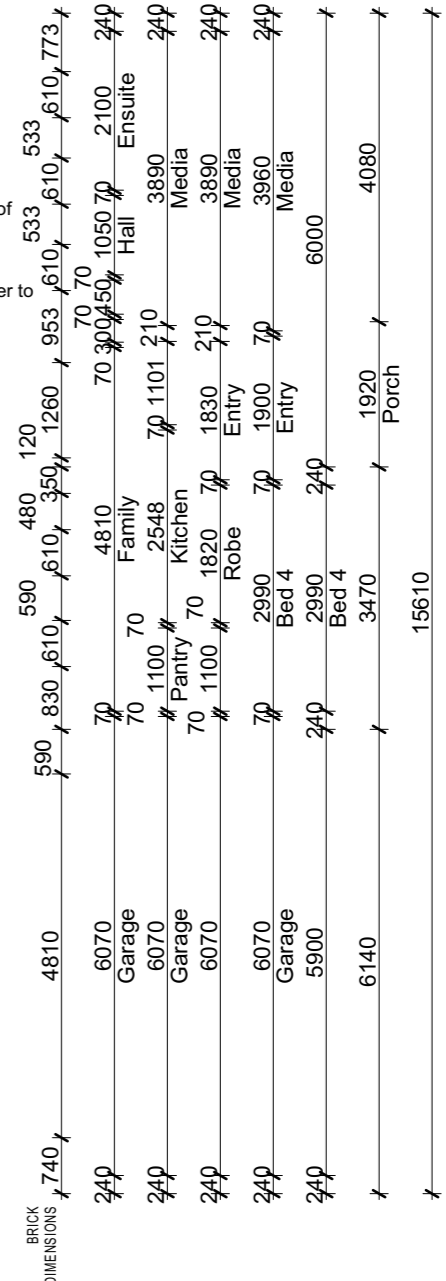


Elevation view marker



**PLAN SCHEDULE**

- T/rail
- TR
- MH
- OHC
- WOT
- W.H.V
- drawer unit
- HC
- DP
- spout
- mixer
- shower rose
- EJ expansion joint
- M/B meterbox



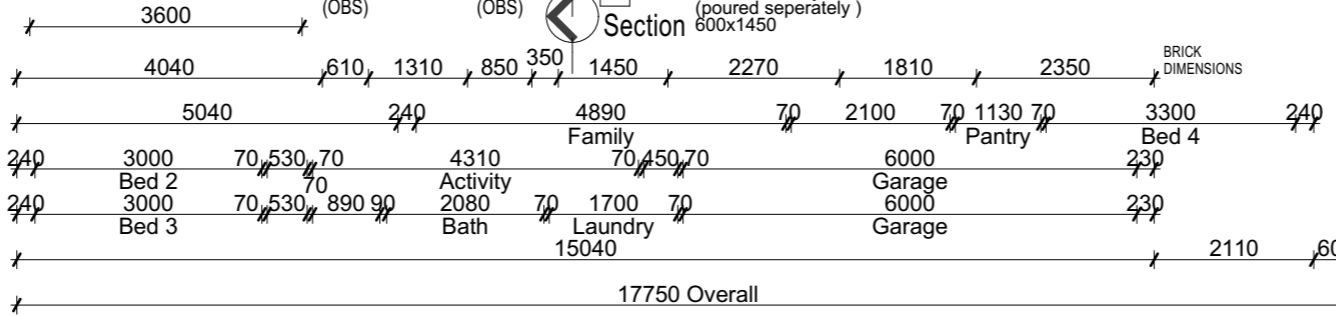
**Note** :expansion joints refer to engineers plans

**Note** :Please notify the drafting & estimating department at Hibbards head office for any discrepancies in details and dimensions

**Note**: refer to sheet 12 for wet area step down details

**Note**: refer to internal elevations to confirm tile layout and mixer/tap location

**Note**: refer to slab layout sheet for slab setout/ plumbing penetrations



**5.6** BRE1G7XNSH 20 Aug 2021  
 Assessor Accreditation No. ROSS GRIMS HERA10004  
 Address 1, SALEYARDS LANE MUDGEE NSW 2850  
 241  
 https://www.fr5.com.au/QRCodeLanding?PublicId=BRE1G7XNSH

Areas	
Living	159.95 m <sup>2</sup>
Garage	39.76 m <sup>2</sup>
Alfresco	16.63 m <sup>2</sup>
Porch	4.36 m <sup>2</sup>
<b>Total</b>	<b>220.70 m<sup>2</sup></b>
Perimeter:	<b>65.52 Lm</b>



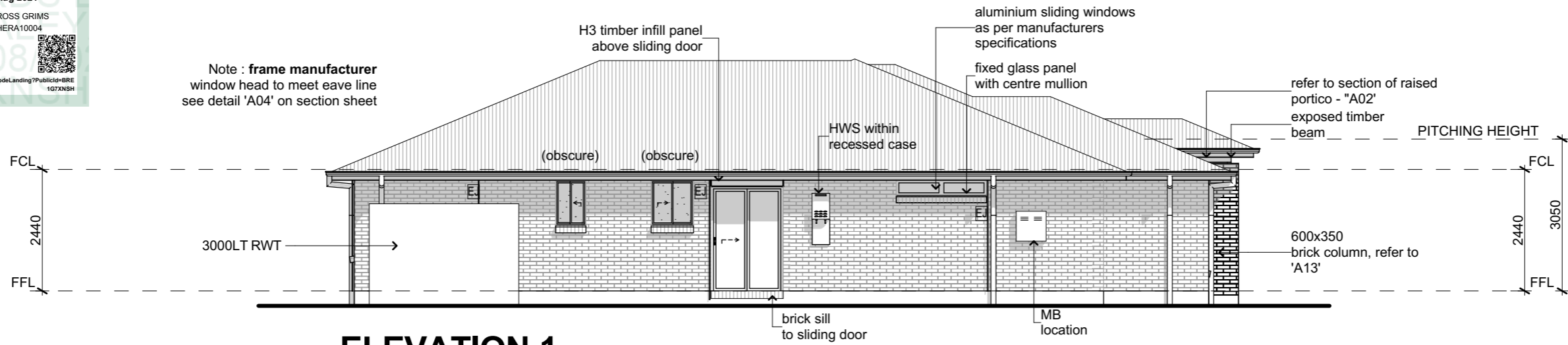
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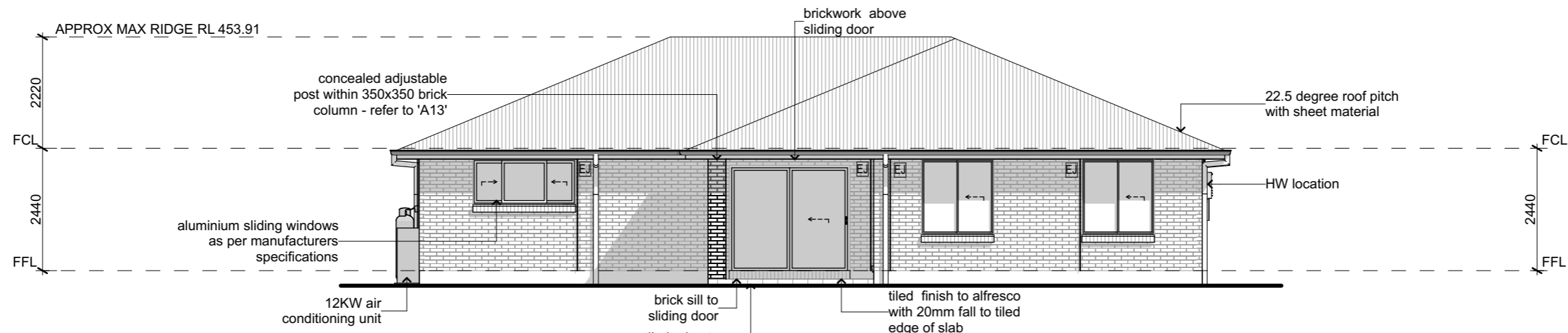
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drawing title				UNIT 1 FLOOR PLAN		
date	issue	description	JOB No.	10914.1	revision	
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01.09.21	2	FRONT FENCE AMENDED	DRAWN	RG	PAGE	
			DATE	1/09/2021	6	
			WIND 'N2'	SITE		

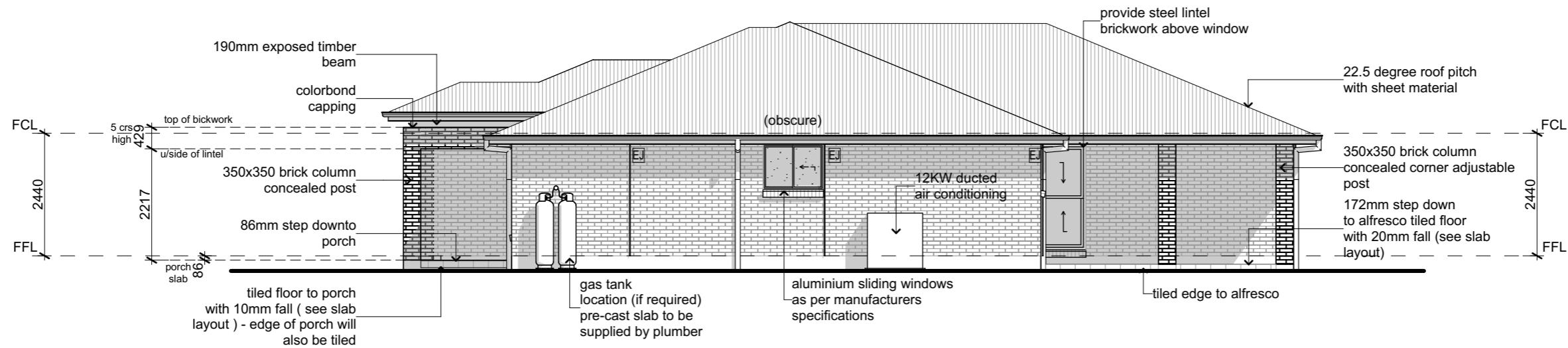
Note : frame manufacturer window head to meet eave line see detail 'A04' on section sheet



**ELEVATION 1**  
WEST



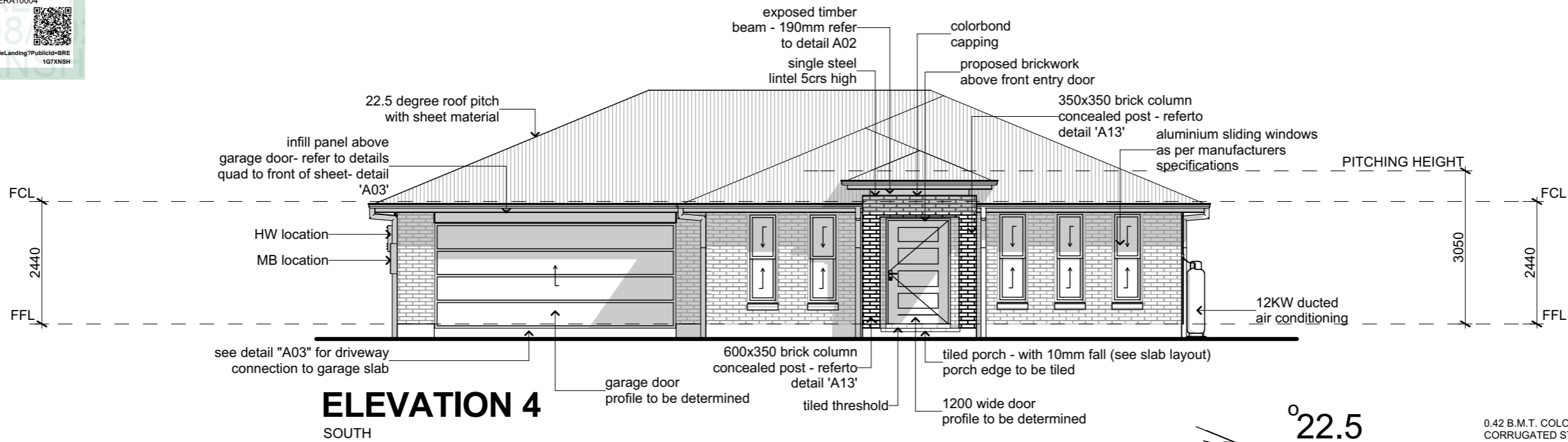
**ELEVATION 2**  
NORTH



**ELEVATION 3**  
EAST

drawing title			UNIT 1 ELEVATIONS 1-3		
date	issue	description	JOB No.	10914.1	revision
10.08.21	1	FOR APPROVAL	SCALE	1:100	2
01.09.21	2	FRONT FENCE AMENDED	DRAWN	RG	PAGE
			DATE	1/09/2021	7
			WIND 'N2'	SITE	



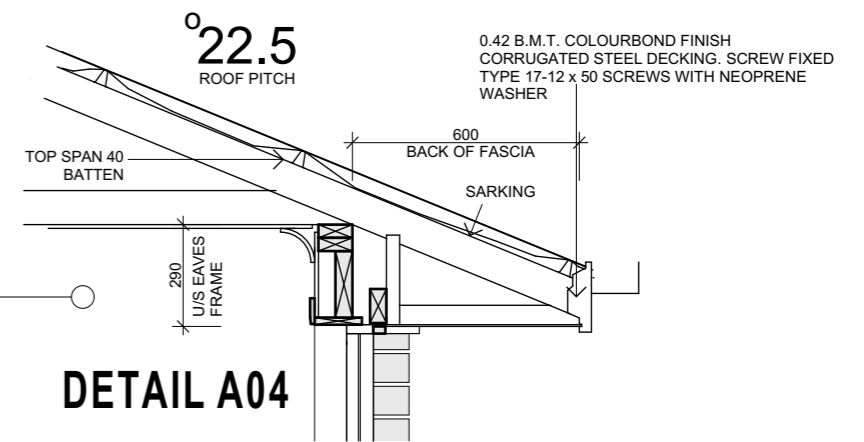


**ELEVATION 4**  
SOUTH

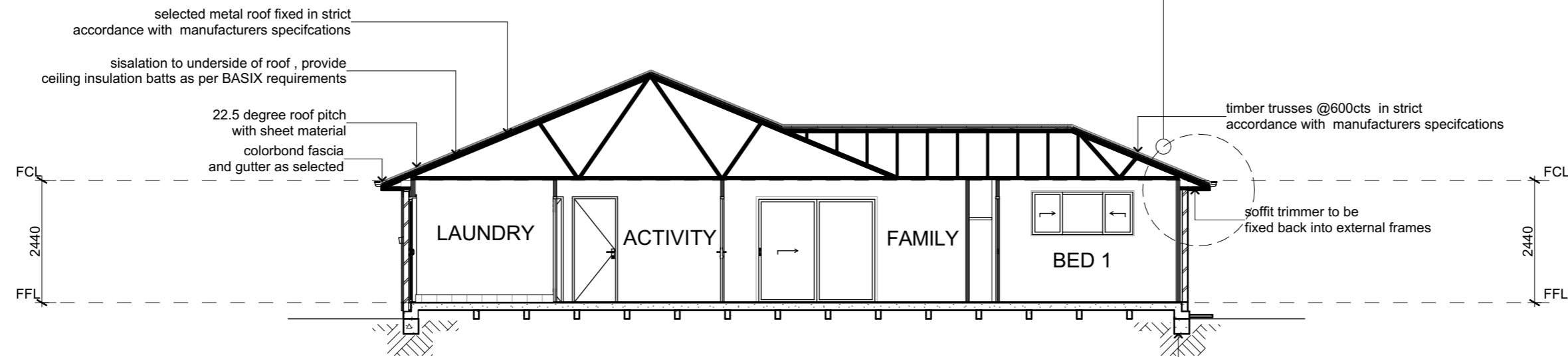
**Note :** The wind classification of N2 is in accordance with AS1684-2010 , the tie down and bracing details are to be provided to the PCA prior to the relevant inspection

**Note : Termite Protection**  
Termite protection is to be in accordance with AS3660-1 and installed in accordance with manufacturers specifications

**Note : Cabinetry**  
Please refer to internal elevations for cabinetry designs



**DETAIL A04**



**SECTION 1**

drawing title				UNIT 1 ELEVATION 4 - SECTION 1		
date	issue	description	JOB No.	10914.1	revision	
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01.09.21	2	FRONT FENCE AMENDED	DRAWN	RG	PAGE	
			DATE	1/09/2021	8	
			WIND 'N2'	SITE		







NOTE:  
ALL EXTERNAL LIGHTS WILL BE SHIELDED TO  
PREVENT LIGHT ABOVE HORIZONTAL

### LIGHTING LEGEND

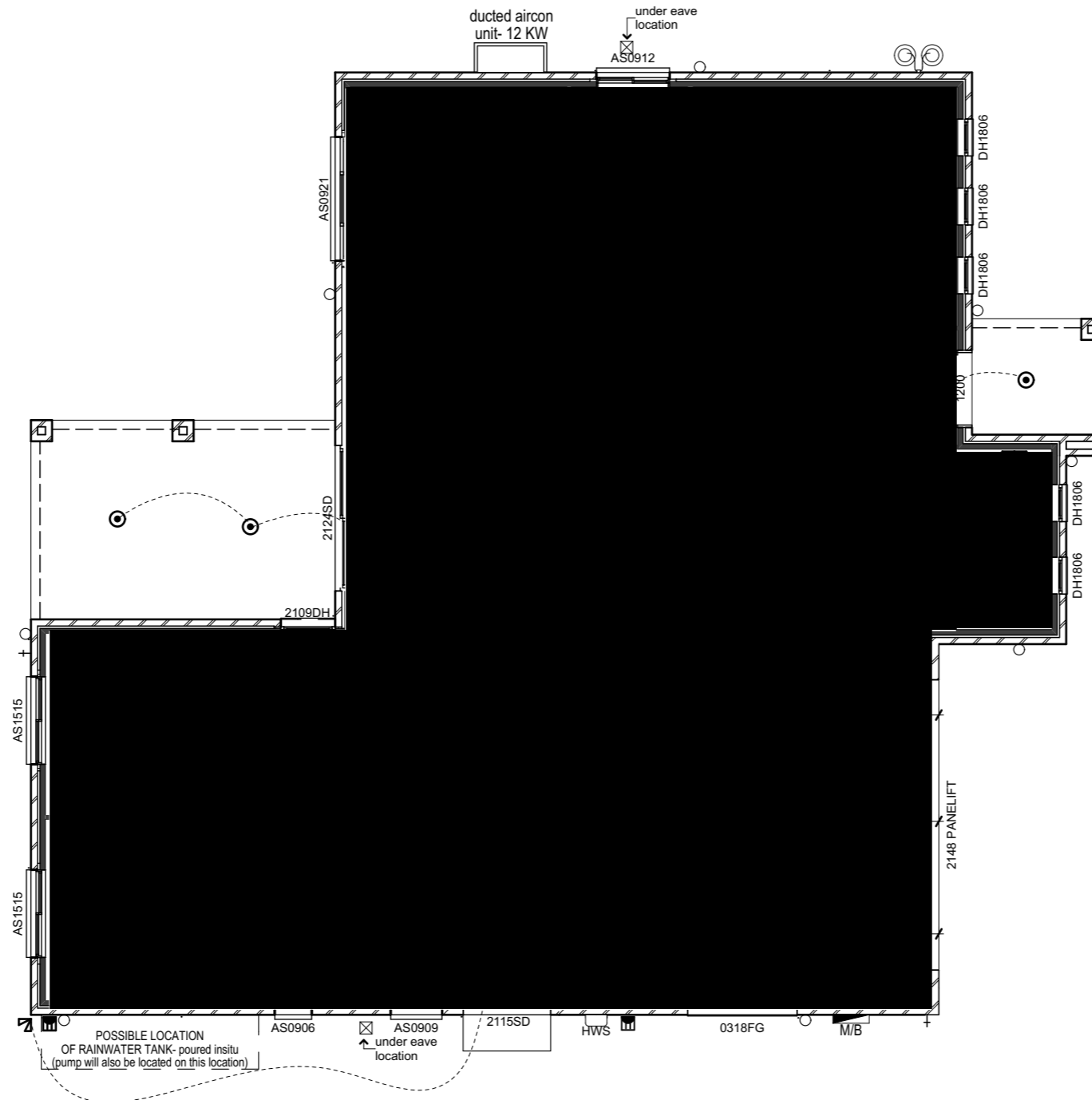
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- DOUBLE @ 300 - USB
- DOUBLE @ 300
- SINGLE @ 1050
- DOUBLE @ 1050 - USB
- DOUBLE @ 1050
- APPLIANCE SHELF DOUBLE @ 1600
- VANITY @ 1100
- GARAGE @ 1350
- FRIDGE @ 1650
- MICROWAVE @ 1650
- RANGEHOOD @1650
- LIGHT SWITCH
- DOWNLIGHT
- TV
- PHONE
- DUCTED EXHAUST FAN
- PANELIFT GPO
- FLUORO LIGHT
- 2-WAY**
- 2 WAY CIRCUIT
- DOUBLE WATERPROOF GPO @ 1050
- SINGLE WATERPROOF GPO @ 1050
- SMOKE ALARMS BY ELECTRICIAN TO AS3786
- DATA POINT
- NBN DATA**
- NBN DATA POINT @ 1050
- DOUBLE SPOT
- BUNKER LIGHT
- DUCTED GRILL
- 2 IN 1 DUCTED EXHAUST FAN/LIGHT
- 2 IN 1 NON-DUCTED EXHAUST FAN/LIGHT
- 3 IN 1 FAN / LIGHT / HEAT
- EVAPORATIVE COOLER POINT (DUBBO, TAMWORTH)

ALL PRODUCTS AND FINISHES AS PER BUILDERS SPECIFICATIONS

NOTE:  
THIS IS A GENERIC ELECTRICAL PLAN ONLY. THE LAYOUT, LOCATION OF POINTS, LIGHTS AND OUTLETS SHOWN MAY ALTER WITHOUT NOTIFICATION, DUE TO COUCIL REQUIREMENTS, BUILDING LOCATION AND/OR OTHER UNFORSEEN CIRCUMSTANCES

**General Notes :**

1. All heights measured from the main floor level unless otherwise noted.
2. Light switches @ 1300mm above FL wall mounted.
3. Top of Meter box to be 1900mm maximum above ground level.
4. GPO's are to be positioned to nearest stud unless otherwise dimensioned.
5. Provide automatic fire detection system in accordance with BCA clause 1.7

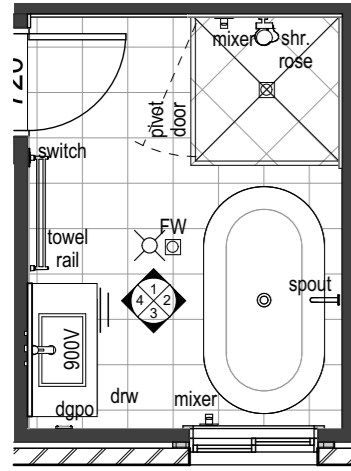


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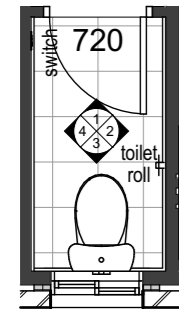
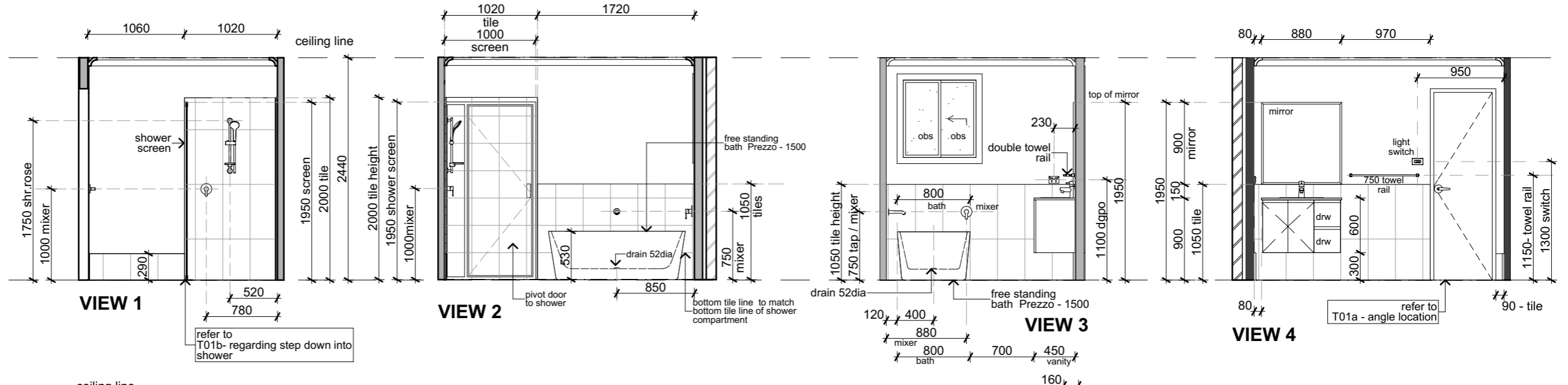
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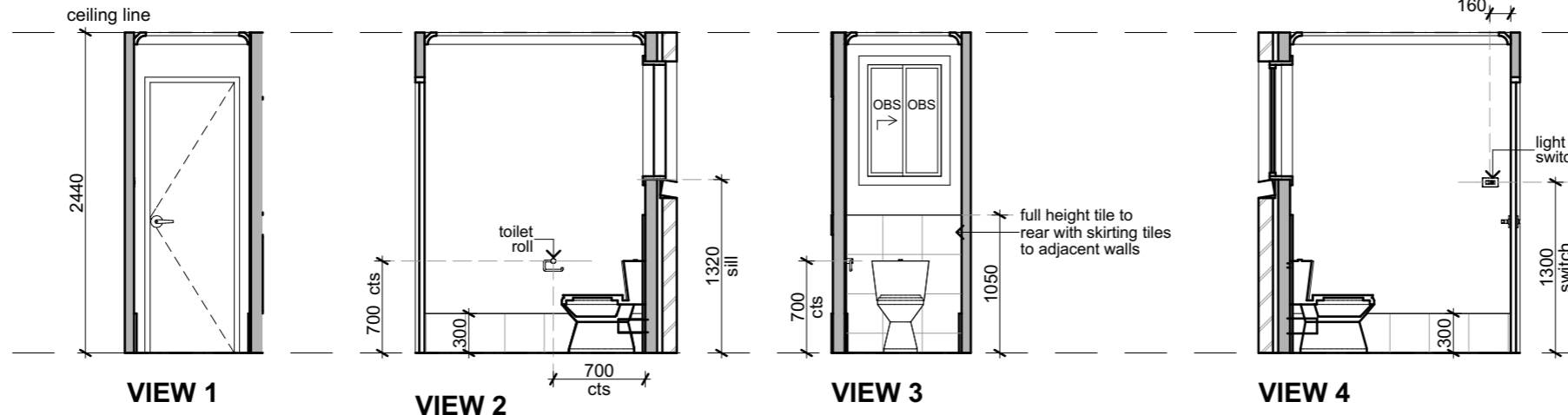
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date	issue	description	JOB No.	revision
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01.09.21	2	FRONT FENCE AMENDED	SCALE	1:100 <small>printed to A3 size</small>
			DRAWN	RG
			DATE	1/09/2021
			WIND 'N2'	SITE
				10



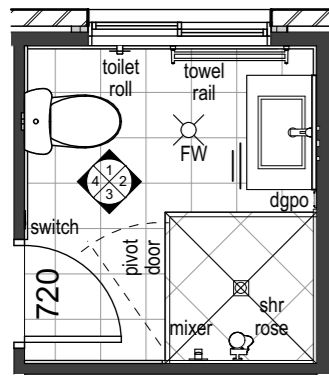
**BATH LAYOUT**



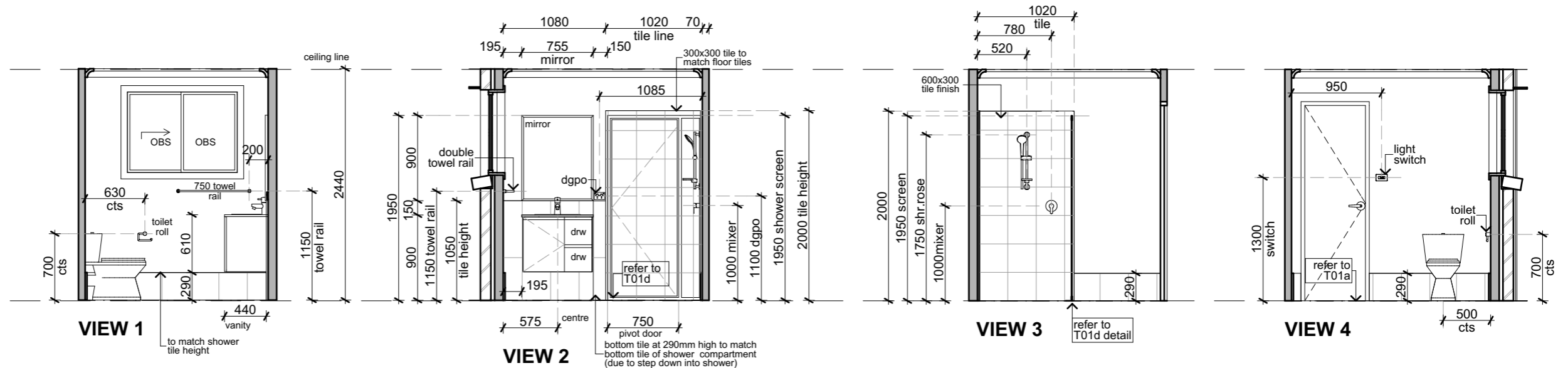
**WC LAYOUT**



Note :Tiler  
Please ensure to follow nominated  
floor and wall tile format



**ENSUITE LAYOUT**

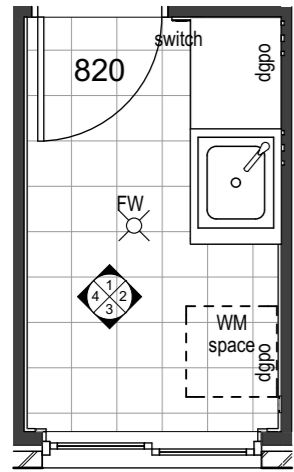


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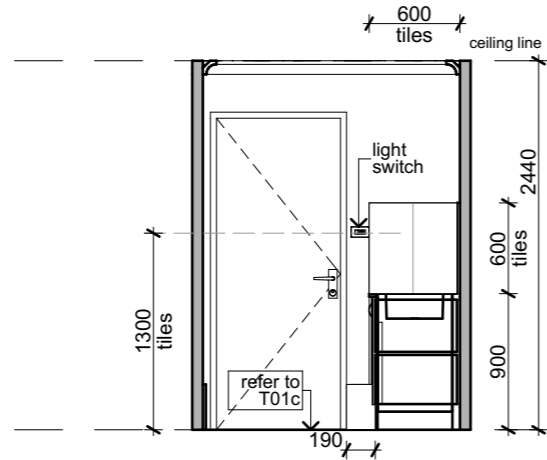
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ALPHA 221 B19 MK4 LHG

**JOB ADDRESS**  
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LOT 13 DP 1266486 SALEYARDS  
LANE MUDGEE NSW 2850  
**PROPOSAL** NEW DWELLING **DP:** 1266486

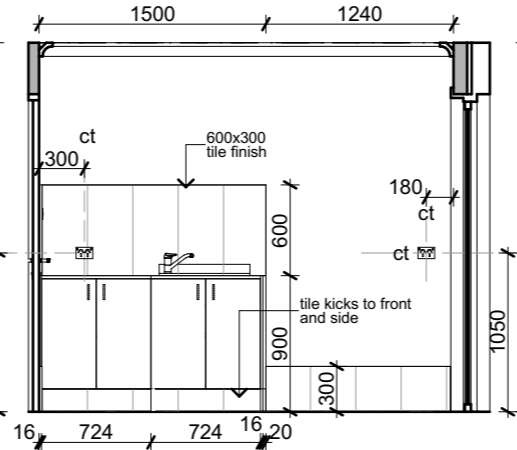
drawing title			UNIT 1 BATH/WC/ENSUITE		
date	issue	description	JOB No.	10914.1	revision
10.08.21	1	FOR APPROVAL	SCALE	1:50	2
01.09.21	2	FRONT FENCE AMENDED	DRAWN	RG	PAGE
			DATE	1/09/2021	11
			WIND	'N2'	SITE



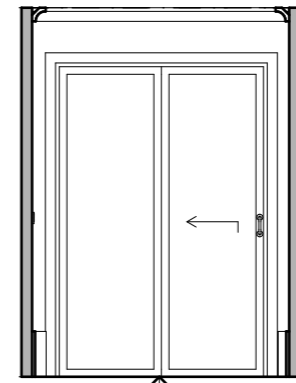
**LAUNDRY LAYOUT**



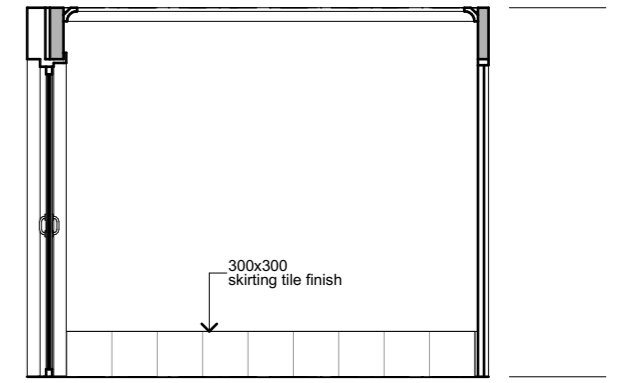
**VIEW 1**



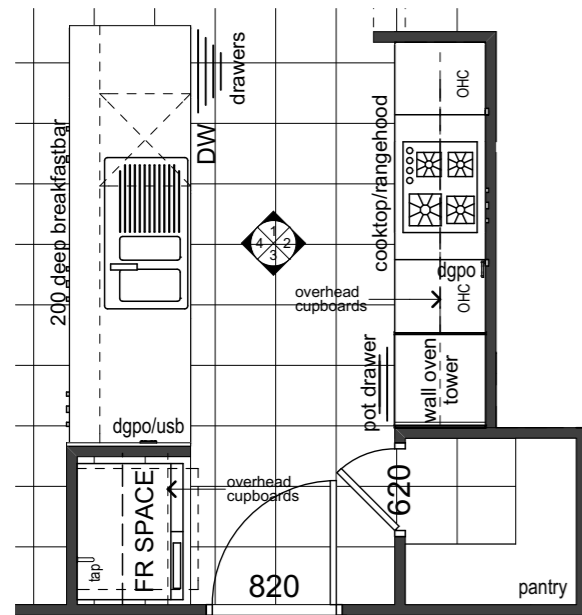
**VIEW 2**



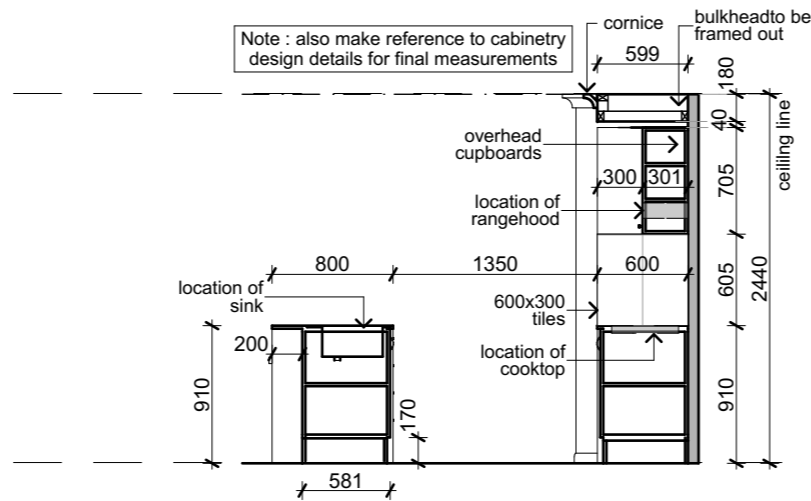
**VIEW 3**



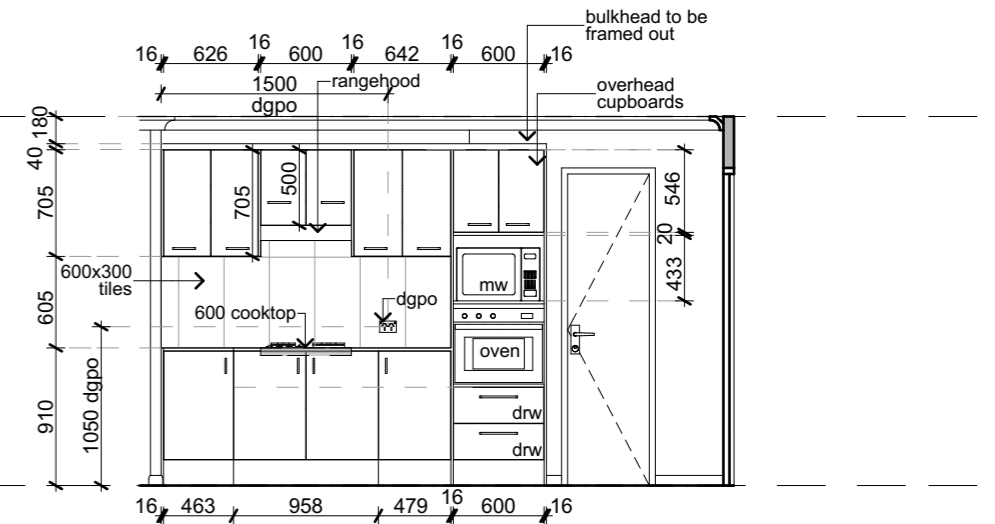
**VIEW 4**



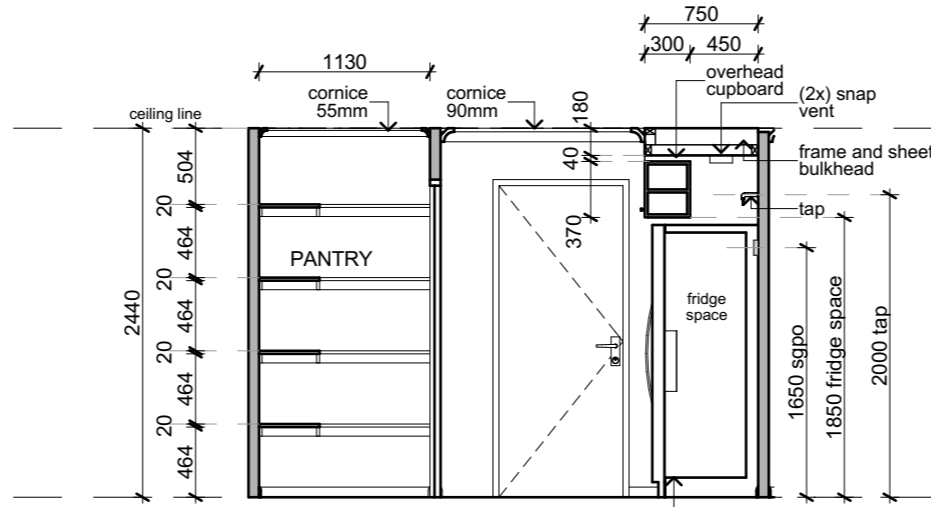
**KITCHEN LAYOUT**



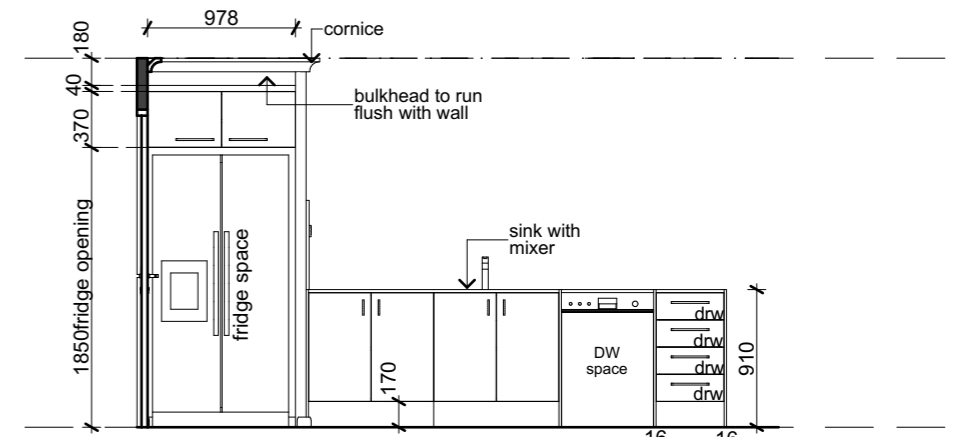
**VIEW 1**



**VIEW 2**



**VIEW 3**



**VIEW 4**



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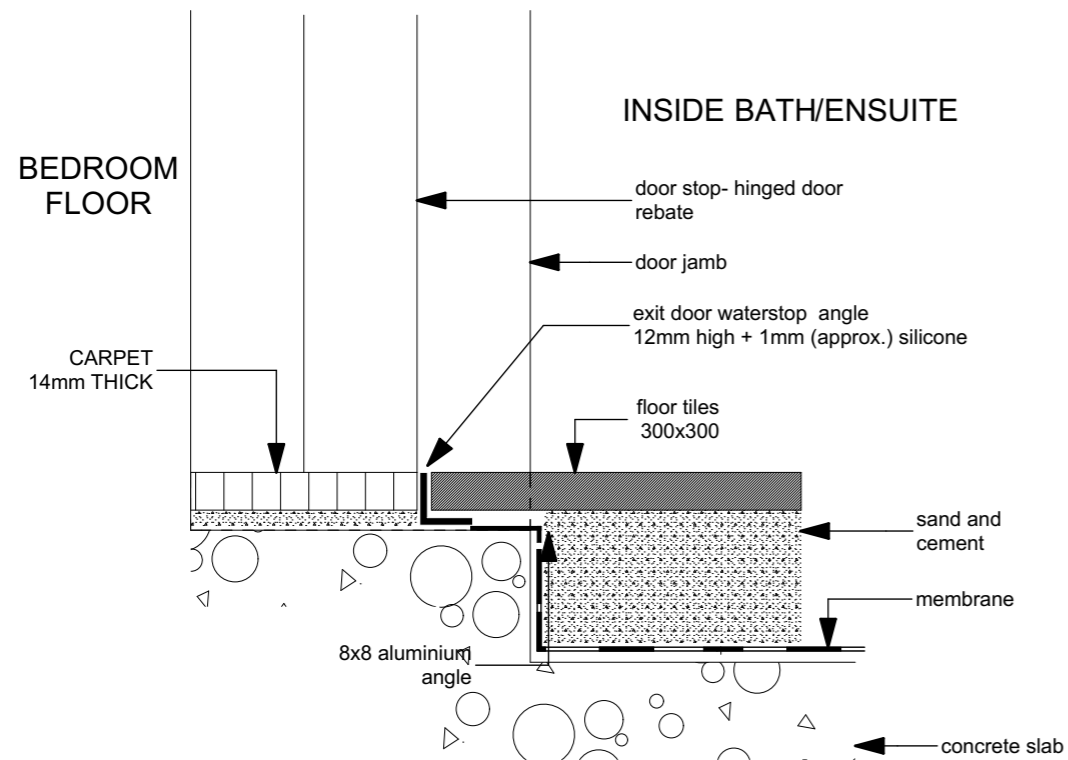
LOT 16 in proposed subdivision of  
LOT 13 DP 1266486 SALEYARDS  
LANE MUDGEE NSW 2850

PROPOSAL

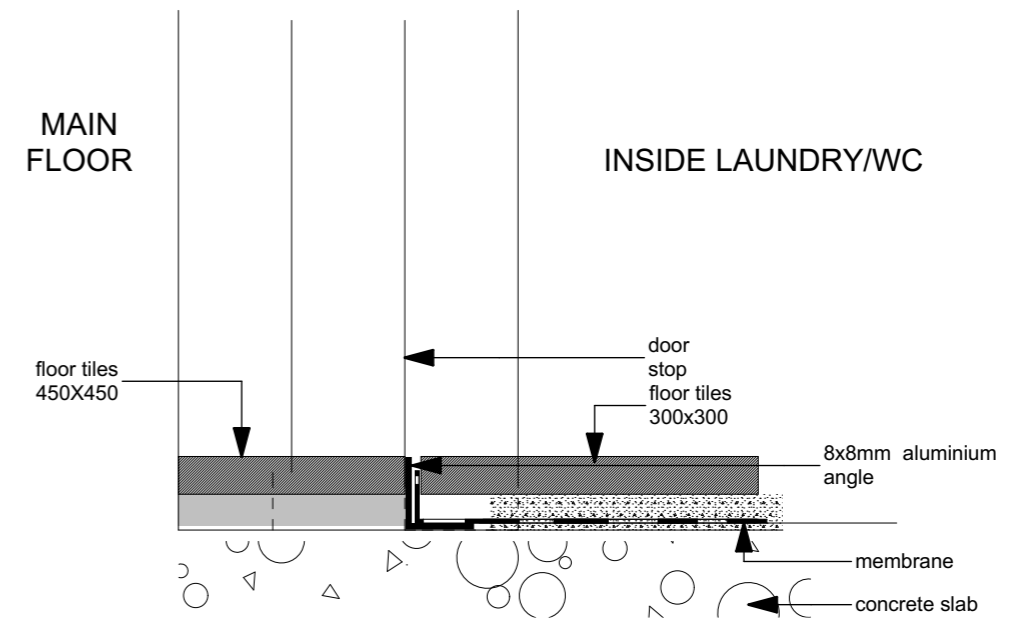
NEW DWELLING DP: 1266486

drawing title			UNIT 1 LAUNDRY/ KITCHEN		
date	issue	description	JOB No.	10914.1	revision
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01.09.21	2	FRONT FENCE AMENDED	DRAWN	RG	PAGE
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			WIND 'N2'	SITE	

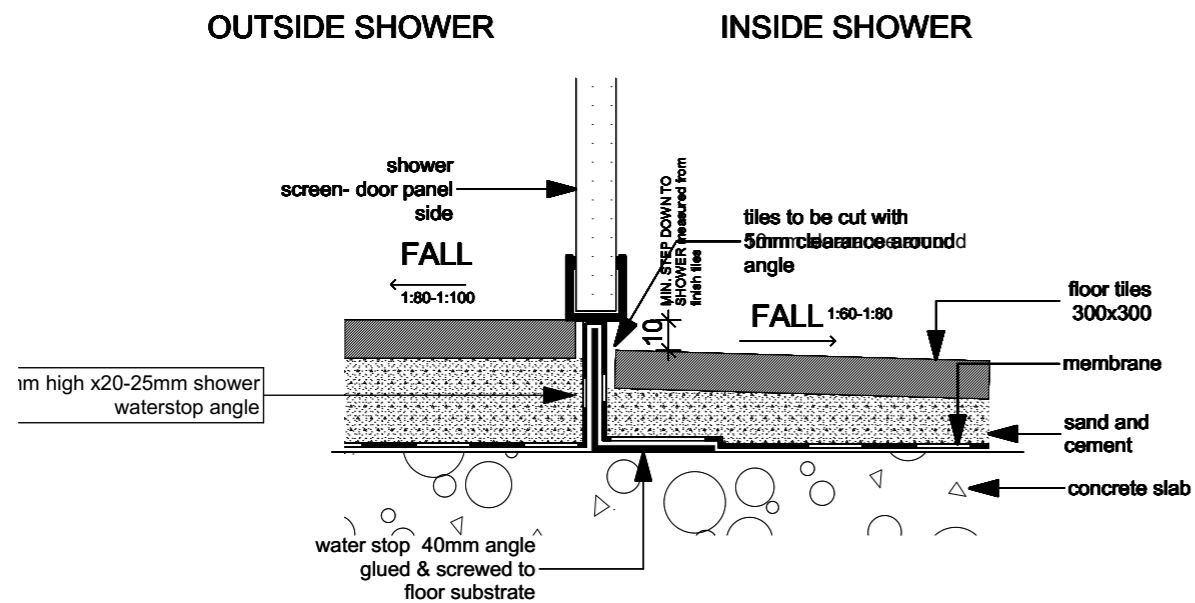




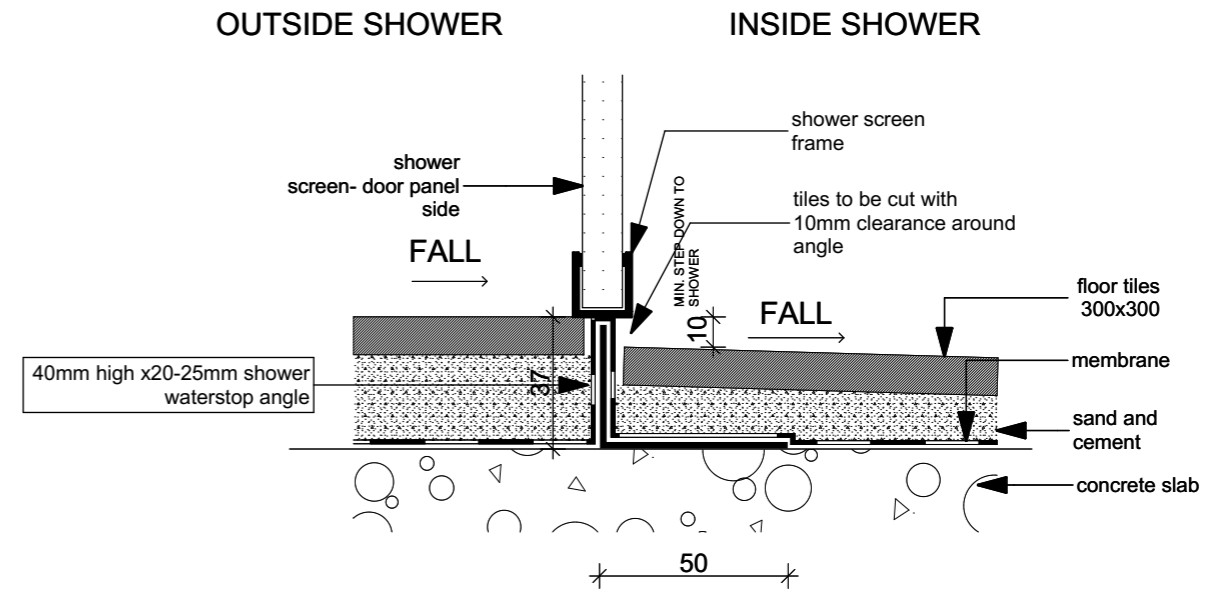
**DETAIL 2**  
 entrance door to  
 bedroom /ensuite  
 T01a



**DETAIL 1**  
 entrance door to  
 laundry/WC  
 T01c



**shower door track to  
 bathroom /ensuite**  
 T01b



**shower track (return screen/ no door) to  
 bathroom /ensuite**  
 T01d

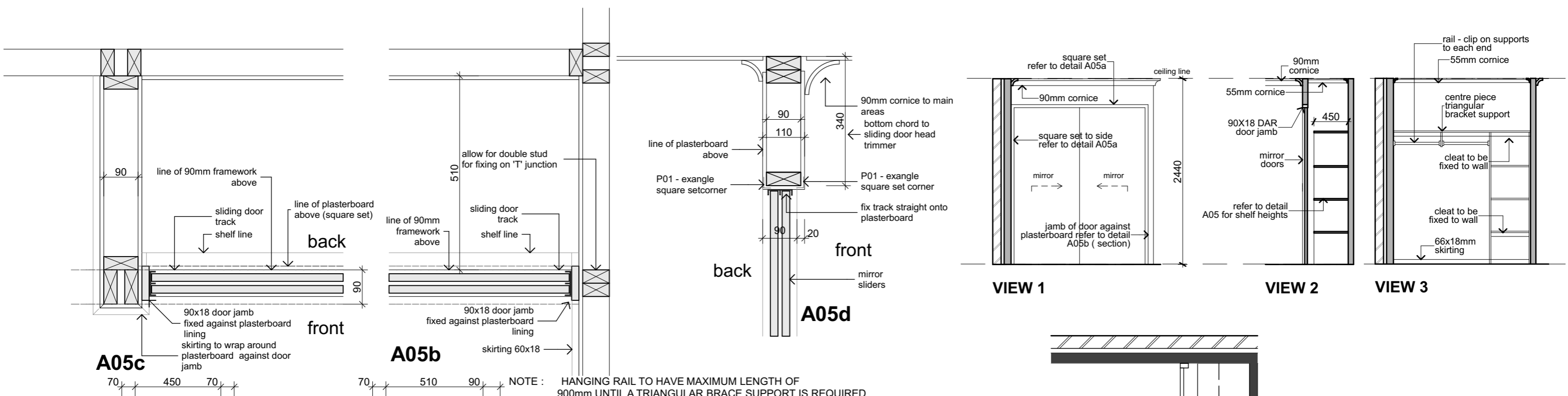


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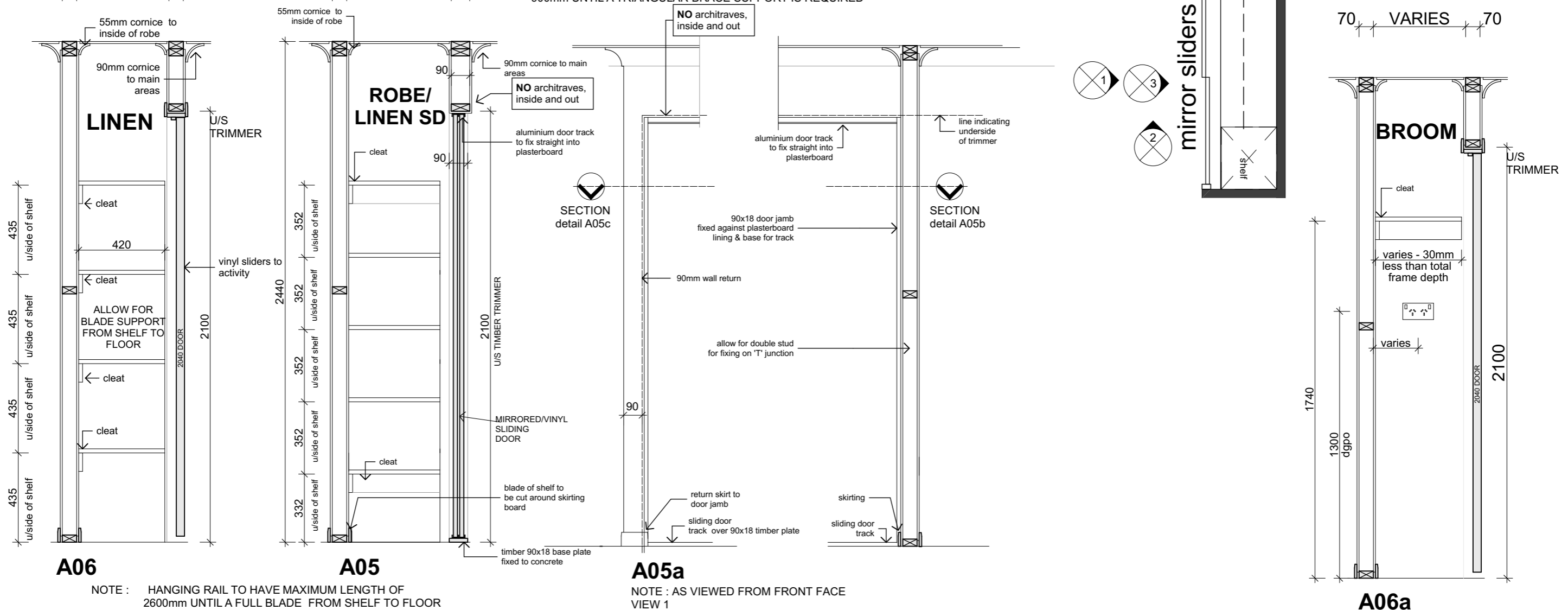
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**PROPOSAL** NEW DWELLING **DP:** 1266486

drawing title		UNIT 1 WET AREA STEP DOWN DETAIL			
date	issue	description	JOB No.	10914.1	revision
10.08.21	1	FOR APPROVAL	SCALE	NTS	2
01.09.21	2	FRONT FENCE AMENDED	DRAWN	RG	PAGE
			DATE	1/09/2021	13
			WIND 'N2'	SITE	



NOTE : HANGING RAIL TO HAVE MAXIMUM LENGTH OF 900mm UNTIL A TRIANGULAR BRACE SUPPORT IS REQUIRED



NOTE : HANGING RAIL TO HAVE MAXIMUM LENGTH OF 2600mm UNTIL A FULL BLADE FROM SHELF TO FLOOR SUPPORT IS REQUIRED

NOTE : AS VIEWED FROM FRONT FACE VIEW 1

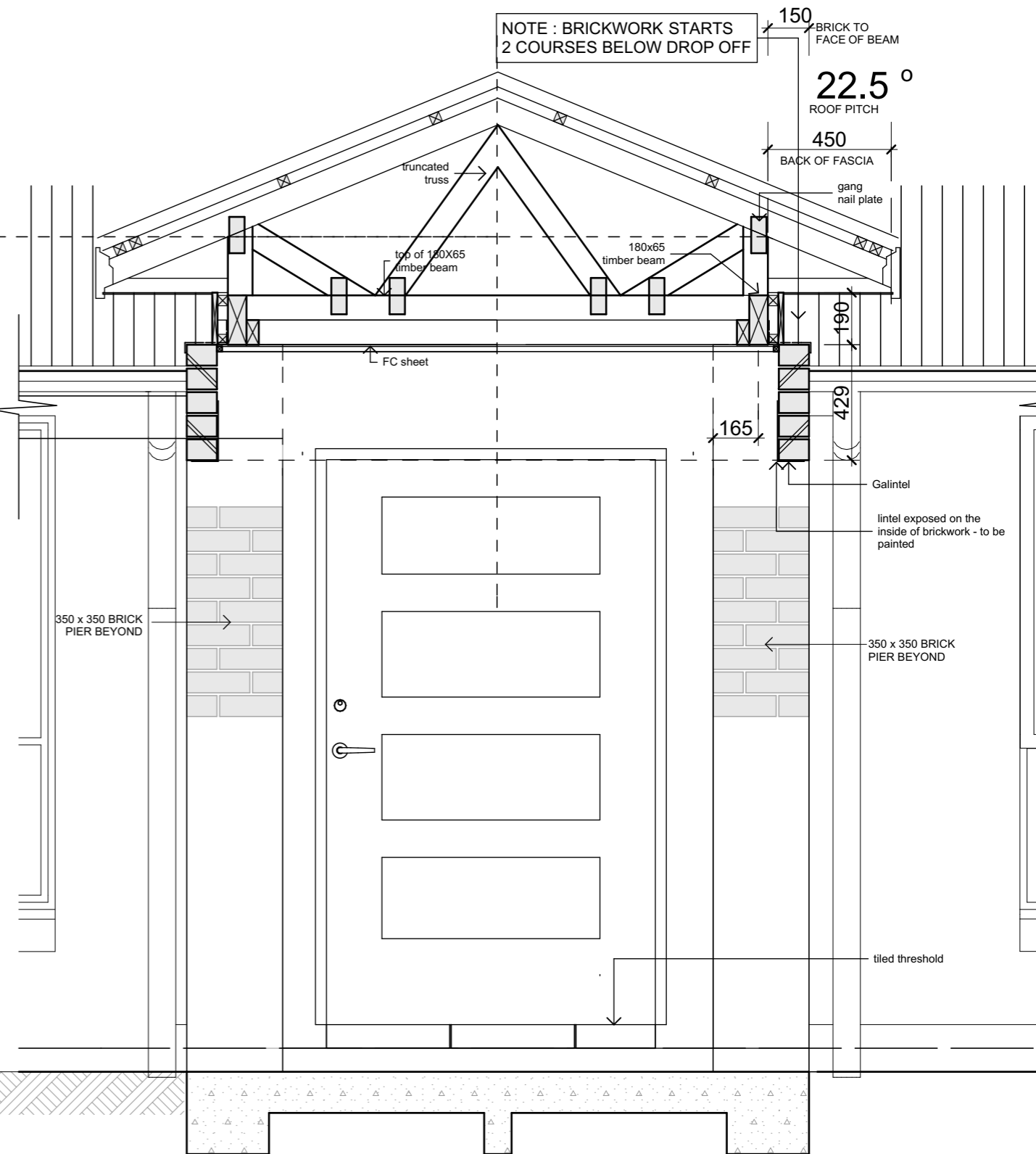
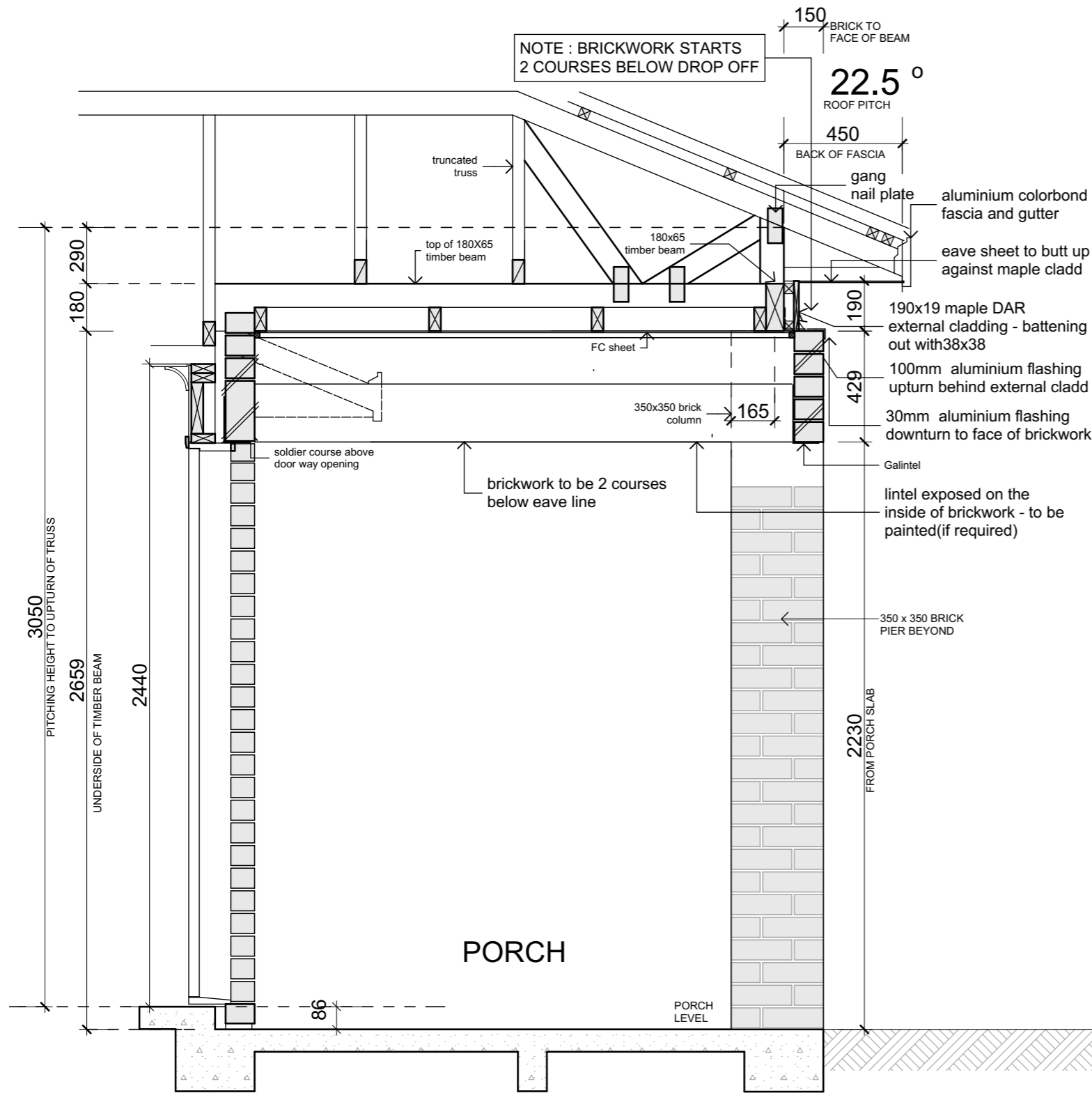


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drawing title			UNIT 1 ROBE/LINEN/CABINETRY		
date	issue	description	JOB No.	10914.1	revision
10.08.21	1	FOR APPROVAL	SCALE	1:20	2
01.09.21	2	FRONT FENCE AMENDED	DRAWN	RG	PAGE
			DATE	1/09/2021	14
			WIND 'N2'	SITE	



ALPHA  
PORCH WALL SECTION  
RAISED ROOF - BRICK / TIMBER BEAM  
SCALE 1:20

ALPHA  
PORCH WALL SECTION  
RAISED ROOF - BRICK / TIMBER BEAM  
SCALE 1:20

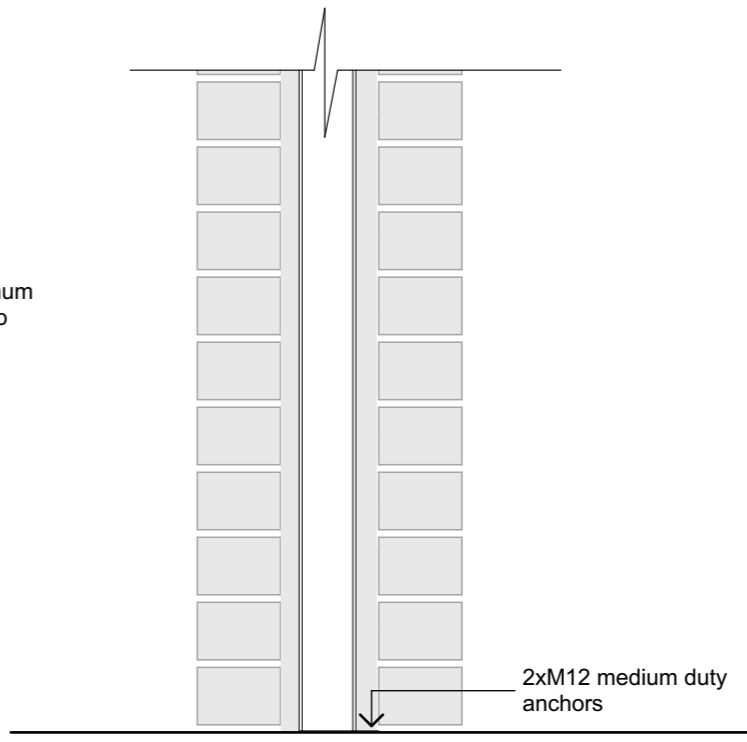
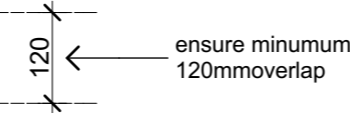
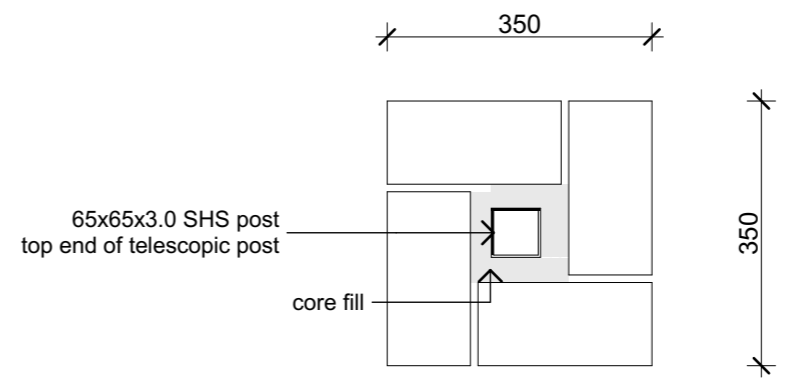
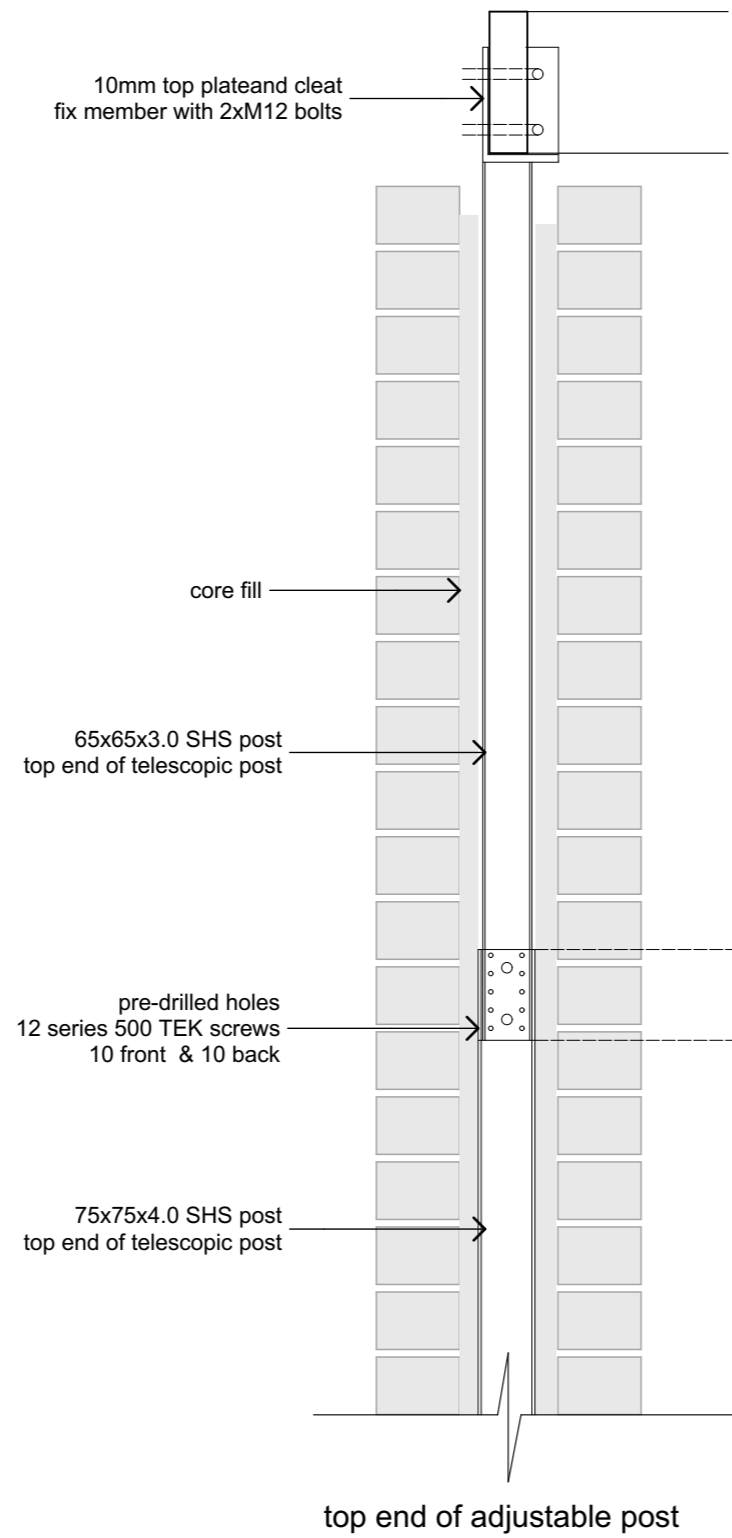


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PROPOSAL  
NEW DWELLING DP: 1266486

drawing title		UNIT 1 RAISED PORTICO DETAIL		
date	issue	description	JOB No.	revision
10.08.21	1	FOR APPROVAL	10914.1	2
01.09.21	2	FRONT FENCE AMENDED	SCALE 1:20 <small>printed to A3 size</small>	PAGE
			DRAWN RG	15
			DATE 1/09/2021	
			WIND 'N2' SITE	



**DETAIL A01b**  
bottom end of adjustable post



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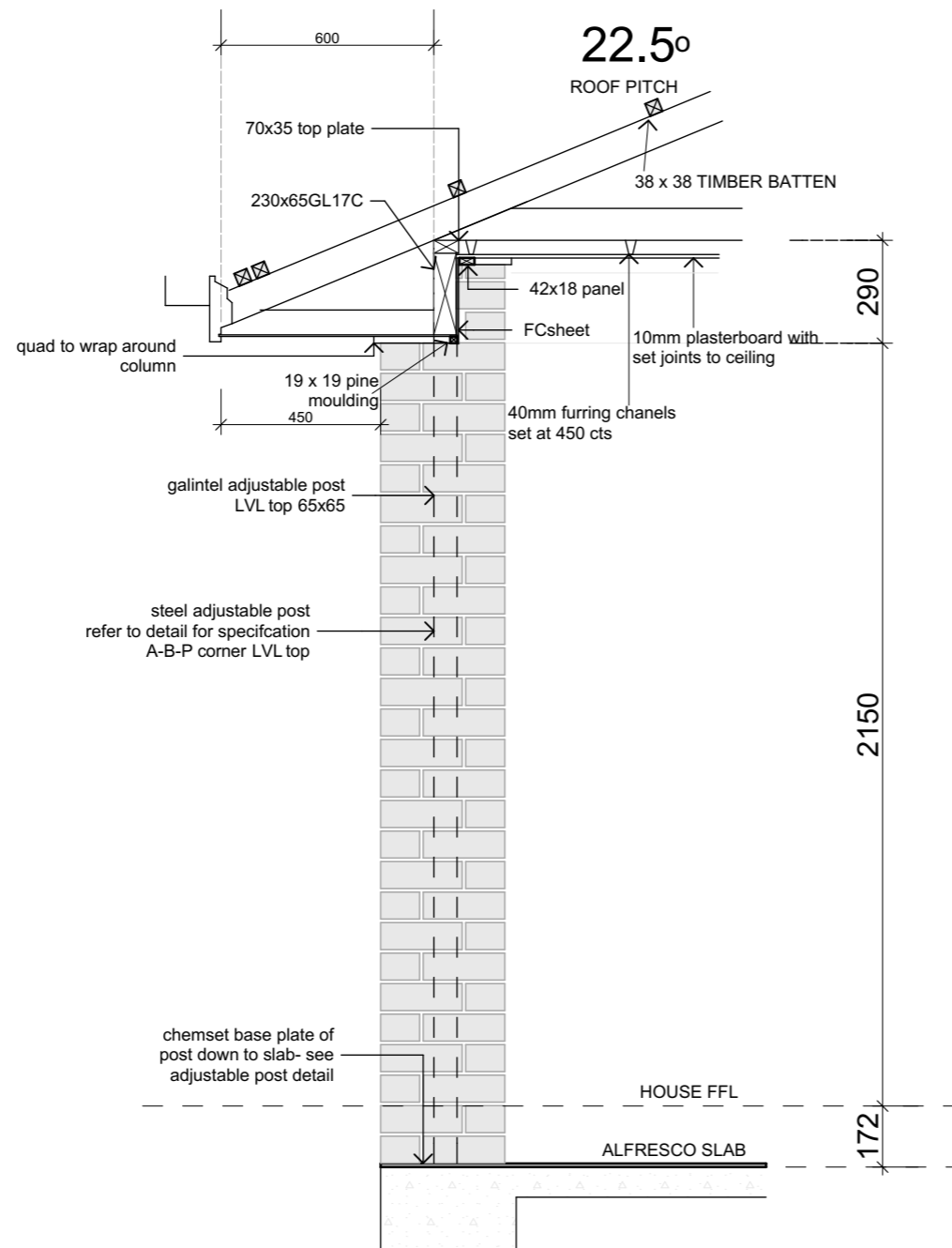
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PROPOSAL	NEW DWELLING	DP:	1266486

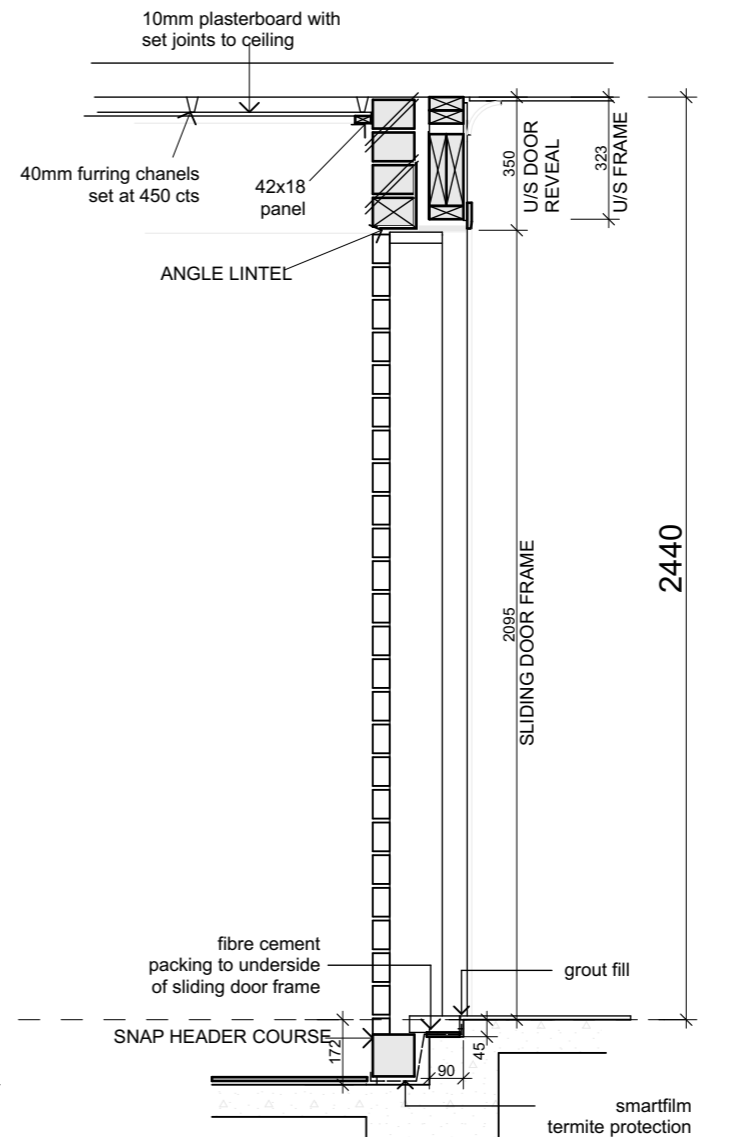
drawing title		UNIT 1 REAR ALFRESCO - ADJUSTABLE POST		
date	issue	description	JOB No.	revision
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01.09.21	2	FRONT FENCE AMENDED	SCALE	1:10 <small>printed to A3 size</small>
			DRAWN	RG
			DATE	1/09/2021
			WIND 'N2'	SITE
				<b>16</b>





**COLUMN SECTION  
Detail A01**

SCALE 1:20



**SLIDING DOOR SECTION  
Detail A01a**

SCALE 1:20

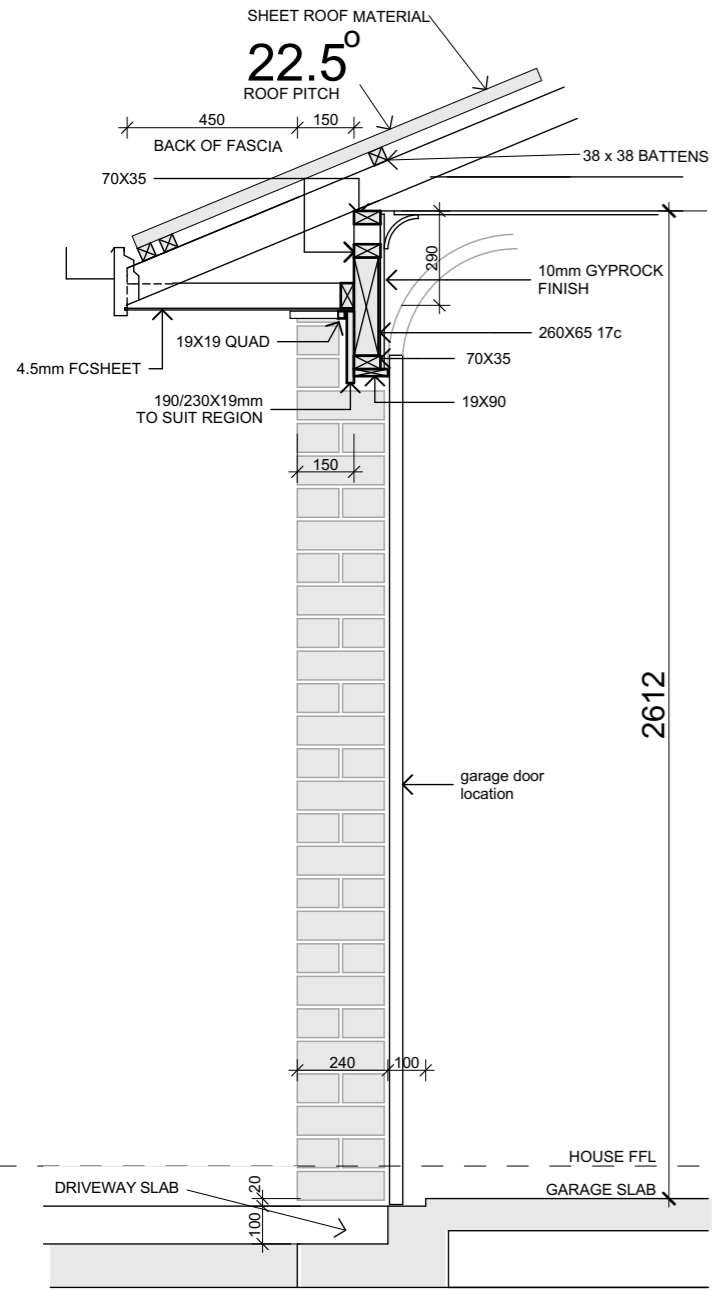


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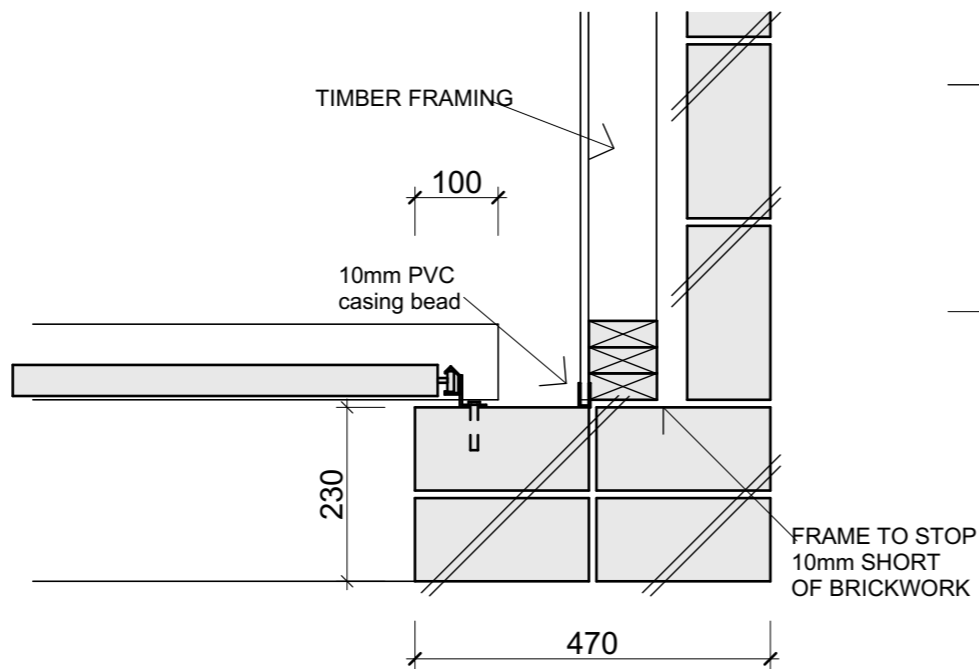
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PROPOSAL	NEW DWELLING	DP:	1266486

drawing title		UNIT 1 ALFRESCO -BULKHEADS		
date	issue	description	JOB No.	revision
10.08.21	1	FOR APPROVAL	10914.1	2
01.09.21	2	FRONT FENCE AMENDED		
			SCALE	1:20 <small>printed to A3 size</small>
			DRAWN	RG
			DATE	1/09/2021
			WIND 'N2'	SITE
				PAGE
				17



**GARAGE OPENING  
A03**



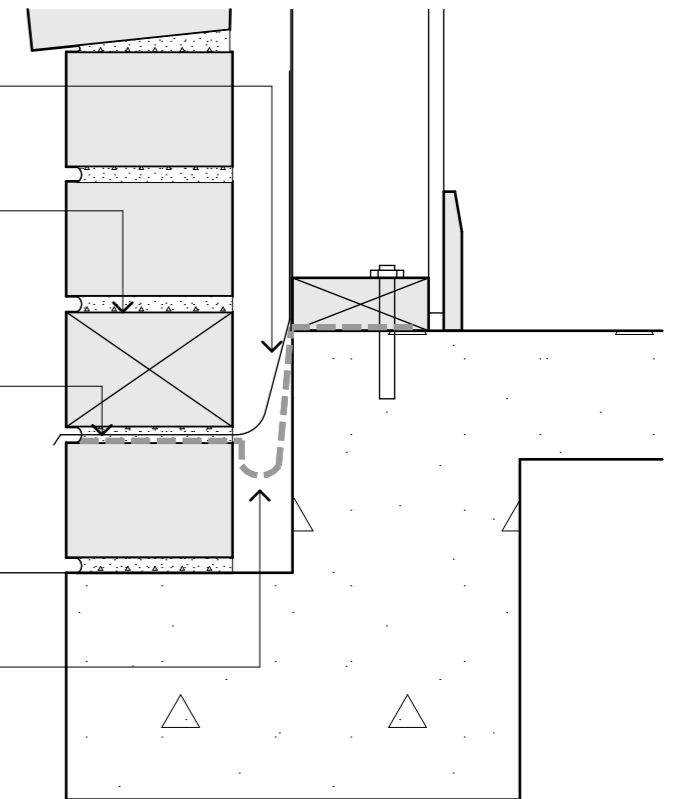
**EXTERNAL CORNER**

SCALE 1:10  
**A02**

EMBOSSED POLYTHENE  
CAVITY FLASHING  
AND D.P.C.  
OPEN PERPEND  
EVERY 3RD BRICK

The outer edge of Smartfilm can be a maximum 2-3mm back from the edge of Flush mortar joints in random locations. We recommend staying flush with the outer edge to avoid issues

SMART FILM  
TERMITE PROTECTION

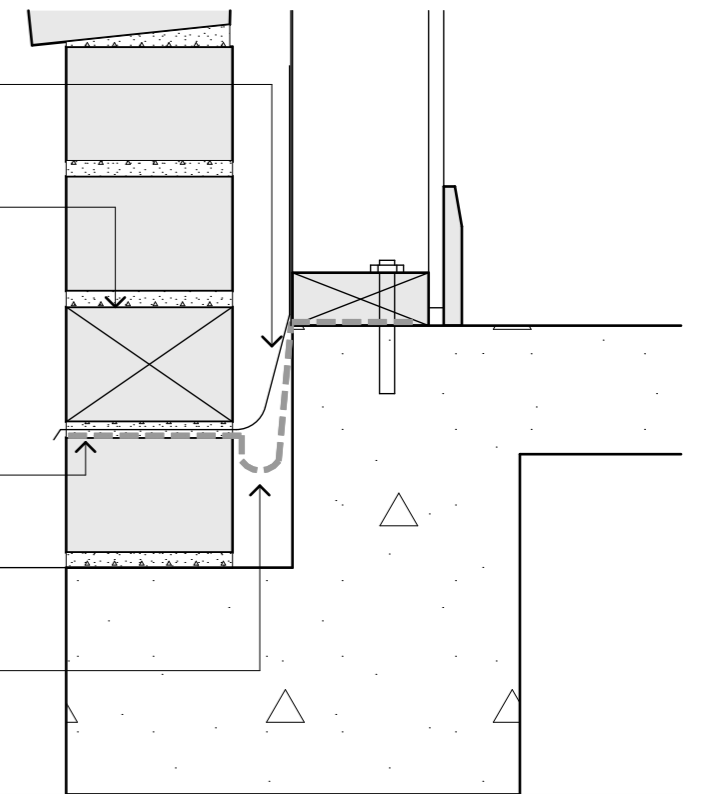


**IRONED JOINTS  
Termite Protection**

EMBOSSED POLYTHENE  
CAVITY FLASHING  
AND D.P.C.  
OPEN PERPEND  
EVERY 3RD BRICK

The outer edge of Smartfilm can be a maximum 2-3mm back from the edge of Flush mortar joints in random locations. We recommend staying flush with the outer edge to avoid issues

SMART FILM  
TERMITE PROTECTION



**FLUSH MORTAR JOINTS  
Termite Protection**



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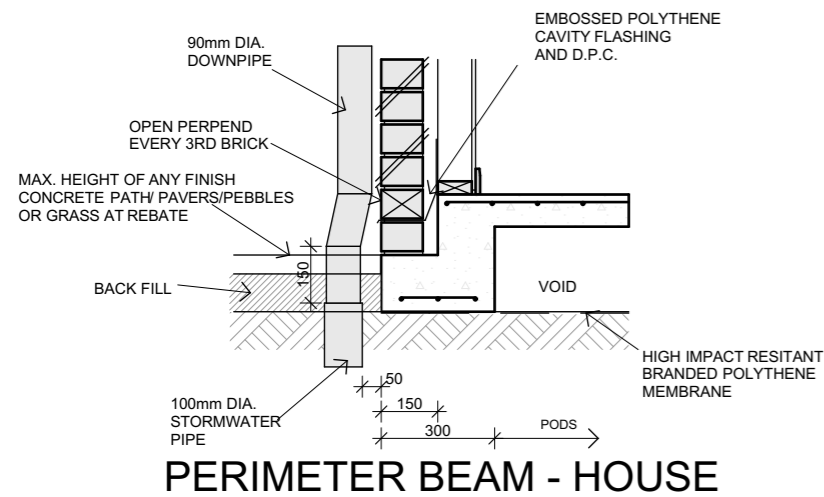
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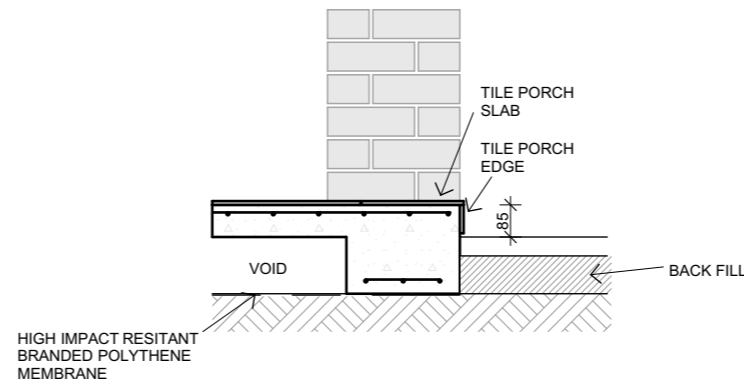
JOB ADDRESS	
LOT 16 in proposed subdivision of LOT 13 DP 1266486 SALEYARDS LANE MUDGEE NSW 2850	
PROPOSAL	NEW DWELLING DP: 1266486

drawing title		UNIT 1 GARAGE DOOR /CORNER/TERMITE PROTEC	
date	issue	description	
10.08.21	1	FOR APPROVAL	
01.09.21	2	FRONT FENCE AMENDED	

JOB No.	10914.1	revision	2
SCALE	1:20,5 <small>printed to A3 size</small>	PAGE	18
DRAWN	RG		
DATE	1/09/2021		
WIND 'N2'	SITE		

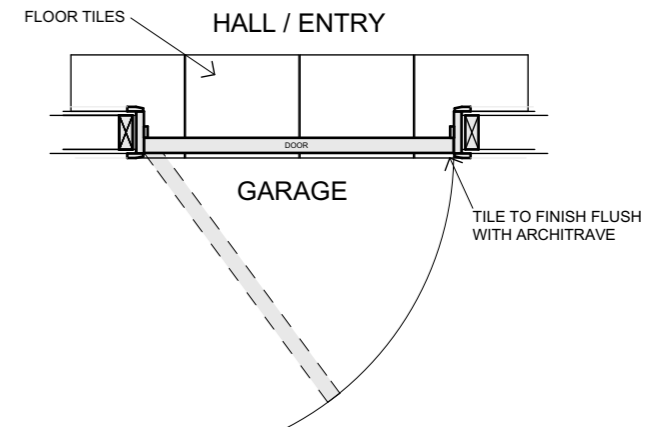


**A02a1**



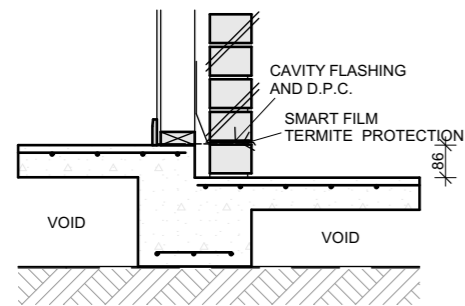
**PERIMETER BEAM - PORCH**

**A02a3**



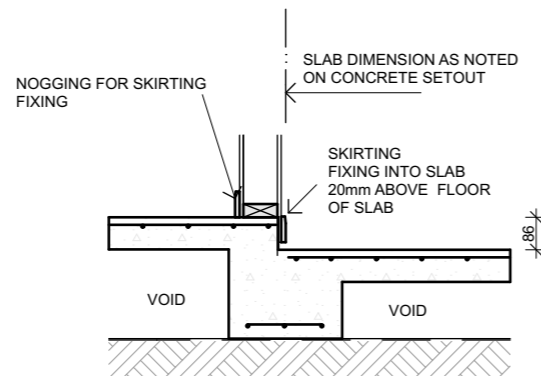
**INTERNAL BEAM - HOUSE/GARAGE THRU DOOR PLAN**

**A02a7**



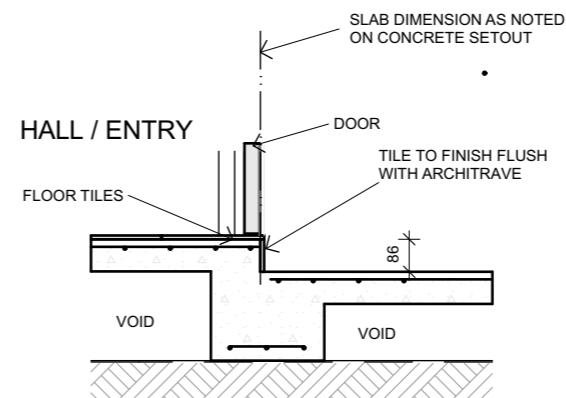
**INTERNAL BEAM - HOUSE/PORCH**

**A02a4**



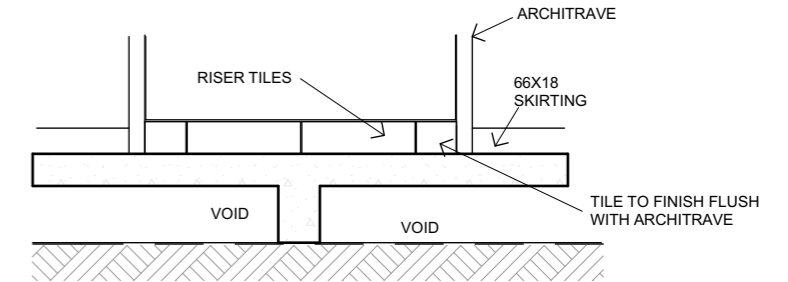
**INTERNAL BEAM - HOUSE/GARAGE THRU WALL**

**A02a5**



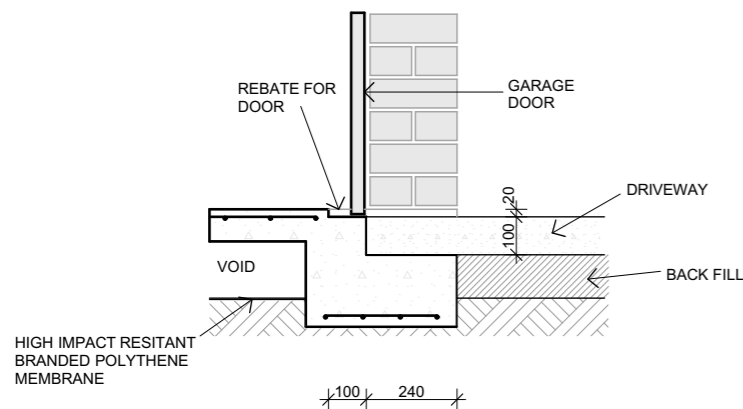
**INTERNAL BEAM - HOUSE/GARAGE THRU DOOR**

**A02a6**



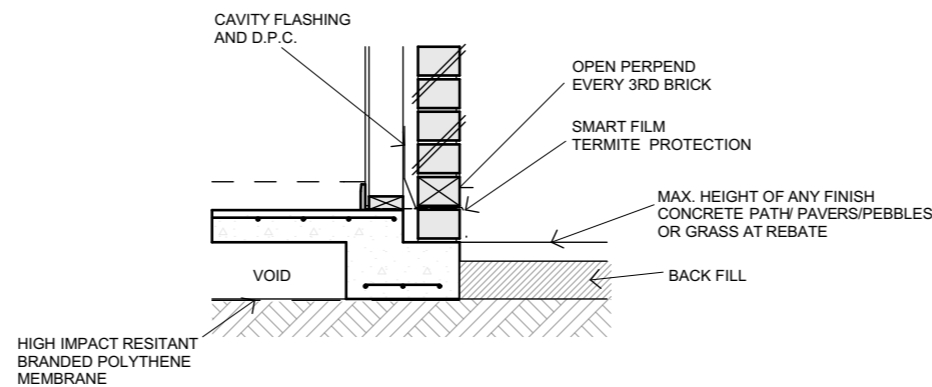
**INTERNAL BEAM - HOUSE/GARAGE THRU DOOR ELEVATION**

**A02a9**



**PERIMETER BEAM - GARAGE DOOR**

**A02a8**



**PERIMETER BEAM - GARAGE**

**A02a10**

**NOTE :**  
ENSURE TO ALSO MAKE REFERENCE TO ENGINEERS DETAILS

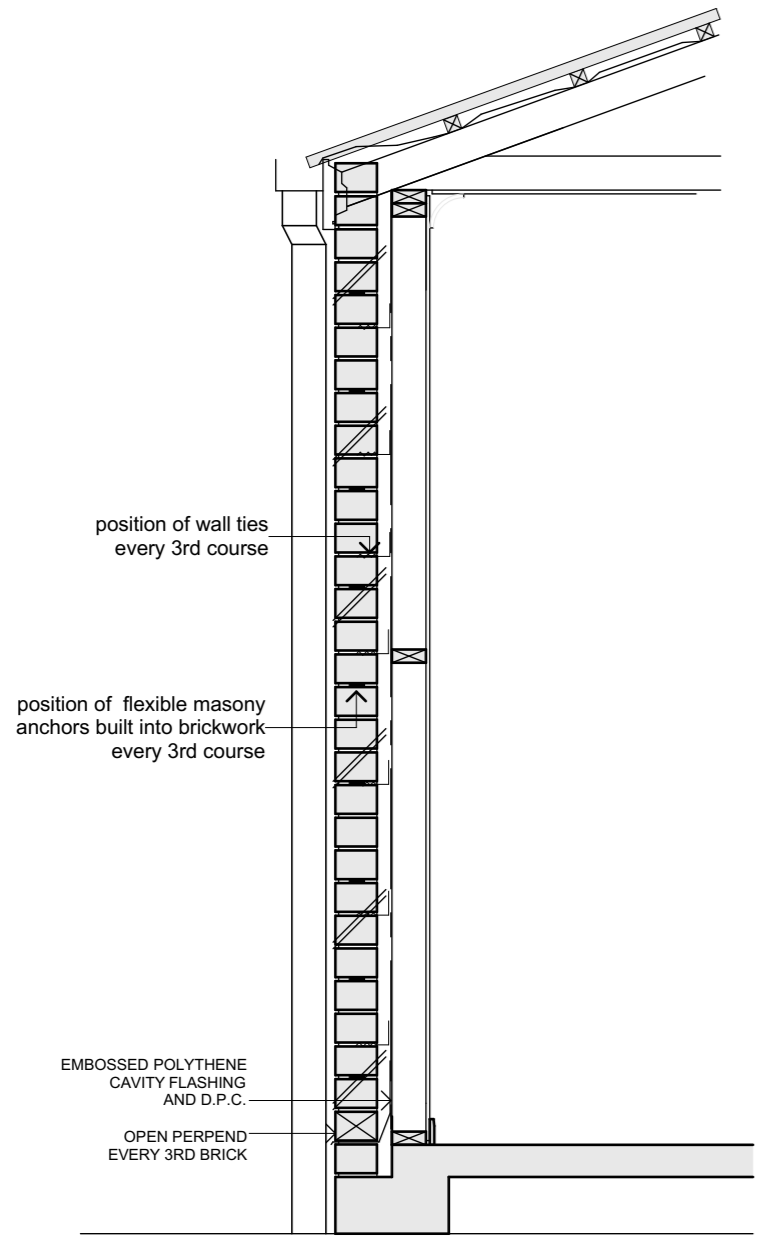


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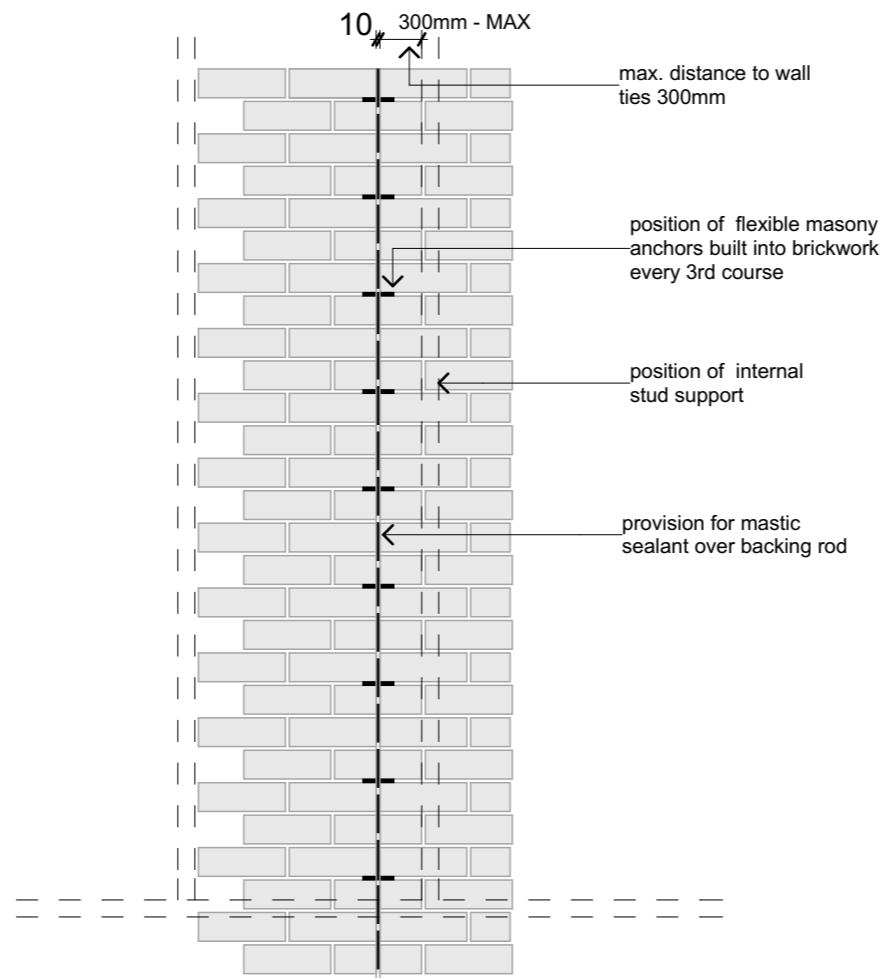
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LOT 16 in proposed subdivision of  
LOT 13 DP 1266486 SALEYARDS  
LANE MUDGEE NSW 2850  
**DESIGN** ALPHA 221 B19 MK4 LHG  
**PROPOSAL** NEW DWELLING DP: 1266486

drawing title			UNIT 1 FLOOR DETAILS		
date	issue	description	JOB No.	10914.1	revision
10.08.21	1	FOR APPROVAL	SCALE	NTS)	2
01.09.21	2	FRONT FENCE AMENDED	DRAWN	RG	PAGE
			DATE	1/09/2021	19
			WIND 'N2'	SITE	

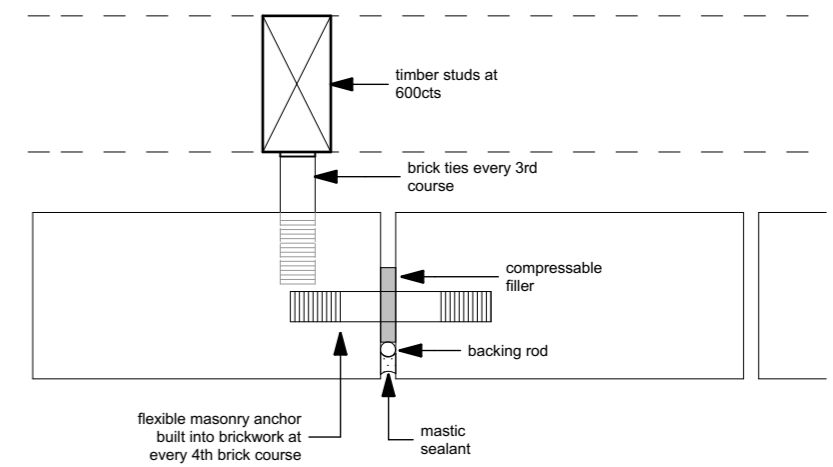


VERTICAL ARTICULATION JOINT SECTION

Note :  
articulation joints required nomore than 6000mm centres  
in a straight , continuous walls having no openings



VERTICAL ARTICULATION JOINT ELEVATION



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JOB ADDRESS

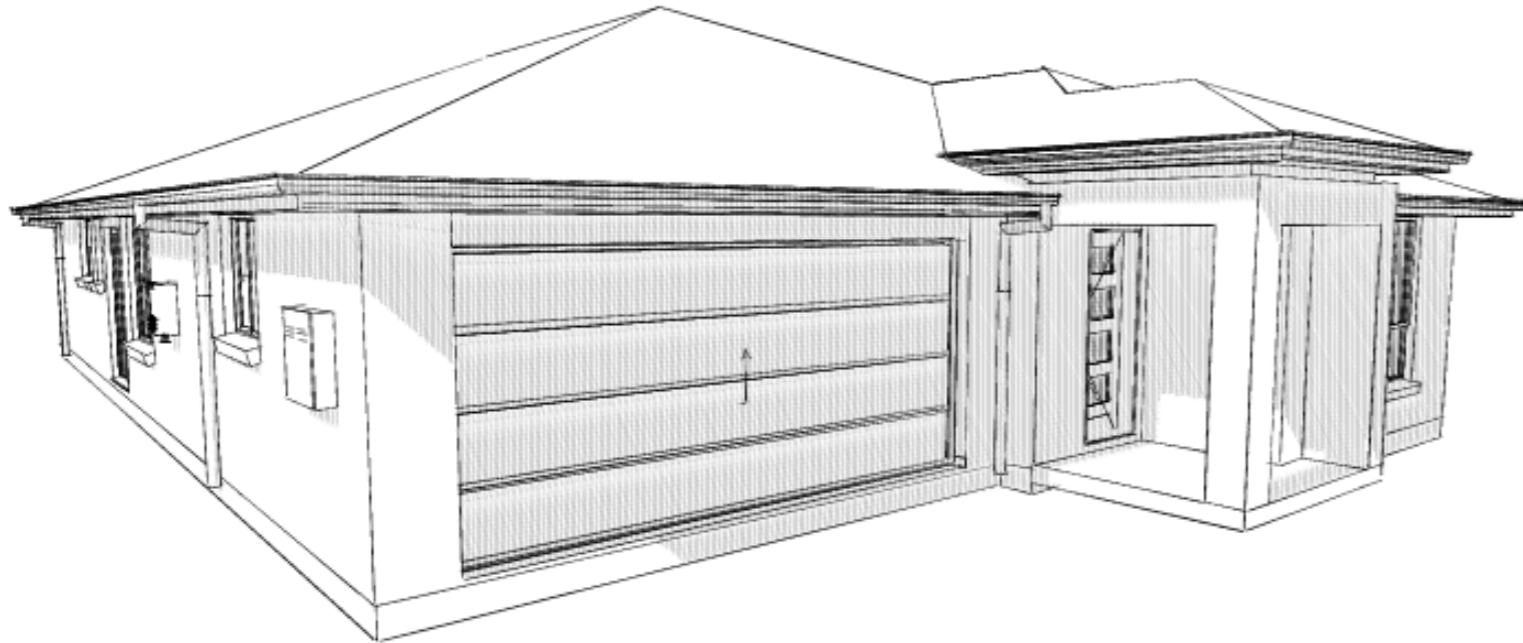
LOT 16 in proposed subdivision of  
LOT 13 DP 1266486 SALEYARDS  
LANE MUDGEE NSW 2850

PROPOSAL NEW DWELLING DP: 1266486

drawing title		UNIT 1 ARTICULATION VERTICAL JOINT		
date	issue	description	JOB No.	revision
10.08.21	1	FOR APPROVAL	10914.1	2
01.09.21	2	FRONT FENCE AMENDED	SCALE 1:5 <small>printed to A3 size</small>	PAGE
			DRAWN RG	20
			DATE 1/09/2021	
			WIND 'N2' SITE	



PROPOSED NEW DUAL OCCUPANCY  
 LOT 16 in proposed subdivision of  
 LOT 13 DP 1266486 SALEYARDS LANE  
 MUDGEES NSW 2850 FOR:



SHEET	DESCRIPTION/TITLE
21	UNIT 2 COVER SHEET
22	UNIT 2 FLOOR PLAN
23	UNIT 2 ELEVATIONS 1-3
24	UNIT 2 ELEVATION 4 - SECTION 1
25	UNIT 2 SLAB PLAN
26	UNIT 2 ELECTRICAL PLAN
27	UNIT 2 BATH/WC/ENSUITE
28	UNIT 2 LAUNDRY/KITCHEN
29	UNIT 2 WET AREA- STEP DOWN DETAIL
30	UNIT 2 ROBE/LINEN/CABINETRY
31	UNIT 2 REAR ALFRESCO - ADJUSTABLE POST
32	UNIT 2 ALFRESCO-BULKHEADS
33	UNIT 2 GARAGE DOOR / CORNER / TERMITE CONTF
34	UNIT 2 FLOOR DETAILS
35	UNIT 2 ARTICULATION VERTICAL JOINT

**BASIX REQUIREMENTS**

- 3-STARS SHOWERHEADS.
- 4-STARS WC, 4-STARS TAPS.
- 3000L SLIMLINE FOR EACH DWELLING MUST COLLECT WATER FROM 150m<sup>2</sup> OF ROOF AREA.
- SISAL TUFF WALL WRAP TO EXTERNAL WALLS.
- R1.5 HIGH DENSITY INSULATION BATTS TO INTERNAL WALLS JOINING TO GARAGE
- R3.5 INSULATION BATTS TO ENTIRE CEILING INCLUDING GARAGE.
- ROOF - DARK, EXTERNAL WALLS - LIGHT
- **WINDOWS W1, W2, W2A** - ALM-002-01 A Aluminium B SG Clear (U-6.70, SHGC 0.70)
- **WINDOWS W3-W10** SSW-001-07 A 100 SERIES - ALUMINIUM SLIDING WINDOW SG 4Cir (U-6.16, SHGC 0.74)
- **DOOR D3,D4** SSW-012-11 A 100 SERIES - ALUMINIUM SLIDING DOOR SG 5Cir (U-6.07, SHGC 0.74).
- 6-STARS GAS INSTANTANEOUS HOT WATER SYSTEM TO DWELLING. LPG
- EXHAUST FANS TO BATHROOM & ENSUITE
- 12.5kW PANASONIC DUCTED REVERSE CYCLE AIR CONDITIONING UNIT, DAY/NIGHT ZONED WITH UPTO 11 OUTLETS.
- OVEN - ELECTRIC: INALTO 1060XL5M
- COOKTOP - LPG : INALTO ICG6604W
- RANGEHOOD: INALTO ASL600R25
- DISHWASHER: INALTO IDW75

**CONSTRUCTION NOTES**

- ALL DIMENSIONS ARE IN MILLIMETRES AND SHOULD BE USED IN PREFERENCE TO SCALED MEASUREMENTS.
- ALL LEVELS ARE TO BE VERIFIED ON THE SITE BY THE BUILDER PRIOR TO WORK COMMENCING.
- ALL WET AREAS ARE TO BE SUITABLY GRADED AND DRAINED.
- FLOOR SLAB TO BE DESIGNED BY AN APPROVED STRUCTURAL ENGINEER.
- ALL TIMBER SPACING, SPANS AND SIZES SHALL COMPLY WITH TIMBER FRAMING CODE AS 1684.
- ENSURE STRICT COMPLIANCE WITH THE REQUIREMENTS OF BUILDING CODE OF AUS IN RELATION TO SIDE BOUNDARY CLEARANCE.
- ALL SEWER AND STORMWATER DRAINAGE TO BE IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL GOVERNMENT AUTHORITY.
- WET AREAS ARE TO BE SEALED AT THE INTERSECTION OF THE FLOOR AND WALL AND 1800 HIGH IN THE SHOWER RECESS CORNERS WITH AN APPROVED WET AREA SEAL.
- POWDER COATED ALUMINIUM WINDOWS AND DOORS TO BE USED THROUGHOUT. COLOUR SELECTION BY BUILDER.
- ALL FIXINGS, TIE DOWNS AND CONSTRUCTION METHODS ARE TO BE IN STRICT ACCORDANCE WITH AS1684 AND THE BCA.
- TERMITE PROTECTION TO BE IN ACCORDANCE WITH AS3660-1

**GENERAL NOTES:**

- LOCATE EXISTING SERVICES PRIOR TO CONSTRUCTION.
- EROSION / SEDIMENT CONTROL IN STRICT ACCORDANCE WITH COUNCIL REQUIREMENTS (REFER BUILDER).
- PROVIDE HARDBASE ALL WEATHER ACCESS, DURING CONSTRUCTION.
- CUT AND FILL TO BUILDER'S DISCRETION.
- NOMINATED WATER TO TANK. OVERFLOW TO INTER ALLOTMENT DRAINAGE
- BUILDER TO CONFIRM ALL FINISHED FLOOR LEVELS ON SITE.
- WIND - E.G. "N2"
- SITE - E.G. "H1"
- SOIL - E.G. "H1"

**Class 2 summary**  
 DG3ZPE77SD 23/08/2021

**5.5**  
 Average star rating

**NATIONWIDE HOUSE ENERGY RATING SCHEME**  
 www.nathers.gov.au

Assessor: Ross Grims  
 Accreditation No. HERA10004  
 Address: Lot 16 (1&2) Saleyards Lane, Mudgee, NSW, 2850

QR Code:

https://www.fr5.com.au/QRCodeLanding?PublicId=DG3ZPE77SD&GrpCert=1

**C5XBNSA4NV 20 Aug 2021**

**5.4**  
 Average star rating

**NATIONWIDE HOUSE ENERGY RATING SCHEME**  
 www.nathers.gov.au

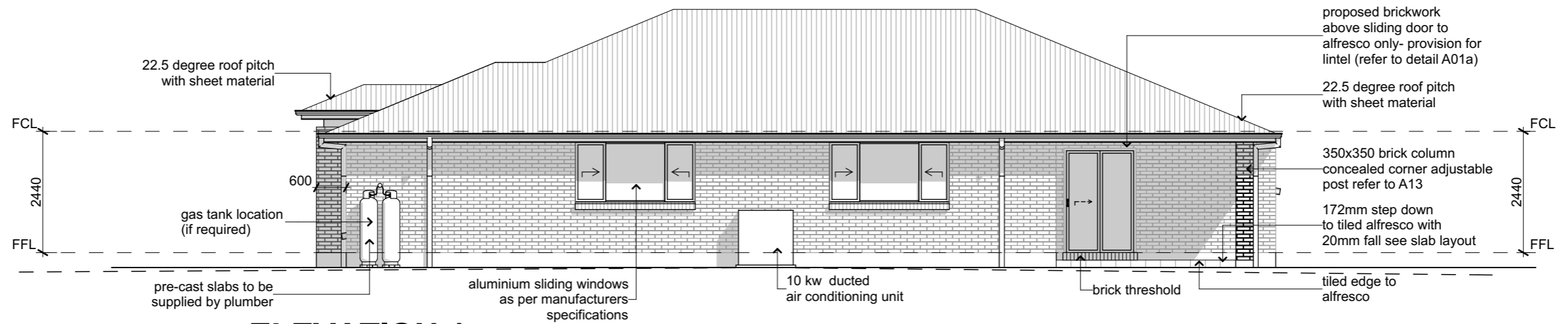
Assessor: ROSS GRIMS  
 Accreditation No. HERA10004  
 Address: 2, SALEYARDS LANE, MUDGEES NSW 2850

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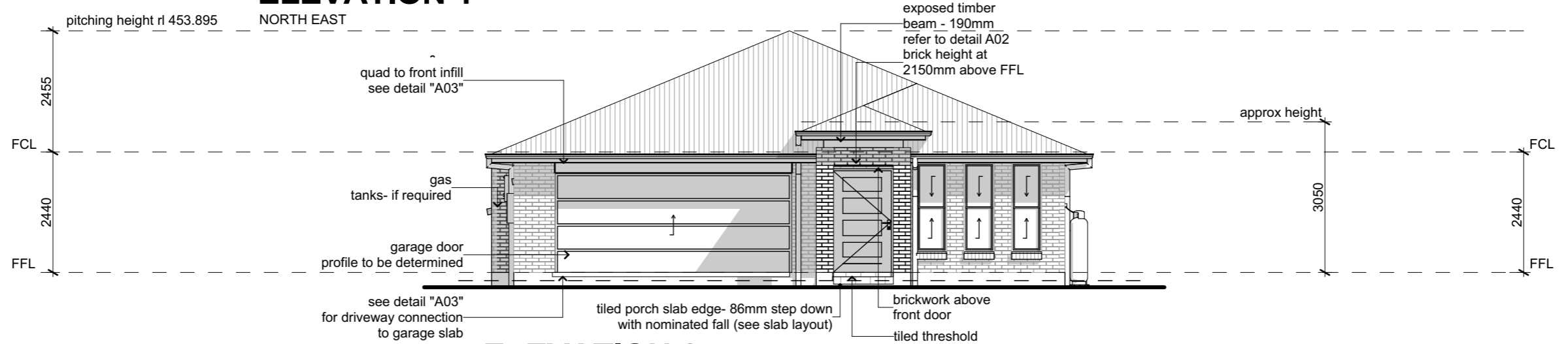
https://www.fr5.com.au/QRCodeLanding?PublicId=C5XBNSA4NV

<p>Address: 130 West High Street, Coffs Harbour NSW 2450                  Hibbards P/L ABN 22 057 895 020                  E:coffs@hibbards.com.au                  P:(02) 6650 3300                  F:(02) 6651 7044                  W: www.hibbards.net.au</p>	COPYRIGHT & NOTES		JOB ADDRESS		drawing title		UNIT 2 COVER SHEET		
	figured dimensions to be used in reference to scaling - all dimensions to be checked on site .Copying of this plan is strictly prohibited without written permission of Hibbard Homes . All boundaries and contours subject to survey		LOT 16 in proposed subdivision of LOT 13 DP 1266486 SALEYARDS LANE, MUDGEES NSW 2850		date		description		
	DESIGN		PROPOSAL		NEW DWELLING		DP: 1266486		
	OMEGA 201 B19 MK4 LHG		PROPOSAL		NEW DWELLING		DP: 1266486		
						JOB No. 10914.2		revision	
						SCALE 1:1 @ A3		B	
						DRAWN RG		PAGE	
						DATE 23/08/2021		21	
						WIND 'N2'		SITE	



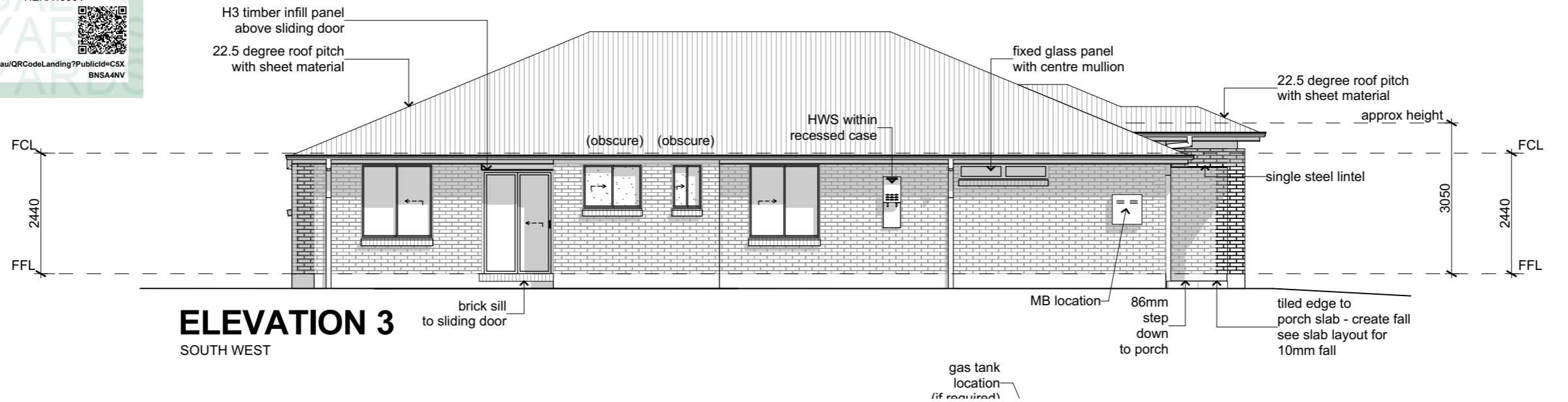


### ELEVATION 1



### ELEVATION 2

SOUTH EAST



### ELEVATION 3

SOUTH WEST



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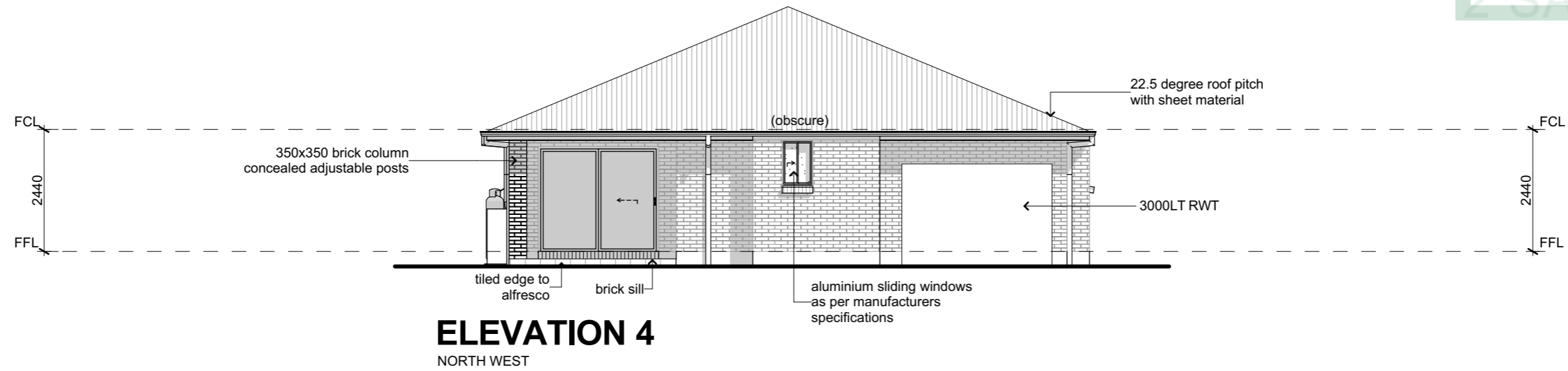
**JOB ADDRESS**

**LOT 16 in proposed subdivision of LOT 13 DP 1266486 SALEYARDS LANE, MUDGEE NSW 2850**

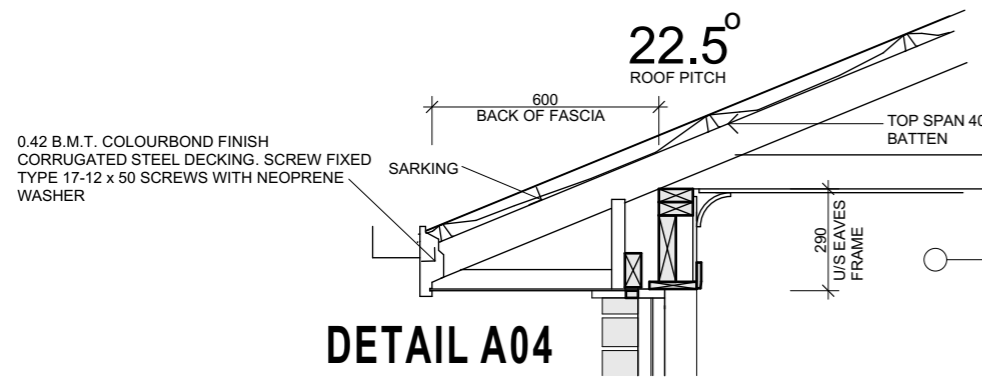
PROPOSAL NEW DWELLING DP: 1266486

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24/06/21	B	ROOF INSULATION AMENDED & NEW NATHERS STAMP	DRAWN	RG	PAGE
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			WIND 'N2'	SITE	

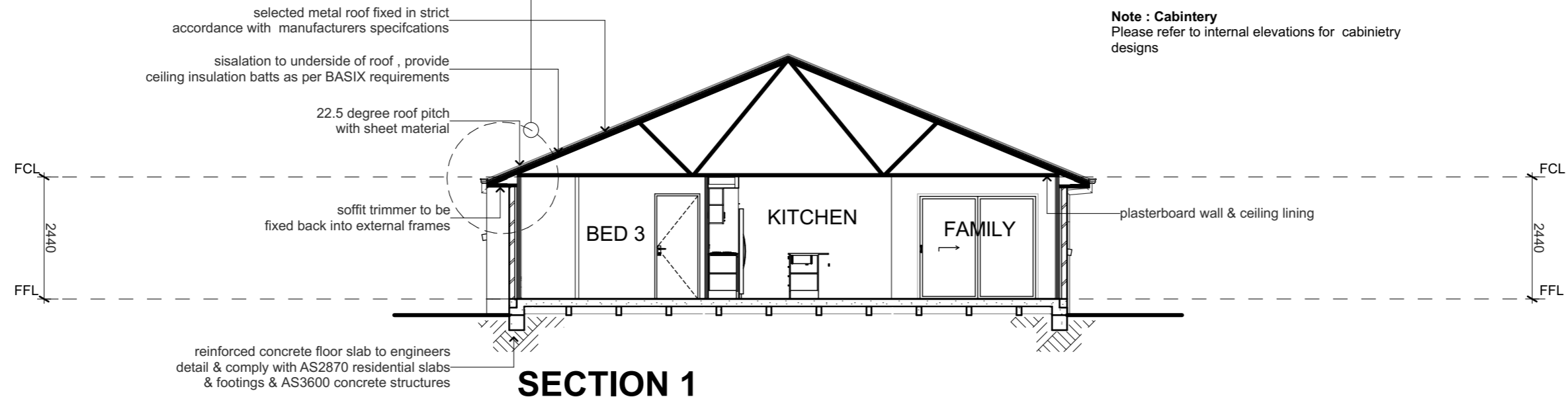




**ELEVATION 4**  
NORTH WEST



**DETAIL A04**



**SECTION 1**

**Note :** The wind classification of N2 is in accordance with AS1684-2010 , the tie down and bracing details are to be provided to the PCA prior to the relevant inspection

**Note : Termite Protection**  
Termite protection is to be in accordance with AS3660-1 and installed in accordance with manufacturers specifications

**Note : Cabinetry**  
Please refer to internal elevations for cabinetry designs



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OMEGA 201 B19 MK4 LHG

**JOB ADDRESS**  
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PROPOSAL NEW DWELLING DP: 1266486

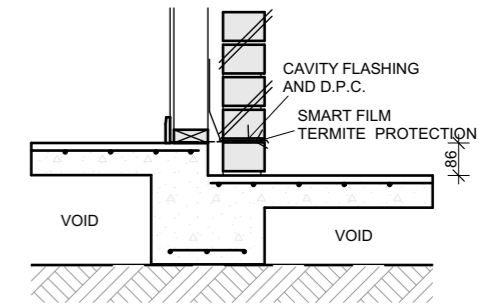
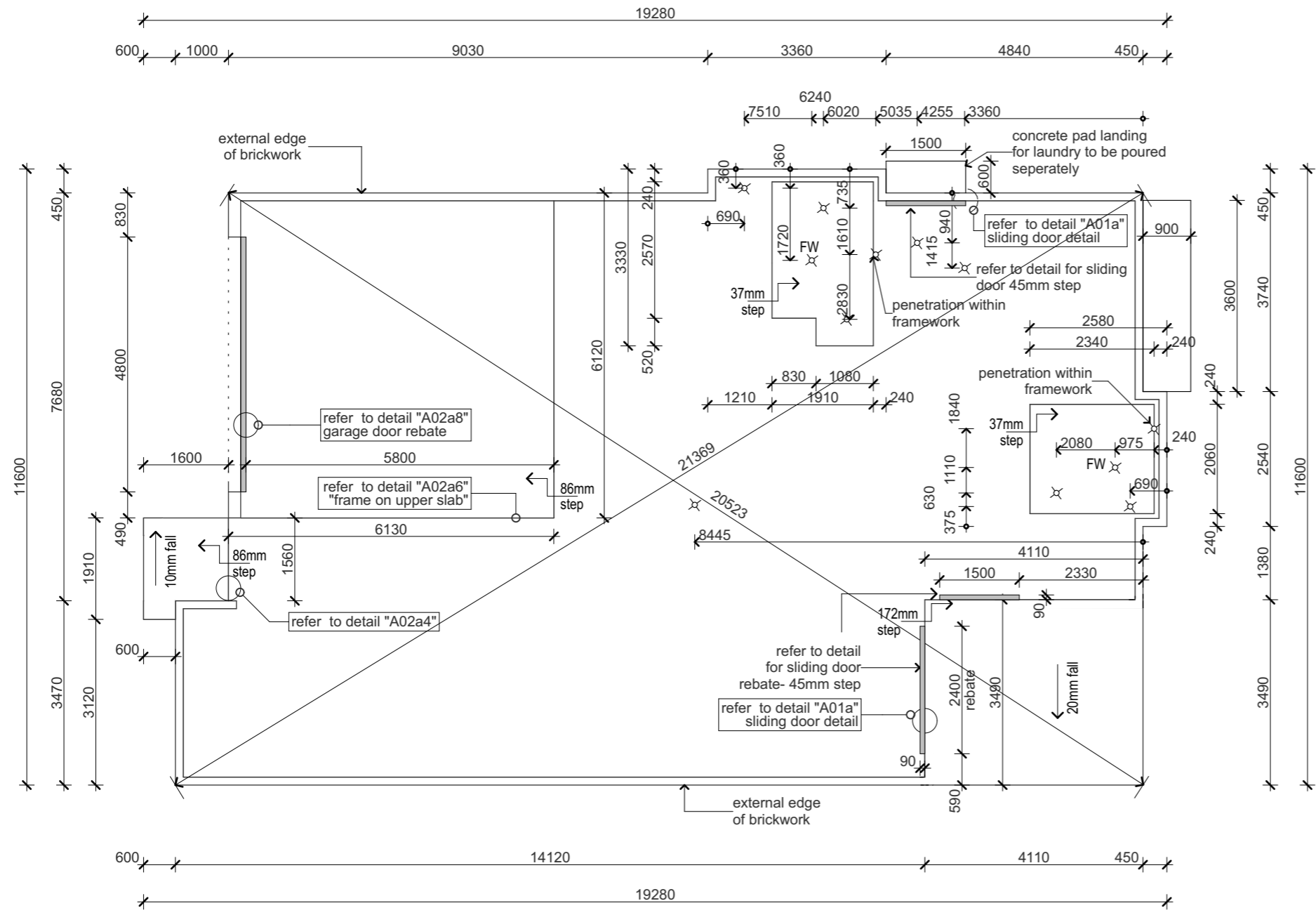
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date	issue	description	JOB No.	10914.2	revision
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24/06/21	B	ROOF INSULATION AMENDED & NEW NATHERS STAMP	DRAWN	RG	PAGE
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			WIND	'N2'	SITE

**Note :** Please notify the drafting department at Hibbards head office for any discrepancies in details and dimensions

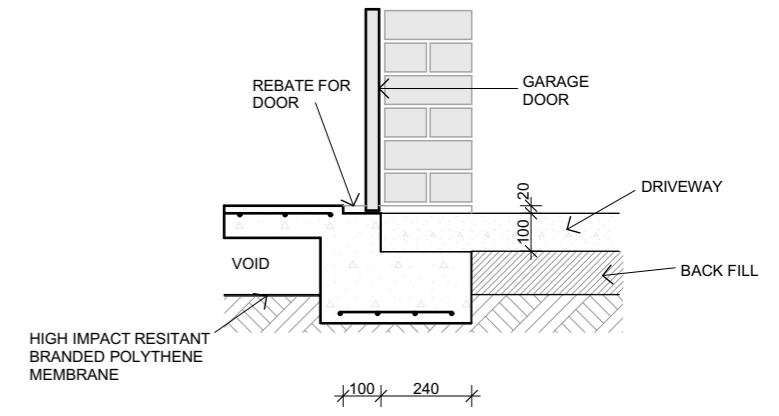
**Note :** Plumbing penetrations are located from external edge of brickwork - dimensioned as a running dimension

**Note :** Wall hung basin waste pipe is to be centre line of wall stud framing .  
Laundry Tub waste pipe is nominally offset from wall 125mm to centre of pipe

**Note :** dimensions to penetrations is using a running dimension method from external edge of slab to centre of hole



**INTERNAL BEAM - HOUSE/PORCH  
A02a4**



**PERIMETER BEAM - GARAGE DOOR  
A02a8**



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**LOT 16 in proposed subdivision of  
LOT 13 DP 1266486 SALEYARDS LANE,  
MUDGEES NSW 2850**  
**PROPOSAL** **NEW DWELLING** **DP:** **1266486**

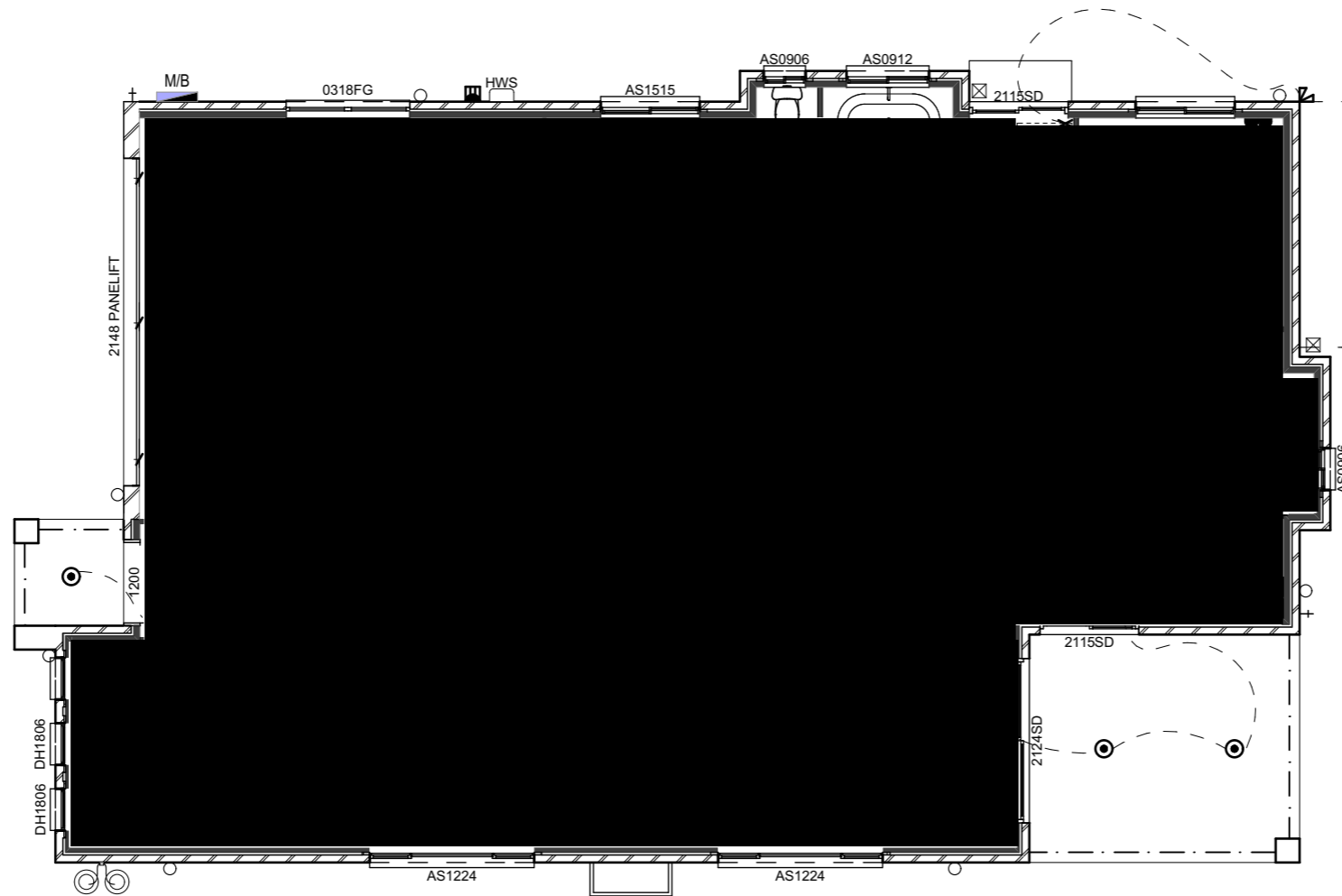
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date	issue	description	JOB No.	revision
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24/06/21	B	ROOF INSULATION AMENDED & NEW NATHERS STAMP	SCALE	1:100 <small>printed to A3 size</small>
			DRAWN	RG
			DATE	23/08/2021
			WIND 'N2'	SITE
				<b>25</b>





### LIGHTING LEGEND

- SINGLE @ 300
- DOUBLE @ 300
- SINGLE @ 1050
- DOUBLE @ 1050
- ⊕ APPLIANCE SHELF DOUBLE @ 1600
- ⊕ VANITY @ 1100
- ⊕ GARAGE @ 1350
- ⊕ FRIDGE @ 1650
- ⊕ MICROWAVE @ 1650
- ⊕ RANGEHOOD @ 1650
- X LIGHT SWITCH
- DOWNLIGHT
- ⚡ TV
- ⚡ PHONE
- ⊗ DUCTED EXHAUST FAN
- in ceiling ⊕ PANELIFT GPO
- ▬ FLUORO LIGHT
- 2-WAY 2 WAY CIRCUIT
- ⊕ DOUBLE WATERPROOF GPO @ 1050
- ⊕ SINGLE WATERPROOF GPO @ 1050
- ⊕ SMOKE ALARMS BY ELECTRICIAN TO AS3786
- ⊕ DATA POINT
- gas ⊕ GAS POINT (DUBBO, TAMWORTH & MUDGEES)
- NBN DATA NBN DATA POINT @ 1050
- ⊕ DOUBLE SPOT
- ⊕ BUNKER LIGHT
- DUCTED EXHAUST
- ⊕ DUCTED GRILL
- ⊕ 2 IN 1 DUCTED EXHAUST FAN/LIGHT
- ⊕ 2 IN 1 NON-DUCTED EXHAUST FAN/LIGHT
- ⊕ EVAPORATIVE COOLER POINT (DUBBO, TAMWORTH & MUDGEES)



NOTE:  
THIS IS A GENERIC ELECTRICAL PLAN ONLY.  
THE LAYOUT, LOCATION OF POINTS, LIGHTS  
AND OUTLETS SHOWN MAY ALTER WITHOUT  
NOTIFICATION, DUE TO COUCIL  
REQUIREMENTS, BUILDING LOCATION AND/OR  
OTHER UNFORSEEN CIRCUMSTANCES

ALL PRODUCTS AND  
FINISHES AS PER BUILDERS  
SPECIFICATIONS

NOTE:  
ALL EXTERNAL LIGHTS WILL BE SHIELDED TO  
PREVENT LIGHT ABOVE HORIZONTAL

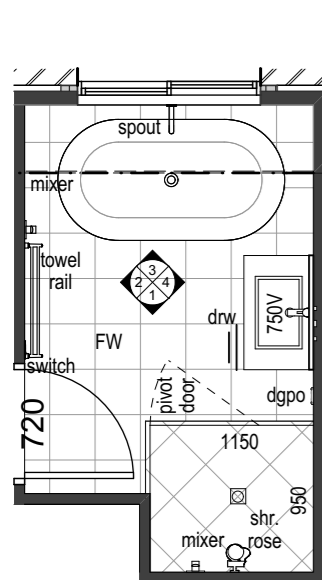


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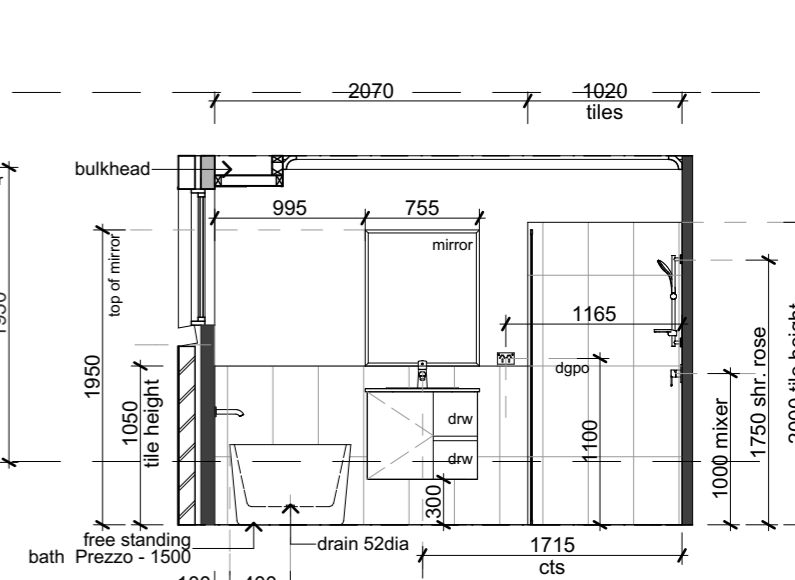
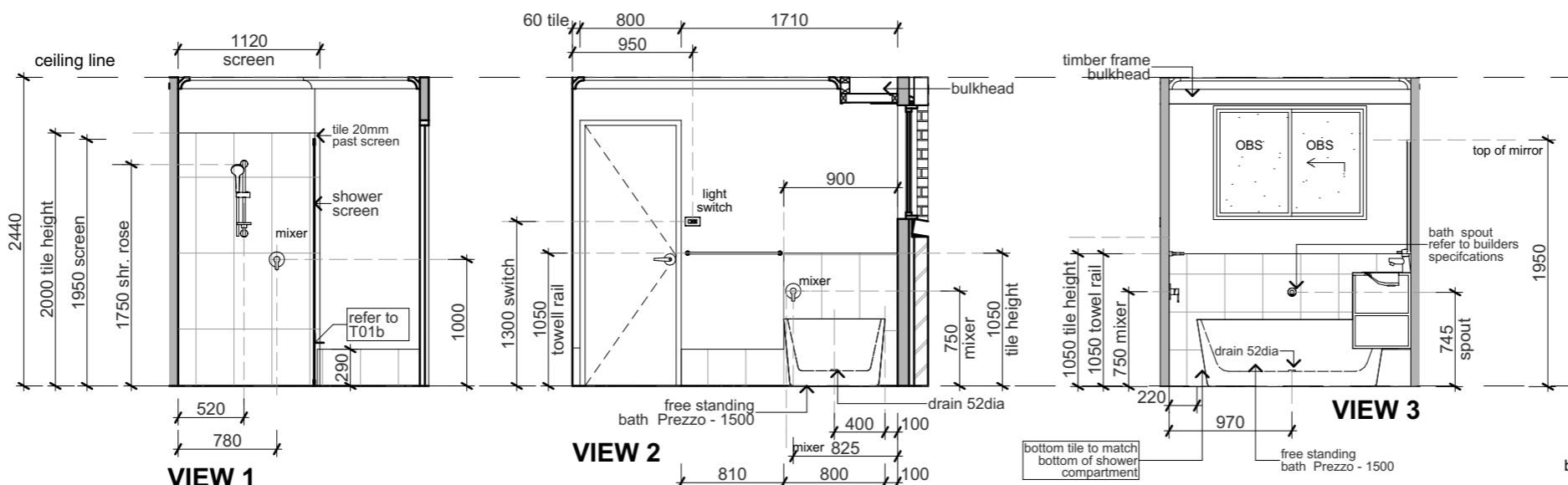
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MUDGEES NSW 2850  
PROPOSAL NEW DWELLING DP: 1266486

drawing title		UNIT 2 ELECTRICAL PLAN		
date	issue	description	JOB No.	revision
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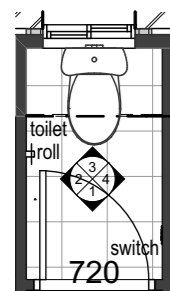


**BATH LAYOUT**

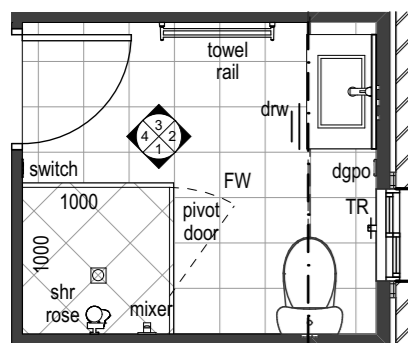
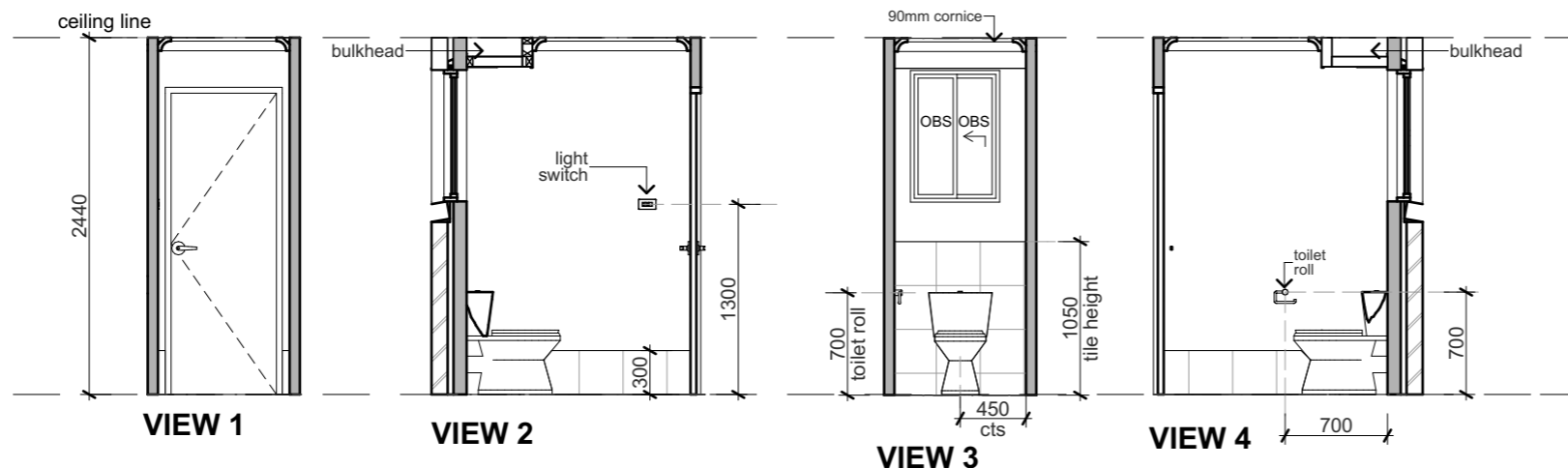


Note :Tiler  
Please ensure to follow nominated floor and wall tile format

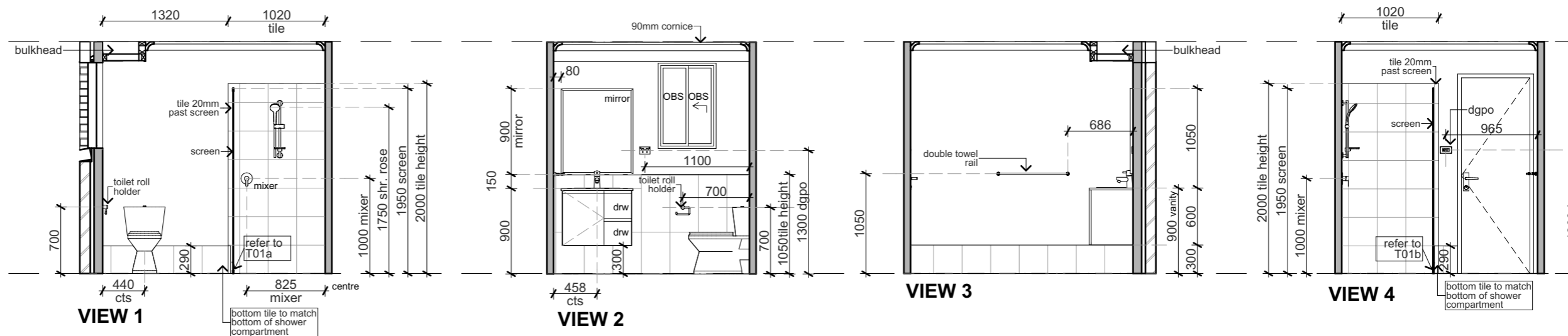
Note :Tiler  
Please ensure to follow nominated floor and wall tile format



**WC LAYOUT**



**ENSUITE LAYOUT**

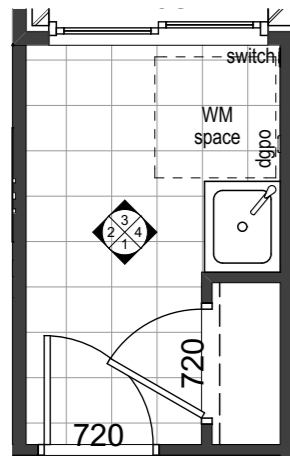


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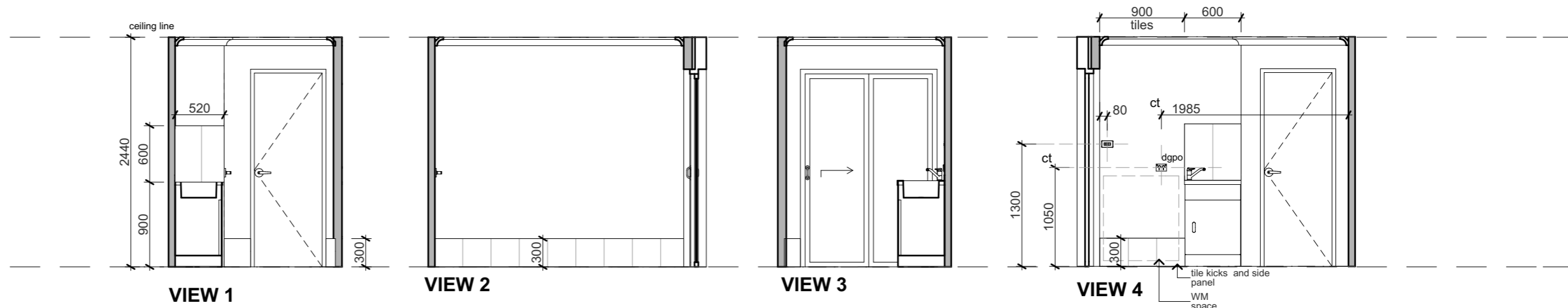
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**JOB ADDRESS**  
LOT 16 in proposed subdivision of  
LOT 13 DP 1266486 SALEYARDS LANE,  
MUDGEES NSW 2850  
PROPOSAL NEW DWELLING DP: 1266486

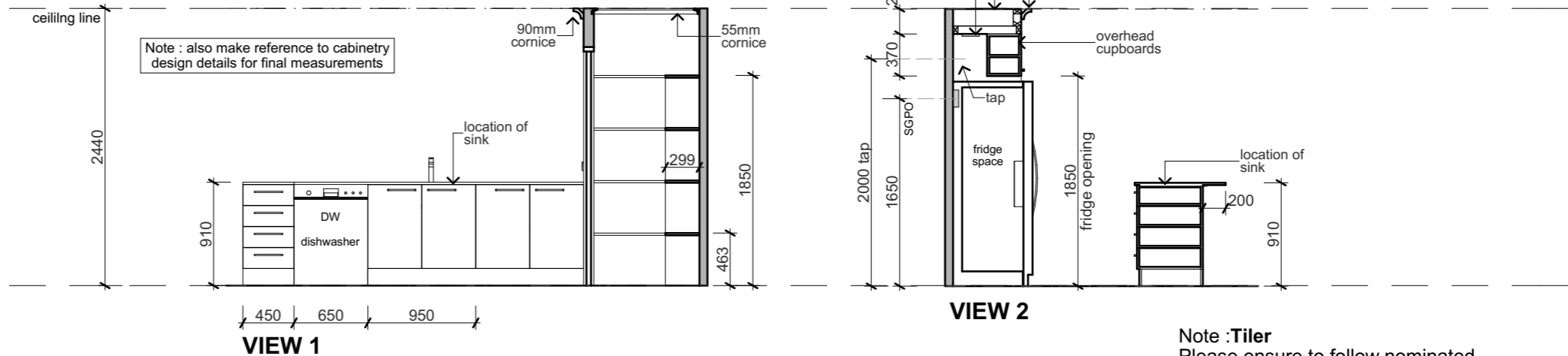
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date	issue	description	JOB No.	10914.2	revision
01/06/21	A	ISSUED FOR REVIEW			B
24/06/21	B	ROOF INSULATION AMENDED & NEW NATHERS STAMP			
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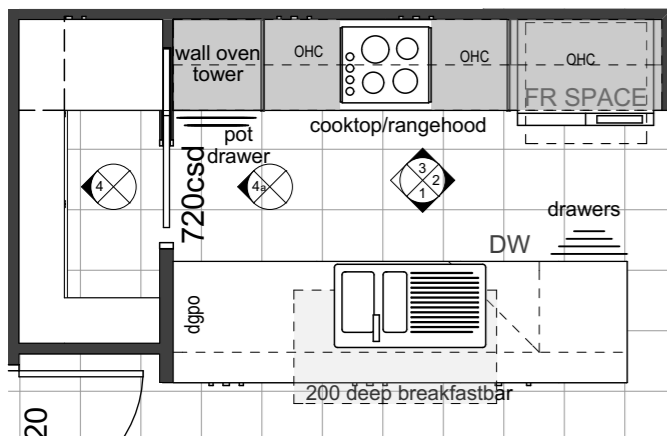
**LAUNDRY LAYOUT**



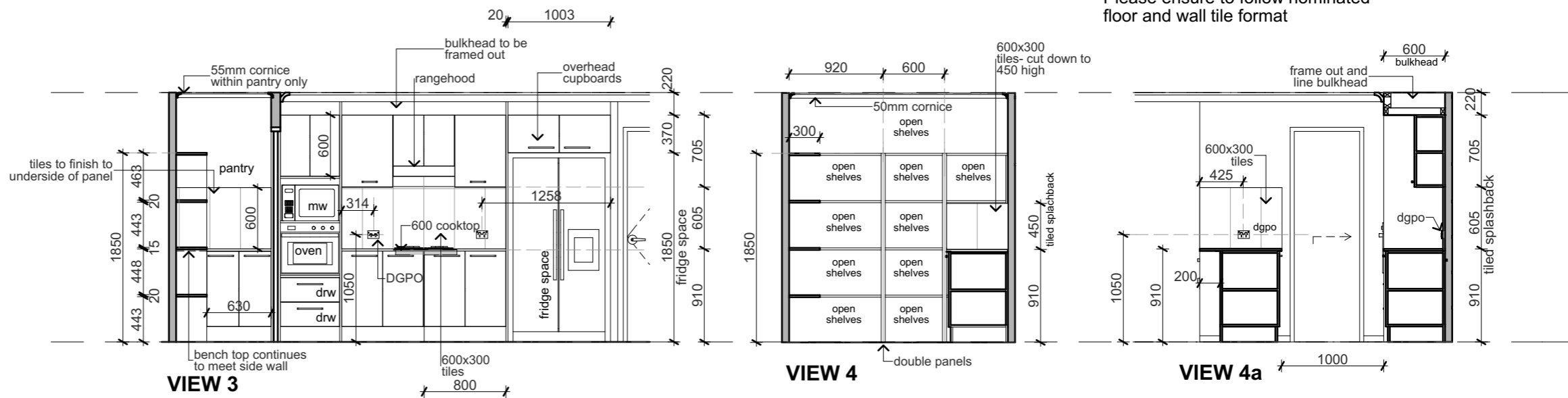
Note :Tiler  
Please ensure to follow nominated floor and wall tile format



Note :Tiler  
Please ensure to follow nominated floor and wall tile format



**KITCHEN LAYOUT**

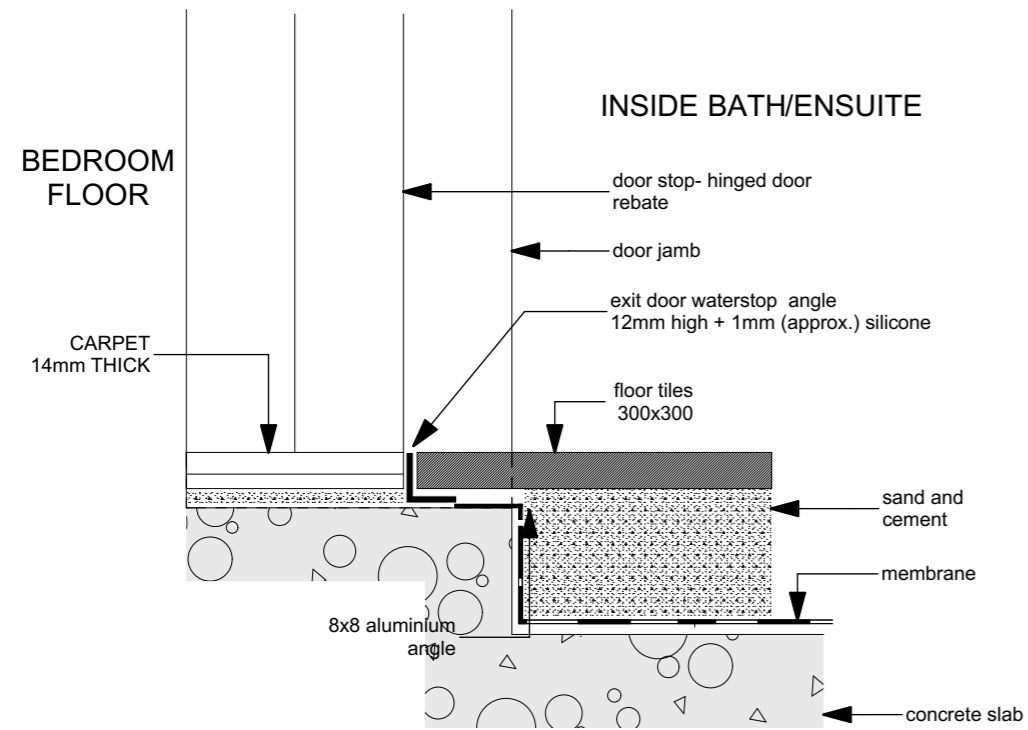


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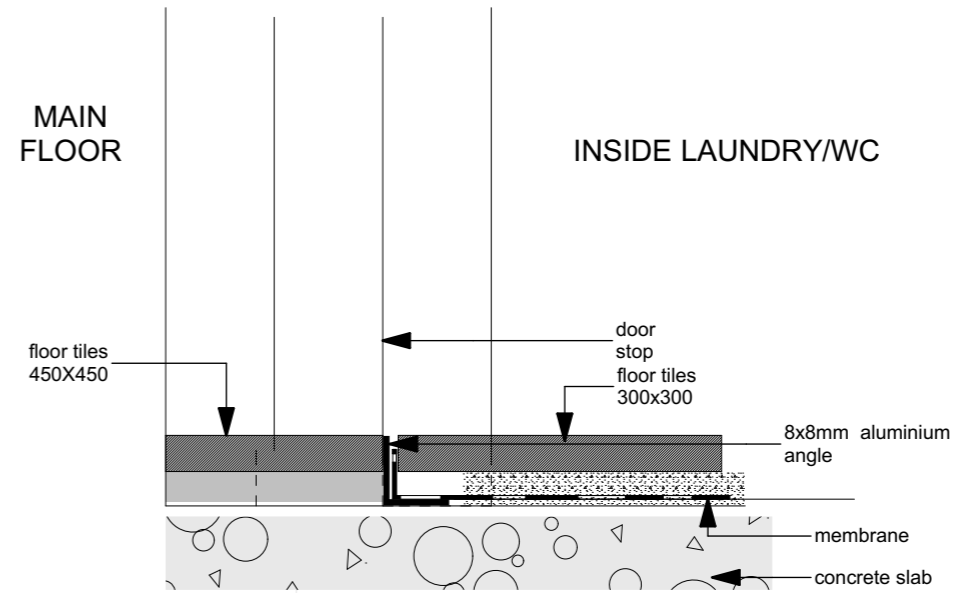
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**LOT 16 in proposed subdivision of LOT 13 DP 1266486 SALEYARDS LANE, MUDGEES NSW 2850**  
PROPOSAL NEW DWELLING DP: 1266486

drawing title			UNIT 2 LAUNDRY/KITCHEN		
date	issue	description	JOB No.	SCALE	revision
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24/06/21	B	ROOF INSULATION AMENDED & NEW NATHERS STAMP		1:100	B
				RG	PAGE
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			WIND 'N2'	SITE	



**DETAIL 2**

entrance door to bedroom /ensuite  
T01a

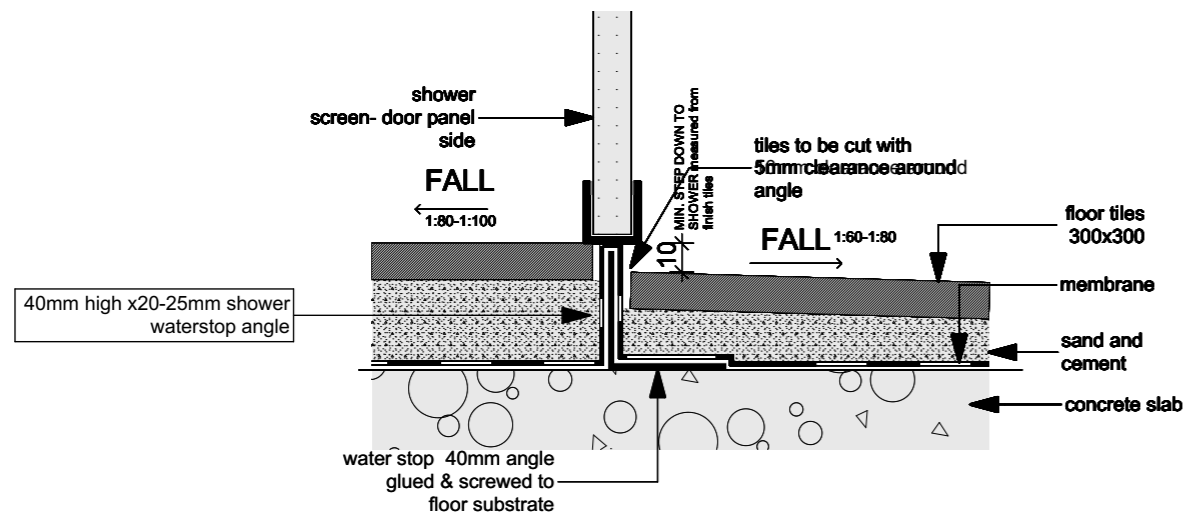


**DETAIL 1**

entrance door to laundry/WC  
T01c

**OUTSIDE SHOWER**

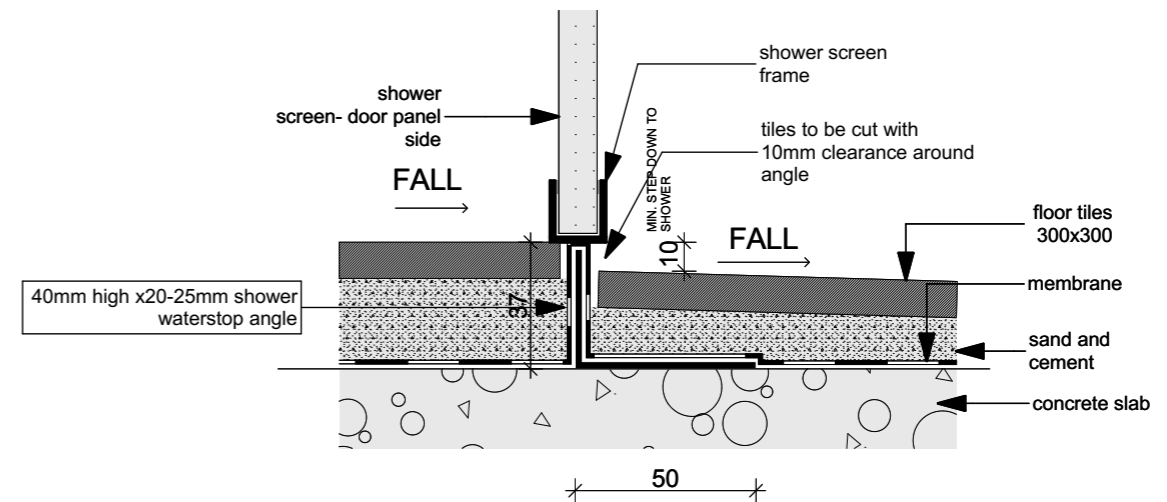
**INSIDE SHOWER**



**T01b**

**OUTSIDE SHOWER**

**INSIDE SHOWER**

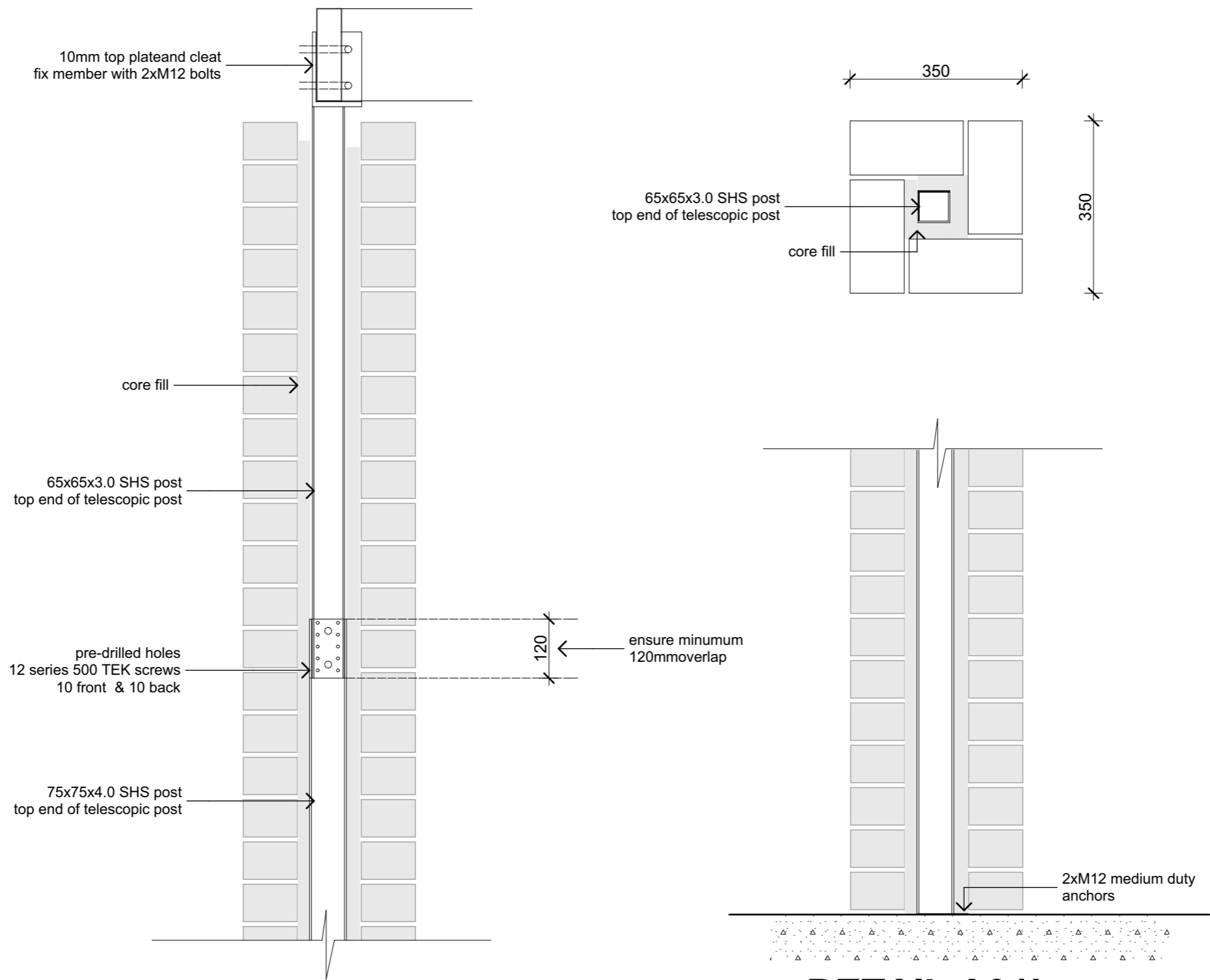


**T01d**

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date	issue	description		JOB No.	revision
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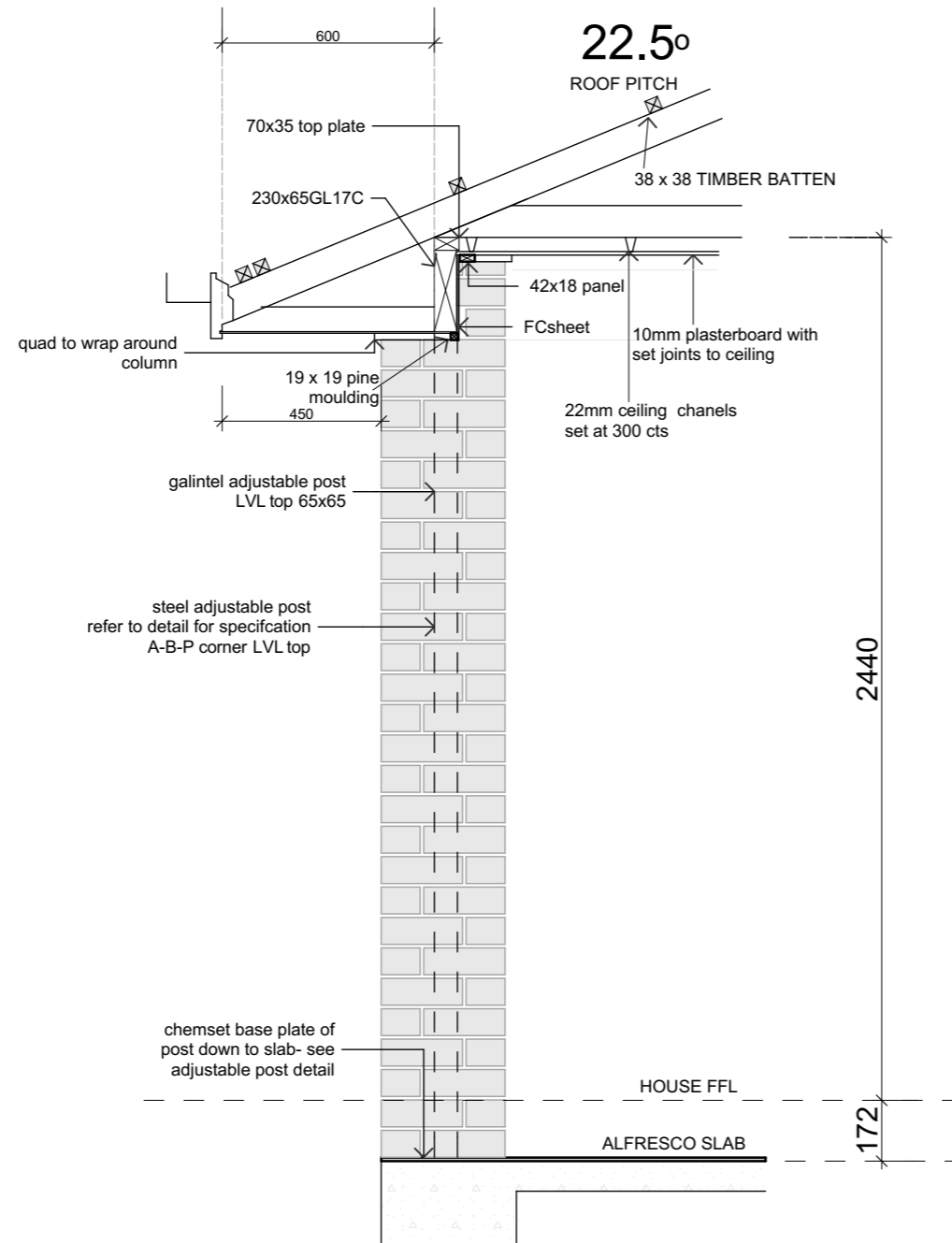




**DETAIL A01b**

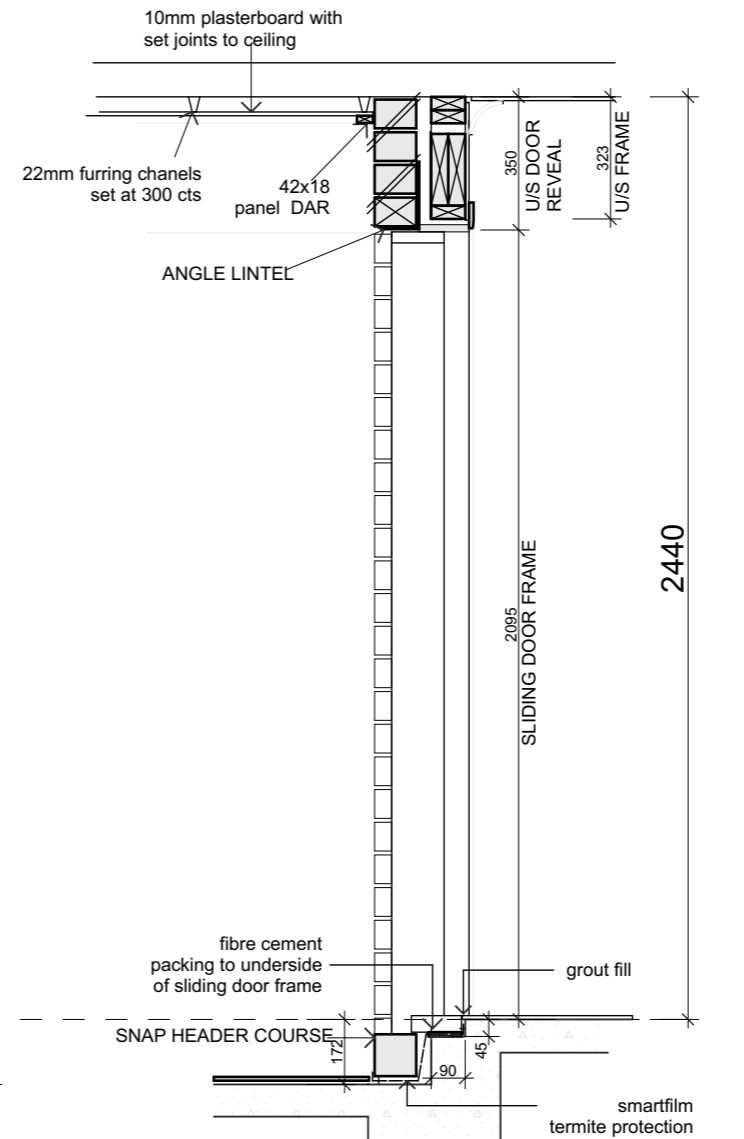
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			DRAWN	RG
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**COLUMN SECTION  
Detail A01**

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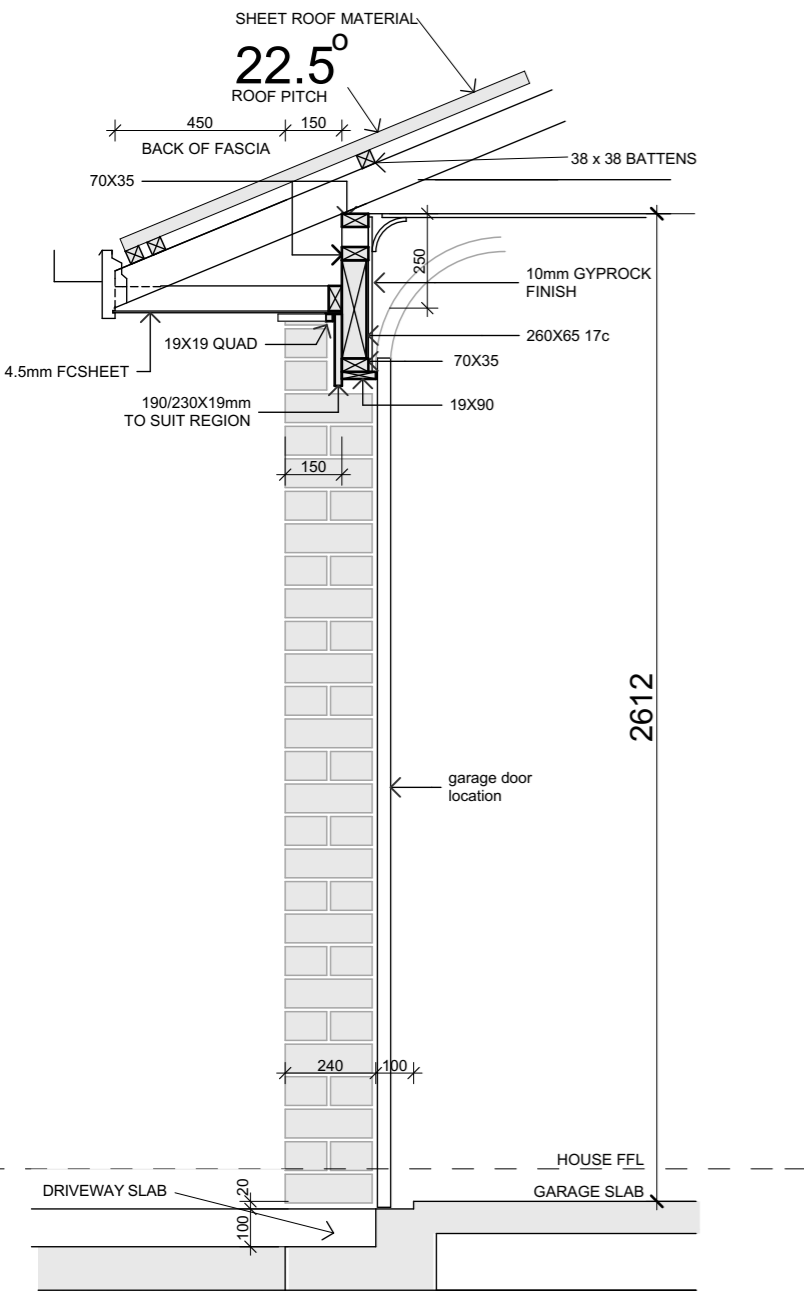


**SLIDING DOOR SECTION  
Detail A01a**

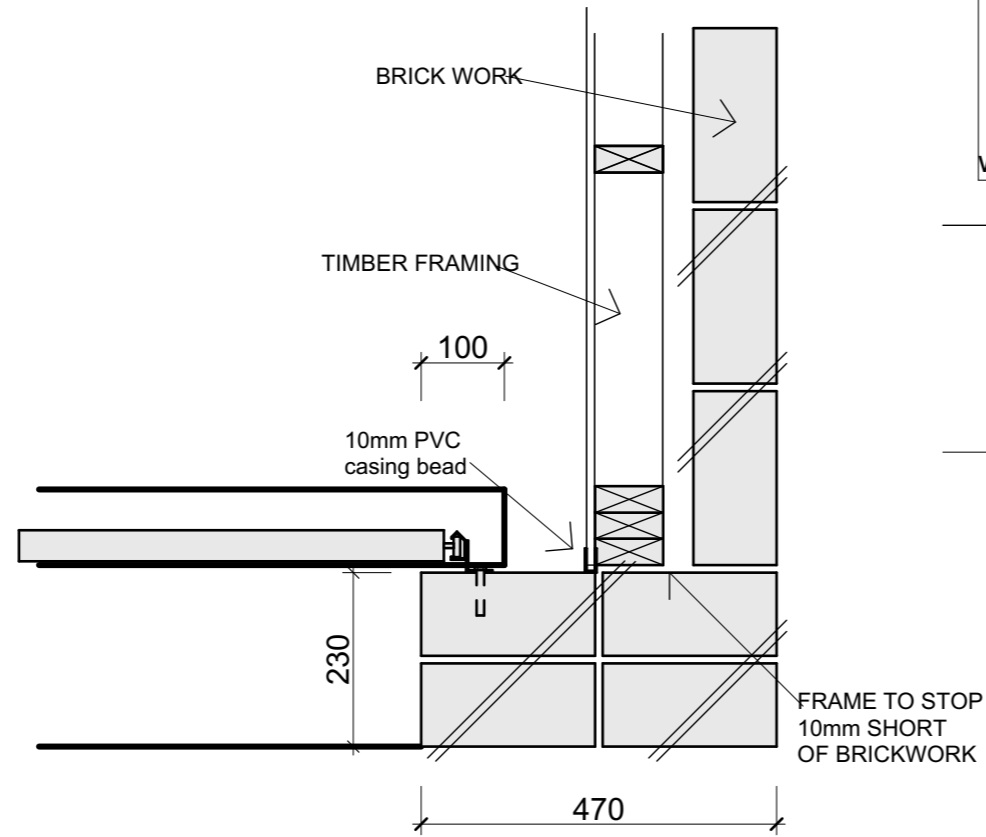
SCALE 1:20

drawing title		UNIT 2 ALFRESCO-BULKHEADS		
date	issue	description	JOB No.	revision
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24/06/21	B	ROOF INSULATION AMENDED & NEW NATHERS STAMP	SCALE	1:100 <small>printed to A3 size</small>
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			SITE	

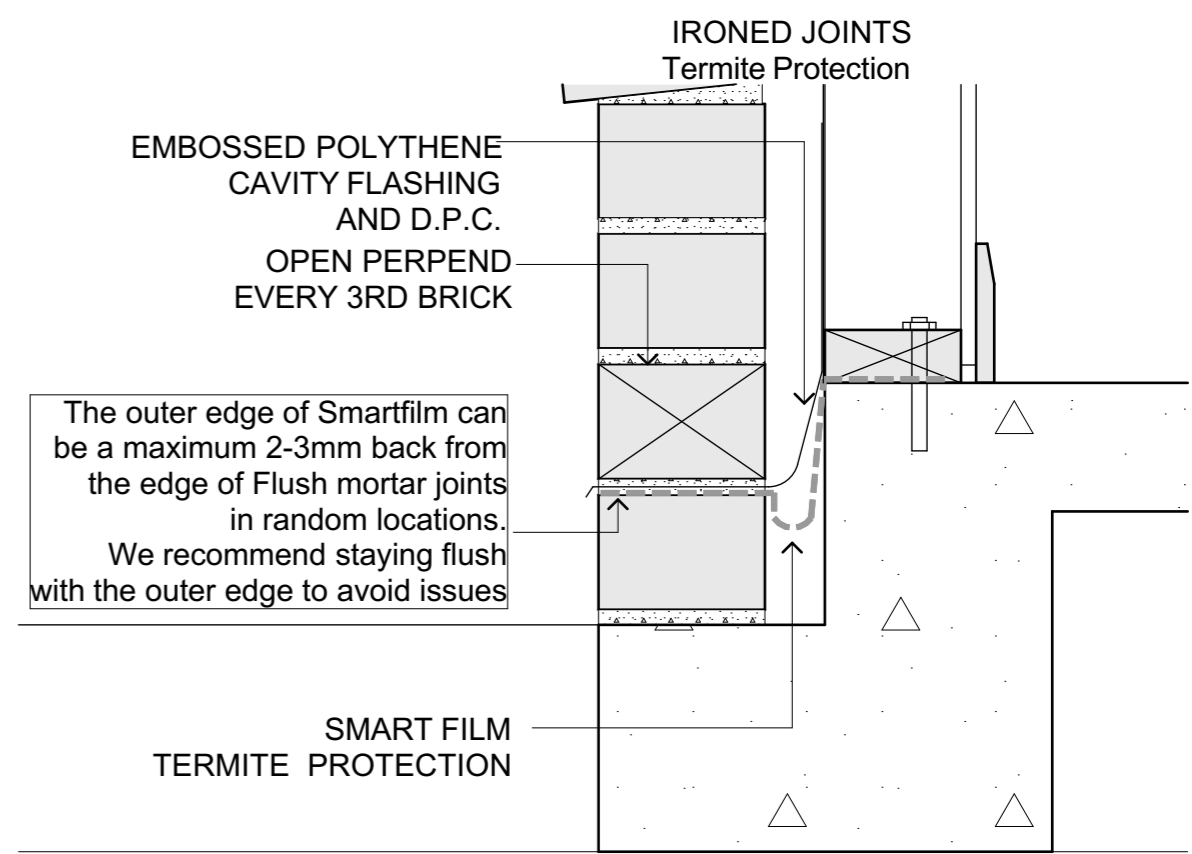
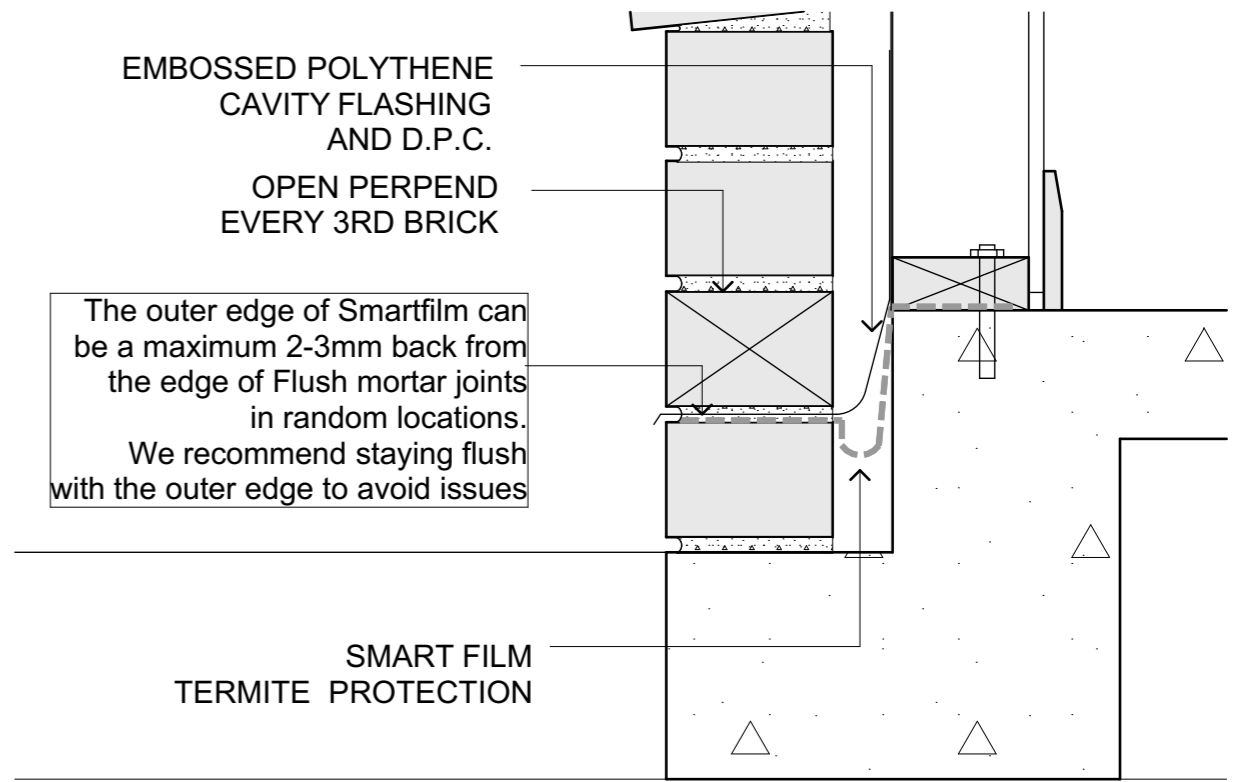
**B**  
PAGE  
**32**



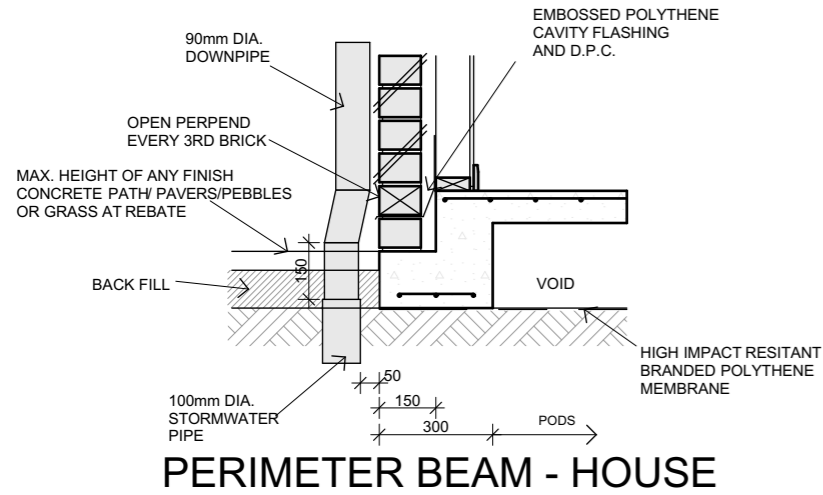
**GARAGE OPENING  
A03**



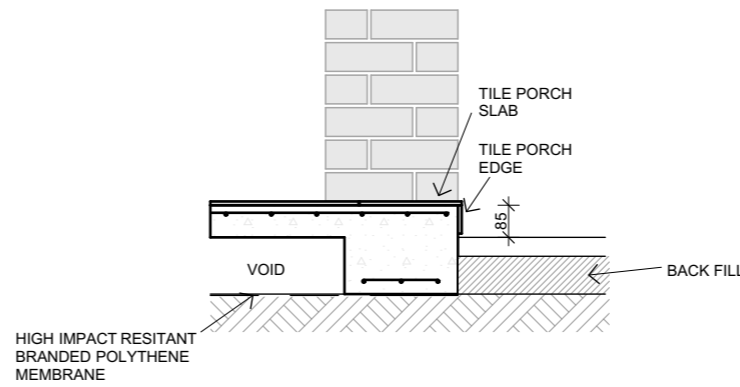
**EXTERNAL CORNER  
SCALE 1:10  
A02**



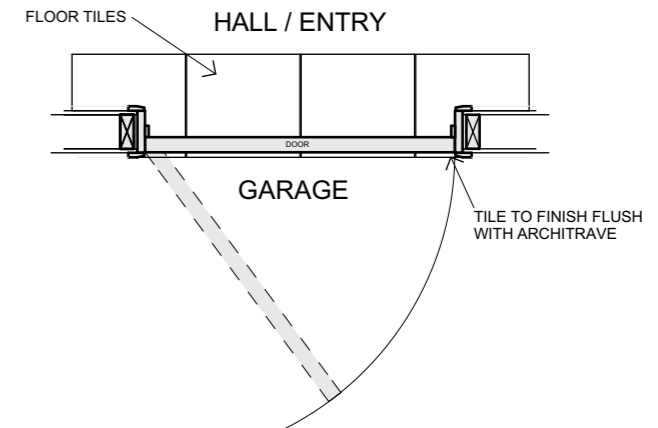
**FLUSH MORTAR JOINTS  
Termite Protection**



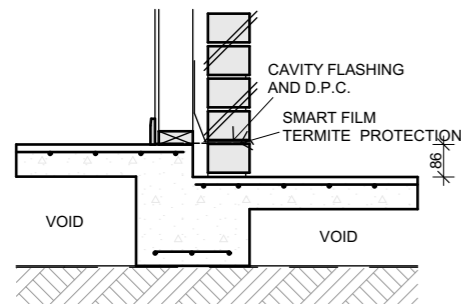
**A02a1**



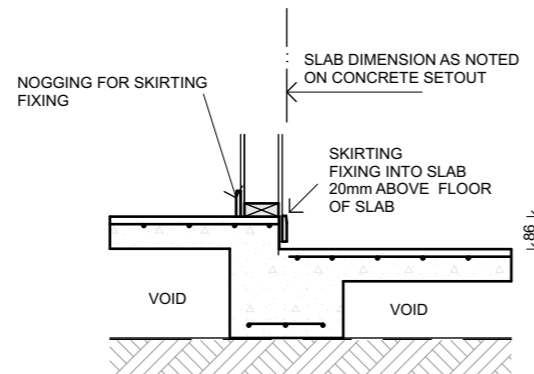
**A02a3**



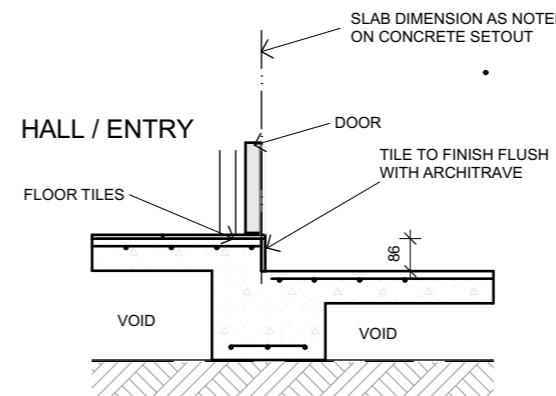
**INTERNAL BEAM - HOUSE/GARAGE THRU DOOR PLAN A02a7**



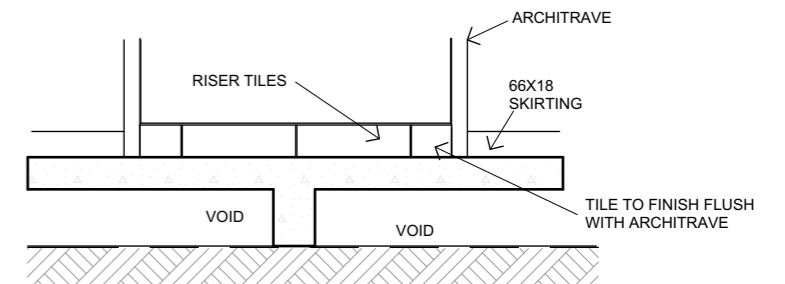
**A02a4**



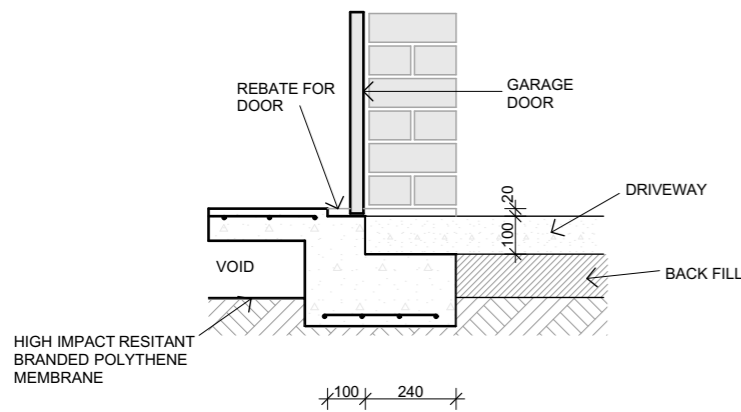
**INTERNAL BEAM - HOUSE/GARAGE THRU WALL A02a5**



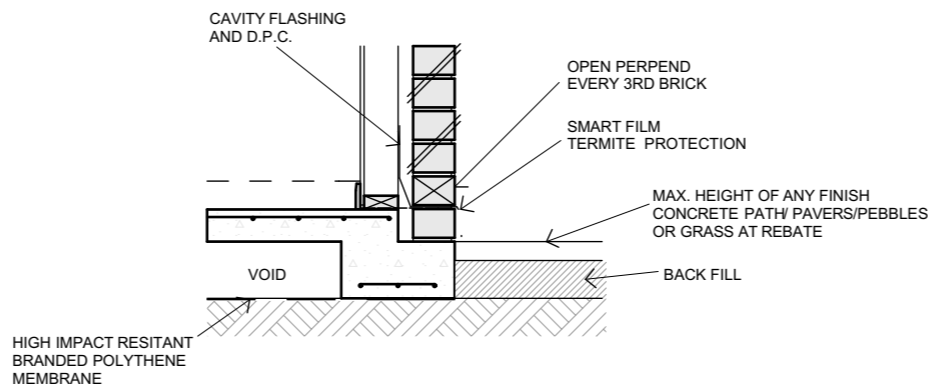
**INTERNAL BEAM - HOUSE/GARAGE THRU DOOR A02a6**



**INTERNAL BEAM - HOUSE/GARAGE THRU DOOR ELEVATION A02a9**



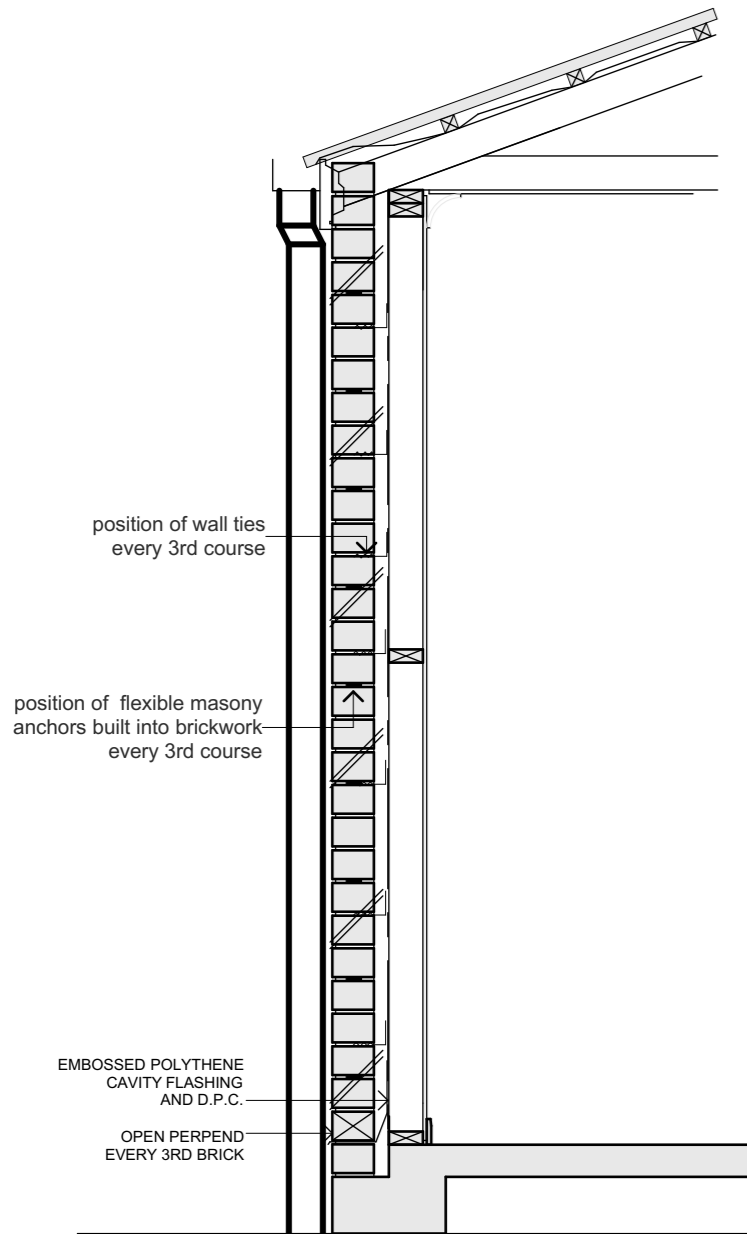
**PERIMETER BEAM - GARAGE DOOR A02a8**



**PERIMETER BEAM - GARAGE A02a10**

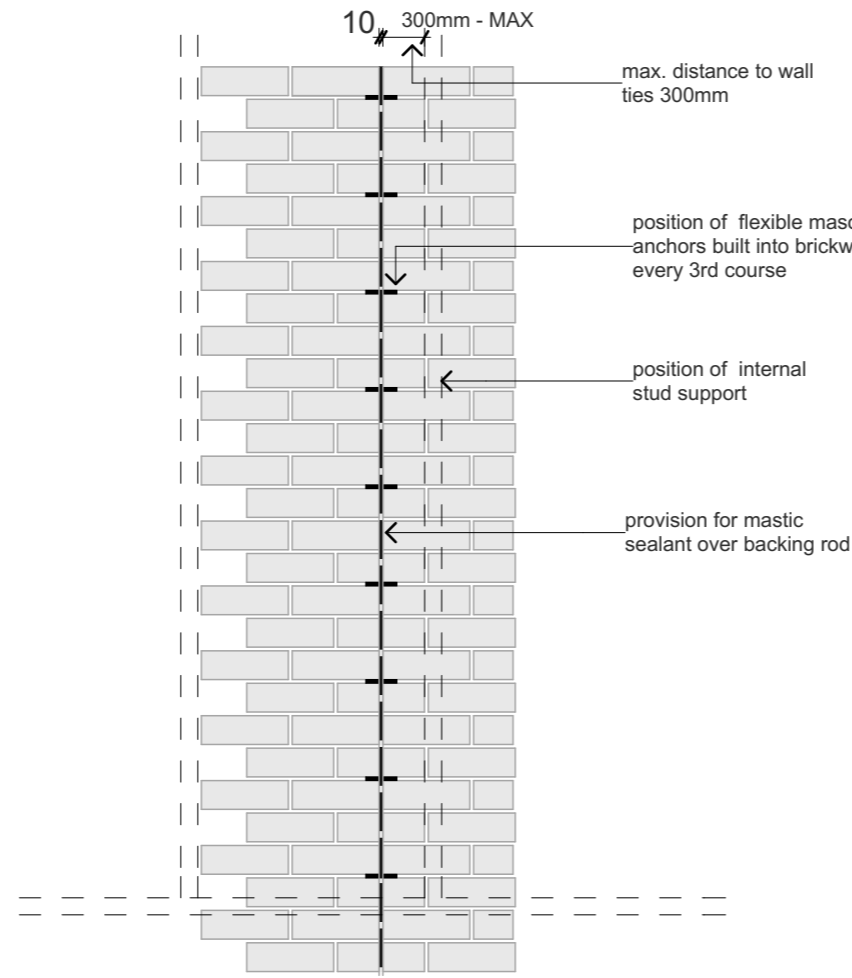
**NOTE :**  
ENSURE TO ALSO MAKE REFERENCE TO ENGINEERS DETAILS

drawing title		UNIT 2 FLOOR DETAILS		
date	issue	description	JOB No.	revision
01/06/21	A	ISSUED FOR REVIEW		1:20 .2
24/06/21	B	ROOF INSULATION AMENDED & NEW NATHERS STAMP		B
			SCALE	1:100 <small>printed to A3 size</small>
			DRAWN	RG
			DATE	23/08/2021
			WIND 'N2'	SITE
				34

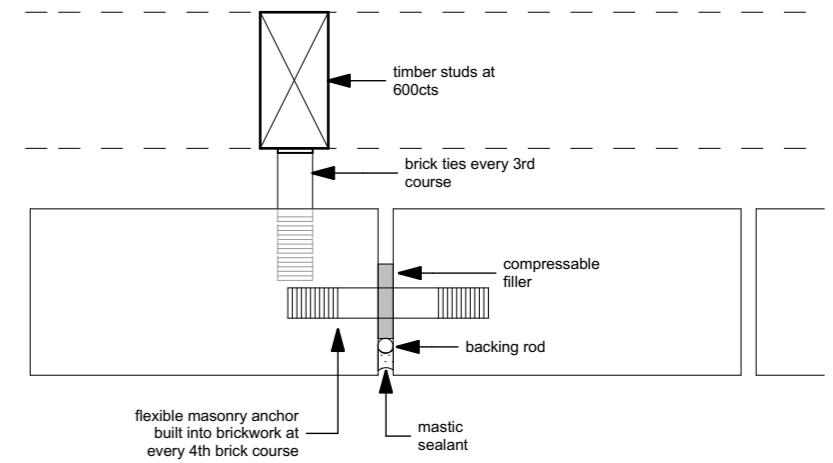


VERTICAL ARTICULATION JOINT SECTION

Note :  
articulation joints required nomore than 6000mm centres  
in a straight , continuous walls having no openings



VERTICAL ARTICULATION JOINT ELEVATION



drawing title			UNIT 2 ARTICULATION VERTICAL JOINT		
date	issue	description	JOB No.	10914.2	revision
01/06/21	A	ISSUED FOR REVIEW	SCALE	1:100	B
24/06/21	B	ROOF INSULATION AMENDED & NEW NATHERS STAMP	DRAWN	RG	PAGE
			DATE	23/08/2021	35
			WIND	'N2'	SITE