



PERSPECTIVE IMAGE: 20B LAWSON STREET



PERSPECTIVE IMAGE: 20A LAWSON STREET



PERSPECTIVE IMAGE: 22A & 22 LAWSON STREET

PROPOSED AREA OF WORKS
22 LAWSON STREET MUDGEES
LOT 1 - DP231976



01 | LOCALITY PLAN
NOT TO SCALE



GENERAL NOTES:

- FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS UNLESS OTHERWISE STATED. ALL DIMENSIONS ARE NOMINAL IE. DIMENSIONS ARE TO STRUCTURAL ELEMENTS AND DO NOT INCLUDE FINISHED SURFACES SUCH AS PLASTERBOARD, TILING ETC. ALL DIMENSIONS RELEVANT TO SETTING OUT & OFF-SITE WORK SHALL BE VERIFIED BY THE CONTRACTOR BEFORE CONSTRUCTION & FABRICATION.
- ALL DISCREPANCIES SHALL BE REFERRED TO 'ON POINT BUILDING DESIGN' FOR A DECISION BEFORE PROCEEDING WITH THE WORK
- WORKMANSHIP & MATERIALS ARE TO BE IN ACCORDANCE WITH THE RELEVANT CURRENT S.A.A CODES INCLUDING ALL AMENDMENTS, THE 'BUILDING CODE OF AUSTRALIA - VOLUME 2, 2019'; POLICY REQUIREMENTS OF 'MID WESTERN REGIONAL COUNCIL';
- ALL DIMENSIONS ARE IN MILLIMETRES UNLESS STATED OTHERWISE & LEVELS ARE EXPRESSED IN METRES.
- ALL LEVELS, DIMENSIONS, SITE CONDITIONS & SERVICES, TO BE CHECKED & CONFIRMED ON SITE & WITH RELEVANT SERVICE AUTHORITIES, PRIOR TO CONSTRUCTION.
- THE RELEVANT STATUTORY AUTHORITIES SHALL BE NOTIFIED IN ADVANCE & THEIR APPROVALS OR SERVICES, IF NECESSARY SHALL BE OBTAINED.

CONSTRUCTION NOTES:

- ALL INTERNAL WALLS UN.D TO BE 90mm TIMBER STUD FRAMED LINED WITH 10mm 'GYPROCK - PLASTERBOARD CD' INTERNALLY & 10mm 'GYPROCK - AQUACHEK PLASTERBOARD' TO WET AREAS.
- WET AREAS OF THE BUILDING IE. NEW BATHROOMS ARE TO BE PROTECTED BY THE INSTALLATION OF A WATER PROOFING SYSTEM COMPLYING WITH AS3740 - "WATERPROOFING OF WET AREAS".
- WALL FRAME BRACING, ROOF BRACING, & ALL 'TIE DOWN' FIXING DETAILS TO BE AS SPECIFIED & DETAILED BY TRUSS/FRAME MANUFACTURER.
- ROOF WATER TO BE COLLECTED BY EAVES GUTTER & DISCHARGED TO DOWNPIPES THRU SUBSOIL PVC PIPES TO TANKS POSITIONED BY CLIENT, OVERFLOW TO BE DETERMINED ON SITE.
- WATER TEMPERATURE TO ALL OUTLETS (EXCEPT LAUNDRY & KITCHEN) NOT TO EXCEED 50°C.
- THE BUILDING IS TO BE PROTECTED AGAINST SUBTERRANEAN TERMITES, IN ACCORDANCE WITH 'AS. 3660'. A DURABLE NOTICE MUST BE PERMANENTLY FIXED TO THE BUILDING IN A PROMINENT POSITION SHOWING METHOD OF RISK MANAGEMENT, DATE OF INSTALLATION & INSTALLERS OR MANUFACTURER'S RECOMMENDATIONS FOR THE SCOPE & FREQUENCY OF FUTURE INSPECTIONS FOR TERMITE ACTIVITY.
- ALL PLUMBING WORKS ARE TO BE IN ACCORDANCE WITH THE PLUMBING CODE OF AUSTRALIA (PCA), THE NEW SOUTH WALES CODE OF PRACTICE FOR PLUMBING & DRAINAGE 2006 (NSW PLUMBING CODE) & AS/NZS3500.

PROPOSED DUAL OCCUPANCIES

22 LAWSON STREET, MUDGEES NSW

DRAWINGS SCHEDULE

1221-A 01	3D PERSPECTIVES, LOCALITY PLAN & NOTES
1221-A 02	SITE LAYOUT
1221-A 03	LANDSCAPE LAYOUT
1221-A 04	22A LAWSON ST - FLOOR LAYOUT & ELEVATIONS
1221-A 05	22 LAWSON ST - FLOOR LAYOUT & ELEVATIONS
1221-A 06	20B LAWSON ST - FLOOR LAYOUT & ELEVATIONS
1221-A 07	20A LAWSON ST - FLOOR LAYOUT & ELEVATIONS
1221-A 08	SHADOW DIAGRAMS - PLANS
1221-A 09	SHADOW DIAGRAM - ELEVATIONS 22 & 22A LAWSON ST
1221-A 10	SHADOW DIAGRAM - ELEVATIONS 20A & 20B LAWSON ST
1221-A 11	STAGING LAYOUT 1
1221-A 12	STAGING LAYOUT 2



on point
BUILDING DESIGN

CONTACT DETAILS

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Client:

HAYES CONSTRUCTION COMPANY

Project:

PROPOSED UNITS AT
22 LAWSON STREET, MUDGEES

Drawing Title:

3D PERSPECTIVES, LOCALITY PLAN & NOTES

Rev	Date	Amendment
E	14/07/21	RE-ISSUED FOR QUOTING PURPOSES ONLY
F	21/07/21	ISSUED FOR REVIEW
G	21/07/21	ISSUED FOR REVIEW
H	11/08/21	ISSUED FOR REVIEW
I	12/08/21	ISSUED FOR PRE-APPROVAL
J	22/08/21	ISSUED FOR DA APPROVAL



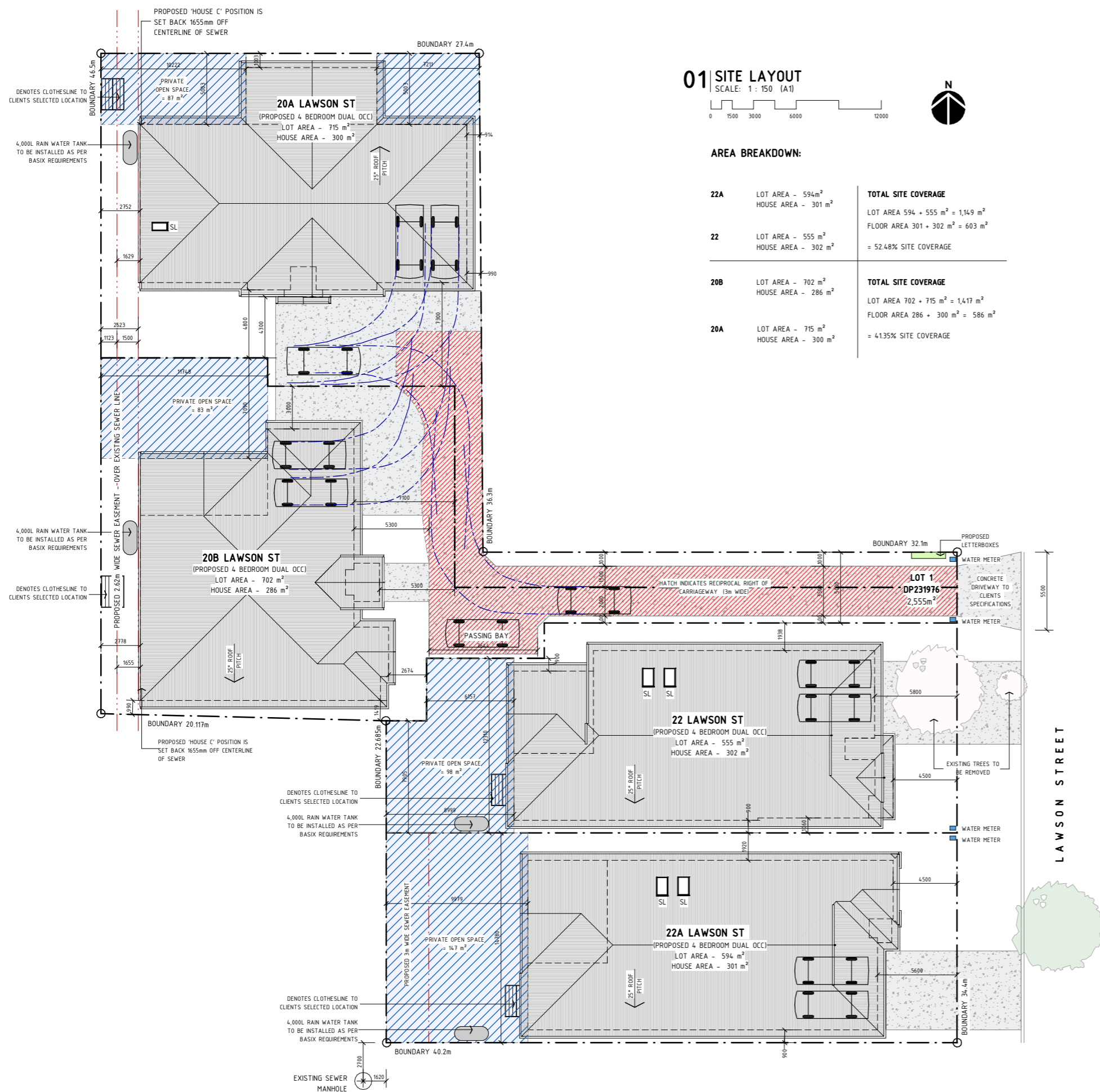
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Drawing Number Revision

1221 - A01 J

Sheet 01 of 12

ISSUED FOR DA APPROVAL



01 SITE LAYOUT

SCALE: 1 : 150 (A1)



AREA BREAKDOWN:

22A	LOT AREA - 594m ² HOUSE AREA - 301 m ²	TOTAL SITE COVERAGE LOT AREA 594 + 555 m ² = 1,149 m ² FLOOR AREA 301 + 302 m ² = 603 m ² = 52.48% SITE COVERAGE
22	LOT AREA - 555 m ² HOUSE AREA - 302 m ²	
20B	LOT AREA - 702 m ² HOUSE AREA - 286 m ²	TOTAL SITE COVERAGE LOT AREA 702 + 715 m ² = 1,417 m ² FLOOR AREA 286 + 300 m ² = 586 m ² = 41.35% SITE COVERAGE
20A	LOT AREA - 715 m ² HOUSE AREA - 300 m ²	

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HAYES CONSTRUCTION COMPANY

Project:

PROPOSED UNITS AT
22 LAWSON STREET, MUDGEE

Drawing Title:

SITE LAYOUT

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E	14/07/21	RE-ISSUED FOR QUOTING PURPOSES ONLY
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ASSOCIATION OF AUSTRALIA

Drawing Number

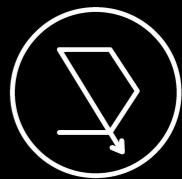
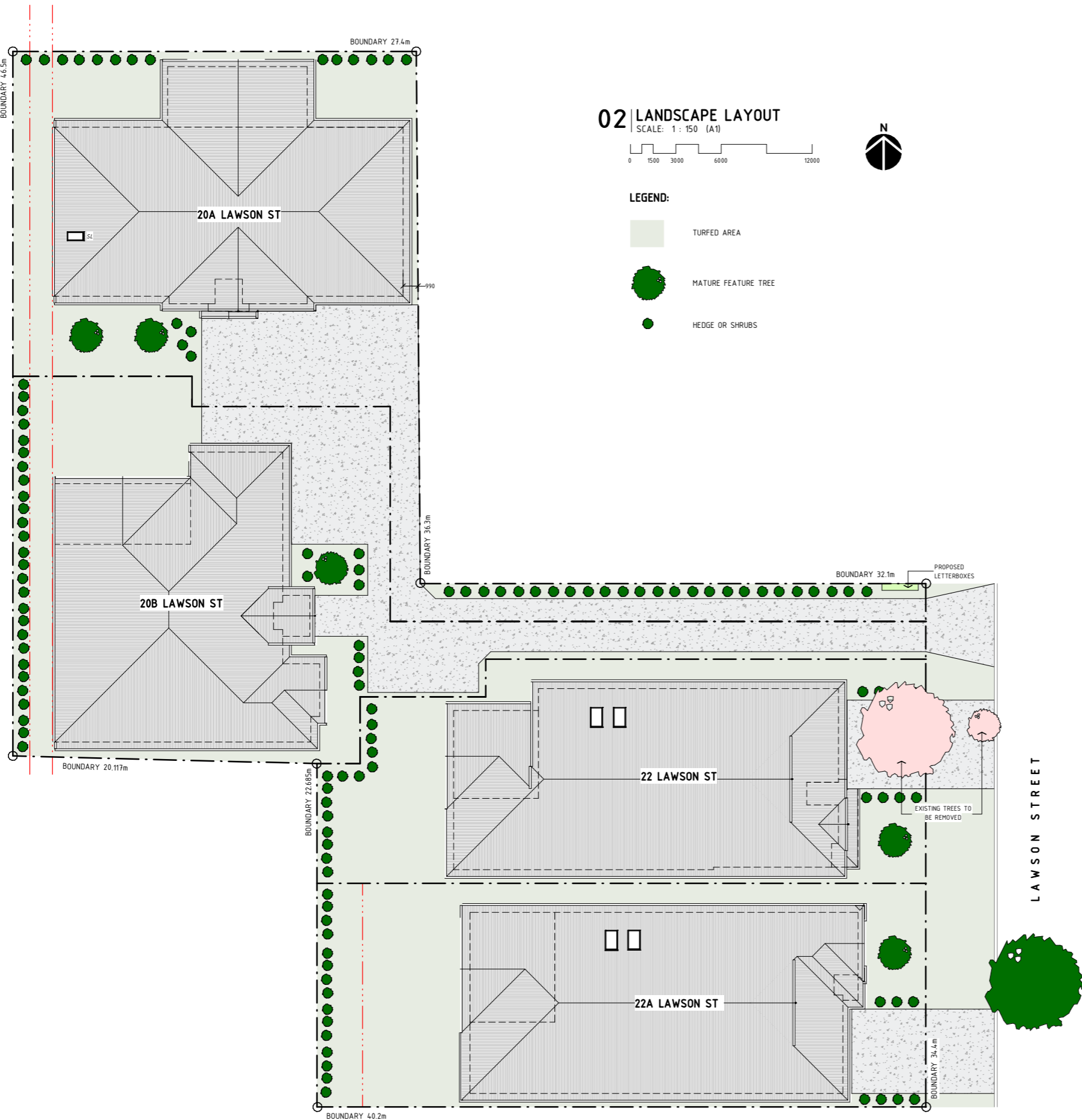
1221 - A02

Revision

J

Sheet 02 of 12

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HAYES CONSTRUCTION COMPANY

Project:
PROPOSED UNITS AT
22 LAWSON STREET, MUDGEE

Drawing Title:
LANDSCAPE LAYOUT

Rev	Date	Amendment
E	14/07/21	RE-ISSUED FOR QUOTING PURPOSES ONLY
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I	12/08/21	ISSUED FOR PRE-APPROVAL
J	22/08/21	ISSUED FOR DA APPROVAL



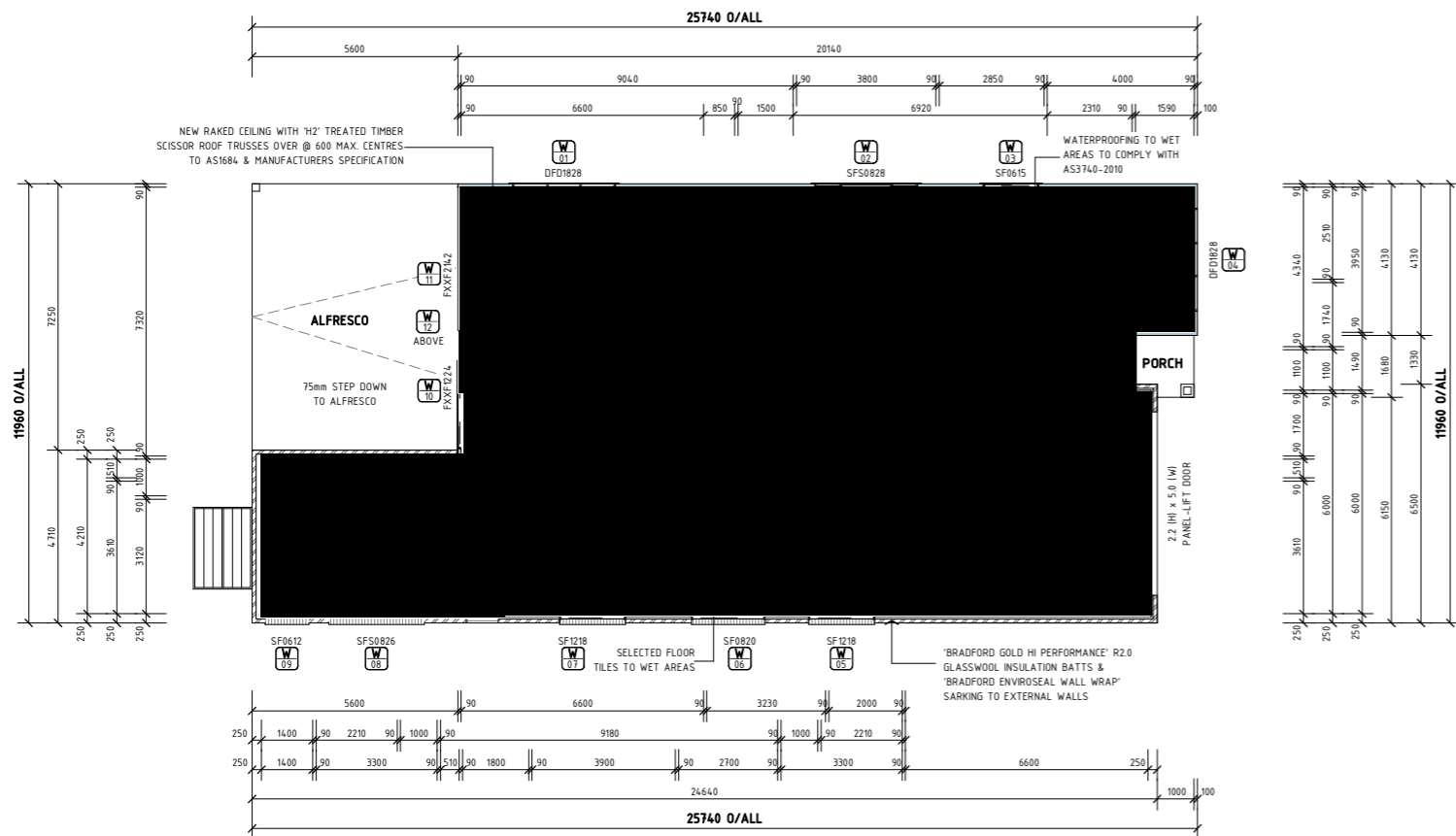
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Drawing Number Revision

1221 - A03 J

Sheet 03 of 12

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03 | 22A LAWSON ST - FLOOR LAYOUT

SCALE: 1 : 100 (A1)



FLOOR AREAS

LIVING	215 m ²
GARAGE	43 m ²
ALFRESCO	41 m ²
PORCH	2 m ²
TOTAL	301 m²

BASIX CERTIFICATE COMMITMENTS:

WATER COMMITMENTS

THE APPLICANT MUST COMPLY WITH THE COMMITMENTS LISTED BELOW IN CARRYING OUT THE DEVELOPMENT OF THE DWELLING.

FIXTURES:

- THE APPLICANT MUST INSTALL SHOWERHEADS WITH A MIN. RATING OF 4 STAR (+6-7.5L/min).
- THE APPLICANT MUST INSTALL TOILET FLUSHING SYSTEMS WITH A MIN. RATING OF 4 STAR.
- THE APPLICANT MUST INSTALL TAPS WITH A MIN. RATING OF 4 STAR IN THE KITCHEN.
- THE APPLICANT MUST INSTALL BASIN TAPS WITH A MIN. RATING OF 4 STAR IN EACH BATHROOM.

ALTERNATIVE WATER

- THE APPLICANT MUST INSTALL A RAINWATER TANK OF 4,000 LITRES MIN. TO REGULATORY REQUIREMENTS. TO COLLECT RUNOFF FROM 368m² ROOF AREA MIN. THE APPLICANT MUST CONNECT THE RAINWATER TANK TO:
 - AT LEAST ONE OUTDOOR TAP IN THE DEVELOPMENT.

THERMAL COMMITMENTS

THE APPLICANT MUST COMPLY WITH THE COMMITMENTS LISTED BELOW IN CARRYING OUT THE DEVELOPMENT OF THE DWELLING.

FLOOR, WALLS, CEILING/ROOF:

THE APPLICANT MUST CONSTRUCT THE NEW OR ALTERED CONSTRUCTION (FLOORS), WALLS, & CEILINGS/ROOFS) IN ACCORDANCE WITH THE SPECIFICATIONS LISTED IN THE TABLE BELOW.

CONSTRUCTION	ADD. INSULATION REQ'D. (R-VALUE)	OTHER SPECIFICATIONS
FLOOR - CONCRETE SLAB ON GROUND	NIL	
EXTERNAL WALL: BRICK VENEER	2.06 (OR 2.60 INCLUDING CONSTRUCTION)	
EXTERNAL WALL: FRAMED - WEATHERBOARD	2.20 (OR 2.60 INCLUDING CONSTRUCTION)	
INTERNAL WALL: SHARED WITH GARAGE	NIL	
CEILING & ROOF - FLAT	CEILING - 3.25 (UP)	UNVENTILATED LIGHT (SOLAR ABSORBANCE +0.475)
CEILING/PITCHED ROOF	ROOF - FOIL/SARKING	
CEILING & ROOF - RAKED CEILING / PITCHED SKILLION ROOF	CEILING - 3.26 (UP) ROOF - FOIL/SARKING	FRAMED LIGHT (SOLAR ABSORBANCE +0.475)

ENERGY COMMITMENTS

THE APPLICANT MUST COMPLY WITH THE COMMITMENTS LISTED BELOW IN CARRYING OUT THE DEVELOPMENT OF THE DWELLING.

HOT WATER:

- THE APPLICANT MUST INSTALL A GAS INSTANTANEOUS SYSTEM WITH A MIN. RATING OF 6 STARS

COOLING SYSTEM:

- THE APPLICANT MUST INSTALL IN AT LEAST 1 LIVING AREA: 1 PHASE AIR CONDITIONING 4.5 STAR (ZONED)
- THE APPLICANT MUST INSTALL IN ALL BEDROOMS: 1 PHASE AIR CONDITIONING 4.5 STAR (ZONED)

HEATING SYSTEM:

- THE APPLICANT MUST INSTALL IN AT LEAST 1 LIVING AREA: 1 PHASE AIR CONDITIONING 4.5 STAR (ZONED)
- THE APPLICANT MUST INSTALL IN ALL BEDROOMS: 1 PHASE AIR CONDITIONING 4.5 STAR (ZONED)

VENTILATION:

- IN EACH BATHROOM: INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF; MANUAL SWITCH ON/OFF
- KITCHEN: INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF; MANUAL SWITCH ON/OFF
- LAUNDRY: NATURAL VENTILATION

ARTIFICIAL LIGHTING:

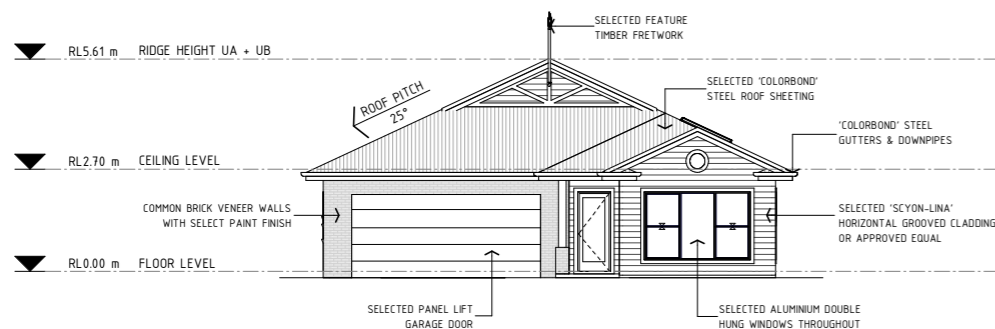
- THE APPLICANT MUST ENSURE THE 'PRIMARY TYPE OF ARTIFICIAL LIGHTING' TO THE FOLLOWING IS FLUORESCENT OR LED LIGHT LIGHTING:
 - AT LEAST 2 OF THE LIVING / DINING ROOMS
 - AT LEAST 4 OF THE BEDROOMS / STUDY
 - ALL HALLWAYS
 - THE KITCHEN
 - THE LAUNDRY
 - ALL BATHROOMS

NATURAL LIGHTING:

- THE APPLICANT MUST PROVIDE NATURAL LIGHTING TO THE FOLLOWING:
 - 3 BATHROOMS/TOILETS
 - THE KITCHEN

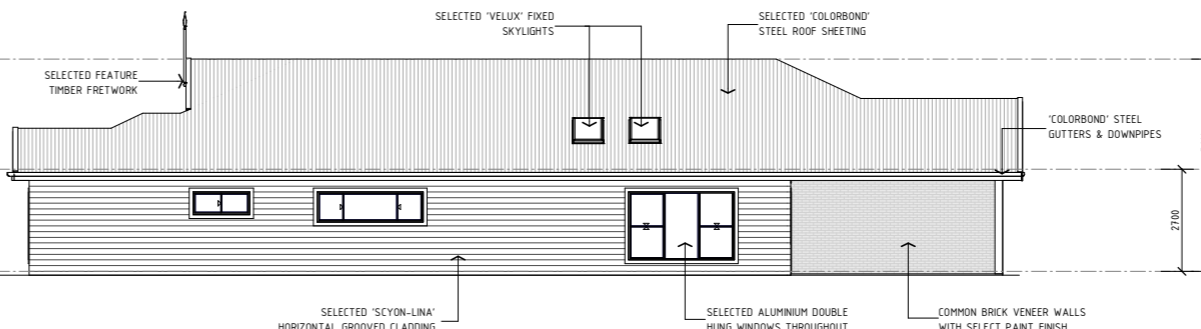
OTHER:

- THE APPLICANT MUST INSTALL AN GAS COOKTOP & ELECTRIC OVEN
- THE APPLICANT MUST INSTALL A FIXED OUTDOOR CLOTHES DRYING LINE



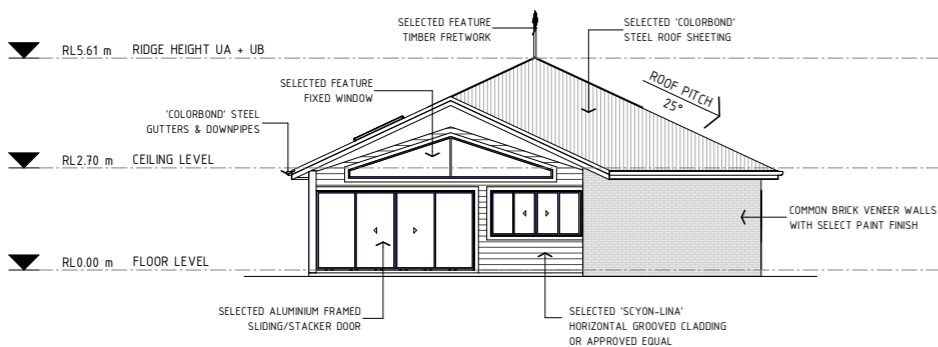
04 | ELEVATION: 22A - EAST FACADE

SCALE: 1 : 100 (A1)



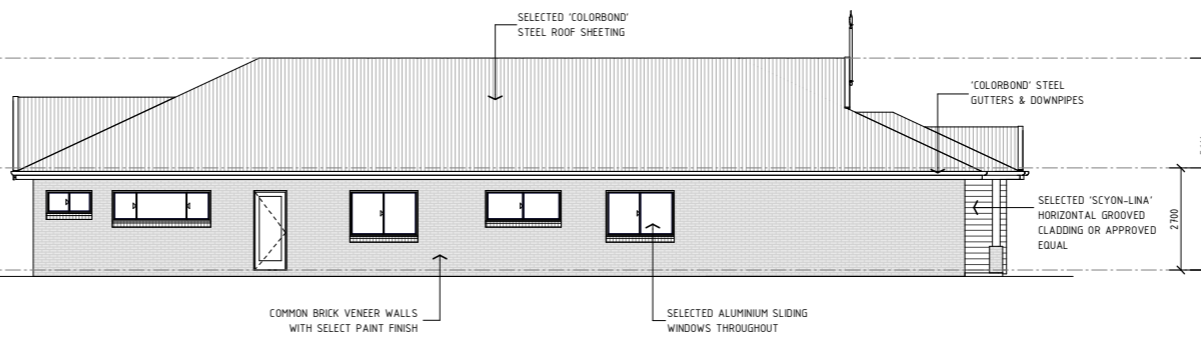
05 | ELEVATION: 22A - NORTH FACADE

SCALE: 1 : 100 (A1)



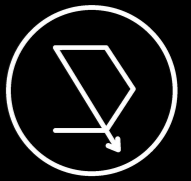
06 | ELEVATION: 22A - WEST FACADE

SCALE: 1 : 100 (A1)



07 | ELEVATION: 22A - SOUTH FACADE

SCALE: 1 : 100 (A1)



On Point
BUILDING DESIGN

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Client:

HAYES CONSTRUCTION COMPANY

Project:

PROPOSED UNITS AT
22 LAWSON STREET, MUDGEE

Drawing Title:

22A LAWSON ST - FLOOR LAYOUT &
ELEVATIONS

Rev	Date	Amendment
E	14/07/21	RE-ISSUED FOR QUOTING PURPOSES ONLY
F	21/07/21	ISSUED FOR REVIEW
G	21/07/21	ISSUED FOR REVIEW
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BUILDING DESIGNERS
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Drawing Number

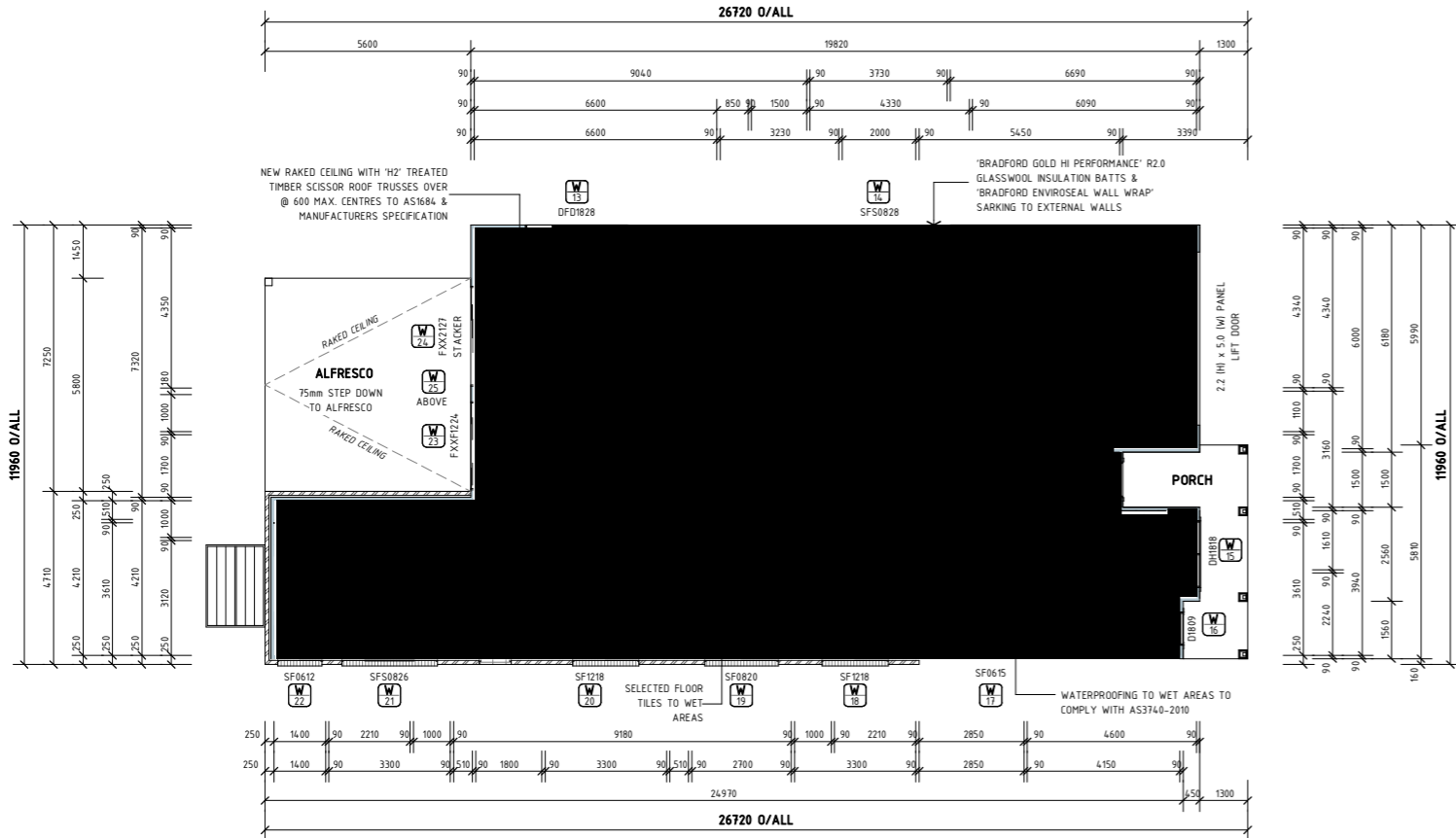
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1221 - A04

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Sheet 04 of 12



08 | 22 LAWSON ST - FLOOR LAYOUT
SCALE: 1 : 100 (A1)



FLOOR AREAS

LIVING	218 m ²
GARAGE	41 m ²
ALFRESCO	32 m ²
PORCH	11 m ²
TOTAL	302 m²

BASIX CERTIFICATE COMMITMENTS:

WATER COMMITMENTS

THE APPLICANT MUST COMPLY WITH THE COMMITMENTS LISTED BELOW IN CARRYING OUT THE DEVELOPMENT OF THE DWELLING.

- FIXTURES:**
- THE APPLICANT MUST INSTALL SHOWERHEADS WITH A MIN. RATING OF 4 STAR (6+7.5L/min).
 - THE APPLICANT MUST INSTALL TOILET FLUSHING SYSTEMS WITH A MIN. RATING OF 4 STAR.
 - THE APPLICANT MUST INSTALL TAPS WITH A MIN. RATING OF 4 STAR IN THE KITCHEN.
 - THE APPLICANT MUST INSTALL BASIN TAPS WITH A MIN. RATING OF 4 STAR IN EACH BATHROOM.

- ALTERNATIVE WATER SOURCE:**
- THE APPLICANT MUST INSTALL A RAINWATER TANK OF 4,000 LITRES MIN. TO REGULATORY REQUIREMENTS. TO COLLECT RUNOFF FROM 370m² ROOF AREA MIN. THE APPLICANT MUST CONNECT THE RAINWATER TANK TO.
 - AT LEAST ONE OUTDOOR TAP IN THE DEVELOPMENT.

THERMAL COMMITMENTS

THE APPLICANT MUST COMPLY WITH THE COMMITMENTS LISTED BELOW IN CARRYING OUT THE DEVELOPMENT OF THE DWELLING.

FLOOR, WALLS, CEILING/ROOF: THE APPLICANT MUST CONSTRUCT THE NEW OR ALTERED CONSTRUCTION (FLOORIS), WALLS, & CEILINGS/ROOFS) IN ACCORDANCE WITH THE SPECIFICATIONS LISTED IN THE TABLE BELOW.

CONSTRUCTION	ADD. INSULATION REQ'D. (R-VALUE)	OTHER SPECIFICATIONS
FLOOR - CONCRETE SLAB ON GROUND	NIL	
EXTERNAL WALL: BRICK VENEER	2.06 (OR 2.60 INCLUDING CONSTRUCTION)	
EXTERNAL WALL: FRAMED - WEATHERBOARD	2.20 (OR 2.60 INCLUDING CONSTRUCTION)	
INTERNAL WALL: SHARED WITH GARAGE	NIL	
CEILING & ROOF - FLAT	CEILING - 4.0 (LIP)	UNVENTILATED
CEILING/PITCHED ROOF	ROOF - FOIL/SARKING	DARK (SOLAR ABSORBANCE +0.70)
CEILING & ROOF - RAKED CEILING /	CEILING - 4.0 (LIP)	FRAMED
PITCHED SKILLION ROOF	ROOF - FOIL/SARKING	DARK (SOLAR ABSORBANCE +0.70)

ENERGY COMMITMENTS

THE APPLICANT MUST COMPLY WITH THE COMMITMENTS LISTED BELOW IN CARRYING OUT THE DEVELOPMENT OF THE DWELLING.

- HOT WATER:**
- THE APPLICANT MUST INSTALL A GAS INSTANTANEOUS SYSTEM WITH A MIN. RATING OF 6 STARS

- COOLING SYSTEM:**
- THE APPLICANT MUST INSTALL IN AT LEAST 1 LIVING AREA: 1 PHASE AIR CONDITIONING 4.5 STAR (ZONED)
 - THE APPLICANT MUST INSTALL IN ALL BEDROOMS: 1 PHASE AIR CONDITIONING 4.5 STAR (ZONED)

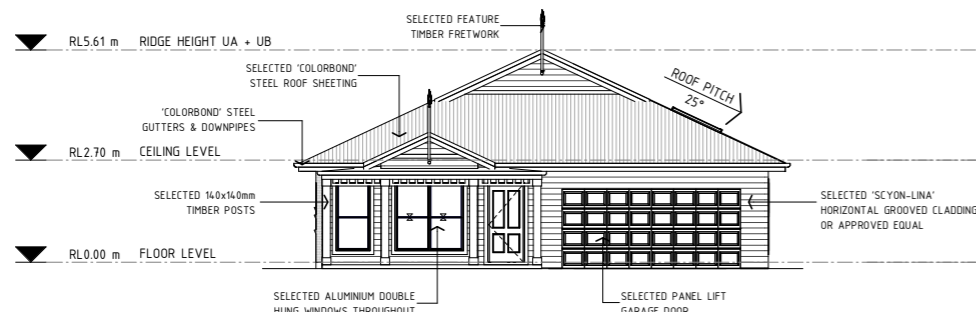
- HEATING SYSTEM:**
- THE APPLICANT MUST INSTALL IN AT LEAST 1 LIVING AREA: 1 PHASE AIR CONDITIONING 4.5 STAR (ZONED)
 - THE APPLICANT MUST INSTALL IN ALL BEDROOMS: 1 PHASE AIR CONDITIONING 4.5 STAR (ZONED)

- VENTILATION:**
- IN EACH BATHROOM: INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF, MANUAL SWITCH ON/OFF
 - KITCHEN: INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF, MANUAL SWITCH ON/OFF
 - LAUNDRY: NATURAL VENTILATION

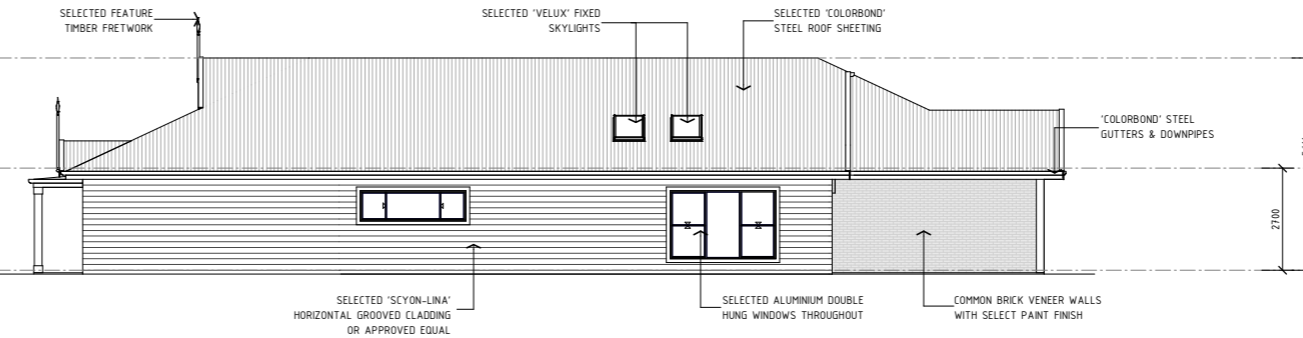
- ARTIFICIAL LIGHTING:**
- THE APPLICANT MUST ENSURE THE 'PRIMARY' TYPE OF ARTIFICIAL LIGHTING TO THE FOLLOWING IS FLUORESCENT OR LED LIGHT LIGHTING;
 - AT LEAST 2 OF THE LIVING / DINING ROOMS
 - AT LEAST 4 OF THE BEDROOMS / STUDY
 - ALL HALLWAYS
 - THE KITCHEN
 - THE LAUNDRY
 - ALL BATHROOMS

- NATURAL LIGHTING:**
- THE APPLICANT MUST PROVIDE NATURAL LIGHTING TO THE FOLLOWING;
 - 3 BATHROOMS/TOILETS
 - THE KITCHEN

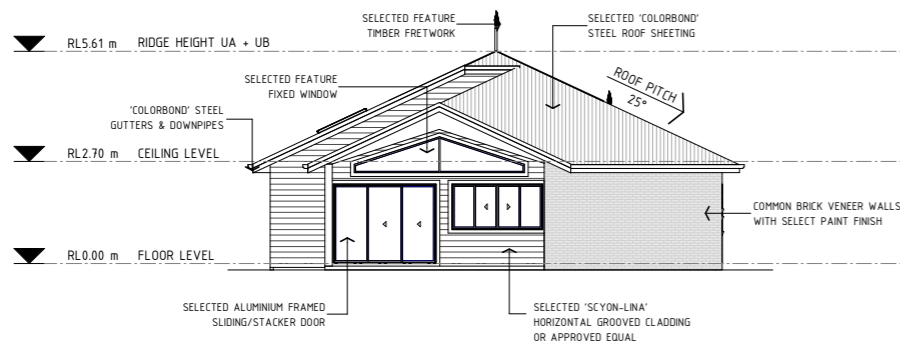
- OTHER:**
- THE APPLICANT MUST INSTALL AN GAS COOKTOP & ELECTRIC OVEN
 - THE APPLICANT MUST INSTALL A FIXED OUTDOOR CLOTHES DRYING LINE.



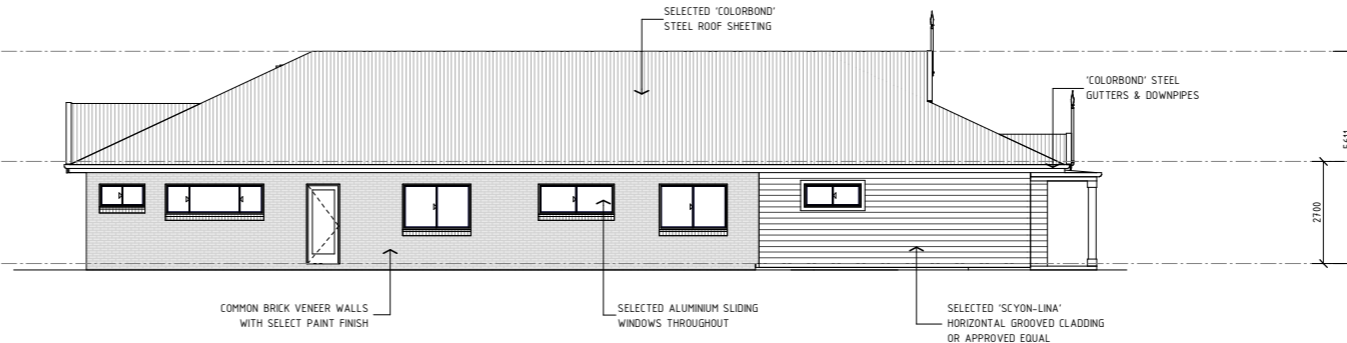
09 | ELEVATION: 22 - EAST FACADE
SCALE: 1 : 100 (A1)



10 | ELEVATION: 22 - NORTH FACADE
SCALE: 1 : 100 (A1)



11 | ELEVATION: 22 - WEST FACADE
SCALE: 1 : 100 (A1)



12 | ELEVATION: 22 - SOUTH FACADE
SCALE: 1 : 100 (A1)



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Client:

HAYES CONSTRUCTION COMPANY

Project:

PROPOSED UNITS AT
22 LAWSON STREET, MUDGEE

Drawing Title:

22 LAWSON ST - FLOOR LAYOUT &
ELEVATIONS

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BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Drawing Number

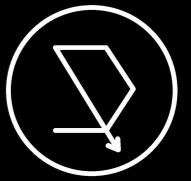
Revision

1221 - A05

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Sheet 05 of 12

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20B LAWSON ST - FLOOR LAYOUT &
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BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Drawing Number

1221 - A06

Revision

J

Sheet 06 of 12

BASIX CERTIFICATE COMMITMENTS:

WATER COMMITMENTS

THE APPLICANT MUST COMPLY WITH THE COMMITMENTS LISTED BELOW IN CARRYING OUT THE DEVELOPMENT OF THE DWELLING.

FIXTURES:

- THE APPLICANT MUST INSTALL SHOWERHEADS WITH A MIN. RATING OF 4 STAR (4-6+7.5L/min).
- THE APPLICANT MUST INSTALL TOILET FLUSHING SYSTEMS WITH A MIN. RATING OF 4 STAR.
- THE APPLICANT MUST INSTALL TAPS WITH A MIN. RATING OF 4 STAR IN THE KITCHEN.
- THE APPLICANT MUST INSTALL BASIN TAPS WITH A MIN. RATING OF 4 STAR IN EACH BATHROOM.

ALTERNATIVE WATER SOURCE:

- THE APPLICANT MUST INSTALL A RAINWATER TANK OF 4,000 LITRES MIN. TO REGULATORY REQUIREMENTS, TO COLLECT RUNOFF FROM 345m² ROOF AREA MIN. THE APPLICANT MUST CONNECT THE RAINWATER TANK TO:
 - AT LEAST ONE OUTDOOR TAP IN THE DEVELOPMENT.

THERMAL COMMITMENTS

THE APPLICANT MUST COMPLY WITH THE COMMITMENTS LISTED BELOW IN CARRYING OUT THE DEVELOPMENT OF THE DWELLING.

FLOOR, WALLS, CEILING/ROOF:

THE APPLICANT MUST CONSTRUCT THE NEW OR ALTERED CONSTRUCTION (FLOORS), WALLS, & CEILINGS/ROOFS) IN ACCORDANCE WITH THE SPECIFICATIONS LISTED IN THE TABLE BELOW.

CONSTRUCTION	ADD. INSULATION REQ'D. (R-VALUE)	OTHER SPECIFICATIONS
FLOOR - CONCRETE SLAB ON GROUND	NIL	
EXTERNAL WALL: FRAMED - WEATHERBOARD	2.20 (OR 2.60 INCLUDING CONSTRUCTION)	
INTERNAL WALL: SHARED WITH GARAGE	NIL	
CEILING & ROOF - FLAT	CEILING - 3.25 (UP)	UNVENTILATED
CEILING/PITCHED ROOF	ROOF - FOIL/SARKING	LIGHT (SOLAR ABSORBANCE +0.475)
CEILING & ROOF - RAKED CEILING / PITCHED SKILLION ROOF	CEILING - 3.26 (UP) ROOF - FOIL/SARKING	FRAMED LIGHT (SOLAR ABSORBANCE +0.475)

ENERGY COMMITMENTS

THE APPLICANT MUST COMPLY WITH THE COMMITMENTS LISTED BELOW IN CARRYING OUT THE DEVELOPMENT OF THE DWELLING.

HOT WATER:

- THE APPLICANT MUST INSTALL A GAS INSTANTANEOUS SYSTEM WITH A MIN. RATING OF 6 STARS

COOLING SYSTEM:

- THE APPLICANT MUST INSTALL IN AT LEAST 1 LIVING AREA: 1 PHASE AIR CONDITIONING 4.5 STAR (ZONED)
- THE APPLICANT MUST INSTALL IN ALL BEDROOMS: 1 PHASE AIR CONDITIONING 4.5 STAR (ZONED)

HEATING SYSTEM:

- THE APPLICANT MUST INSTALL IN AT LEAST 1 LIVING AREA: 1 PHASE AIR CONDITIONING 4.5 STAR (ZONED)
- THE APPLICANT MUST INSTALL IN ALL BEDROOMS: 1 PHASE AIR CONDITIONING 4.5 STAR (ZONED)

VENTILATION:

- IN EACH BATHROOM: INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF, MANUAL SWITCH ON/OFF
- KITCHEN: INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF, MANUAL SWITCH ON/OFF
- LAUNDRY: NATURAL VENTILATION

ARTIFICIAL LIGHTING:

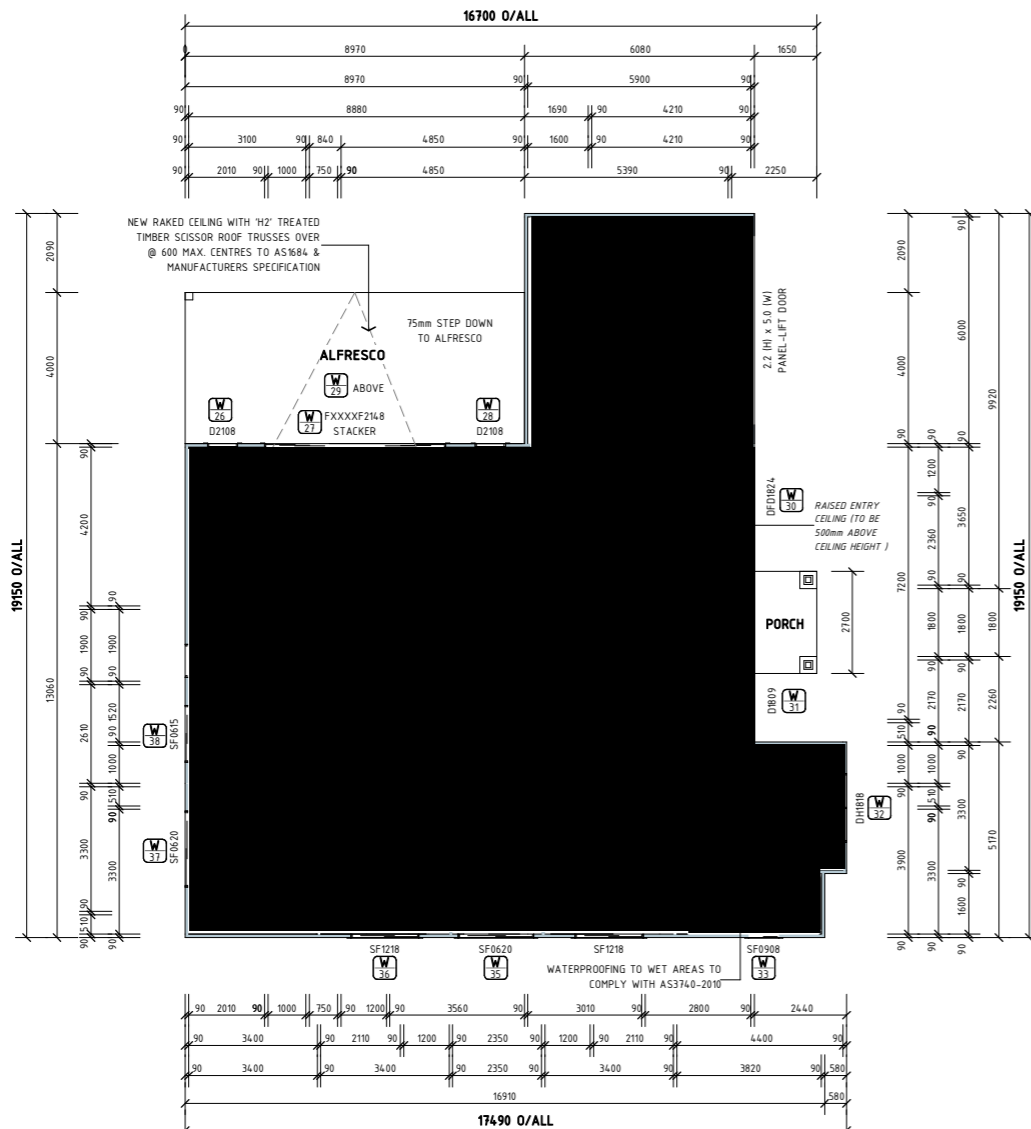
- THE APPLICANT MUST ENSURE THE 'PRIMARY TYPE OF ARTIFICIAL LIGHTING' TO THE FOLLOWING IS FLUORESCENT OR LED LIGHT LIGHTING:
 - AT LEAST 2 OF THE LIVING / DINING ROOMS
 - AT LEAST 4 OF THE BEDROOMS / STUDY
 - ALL HALLWAYS
 - THE KITCHEN
 - THE LAUNDRY
 - ALL BATHROOMS

NATURAL LIGHTING:

- THE APPLICANT MUST PROVIDE NATURAL LIGHTING TO THE FOLLOWING:
 - 3 BATHROOMS/TOILETS
 - THE KITCHEN

OTHER:

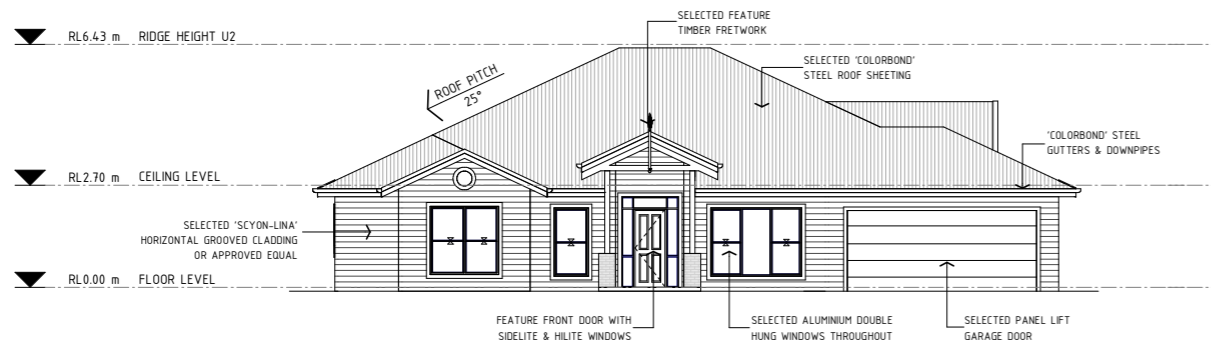
- THE APPLICANT MUST INSTALL AN GAS COOKTOP & ELECTRIC OVEN
- THE APPLICANT MUST INSTALL A FIXED OUTDOOR CLOTHES DRYING LINE.



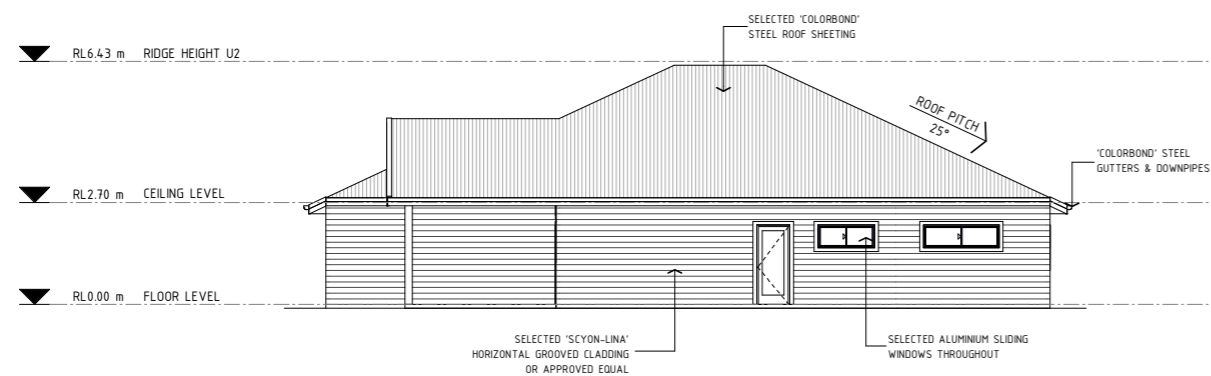
13 | 20B LAWSON ST - FLOOR LAYOUT
SCALE: 1 : 100 (A1)

FLOOR AREAS

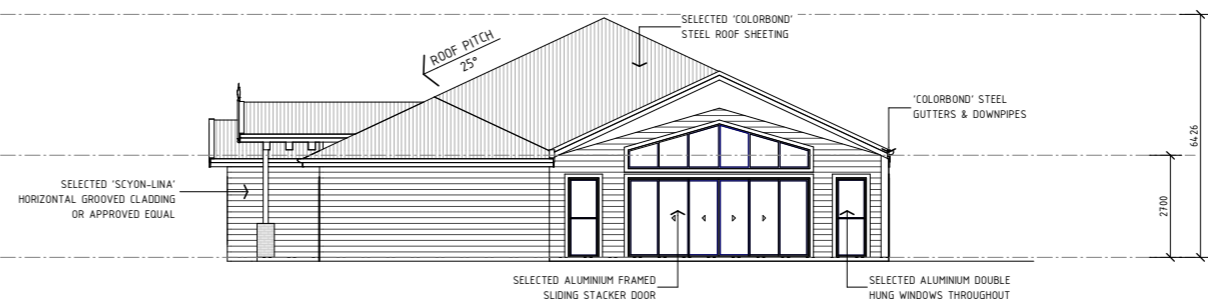
LIVING	207 m ²
GARAGE	37 m ²
ALFRESCO	36 m ²
PORCH	6 m ²
TOTAL	286 m²



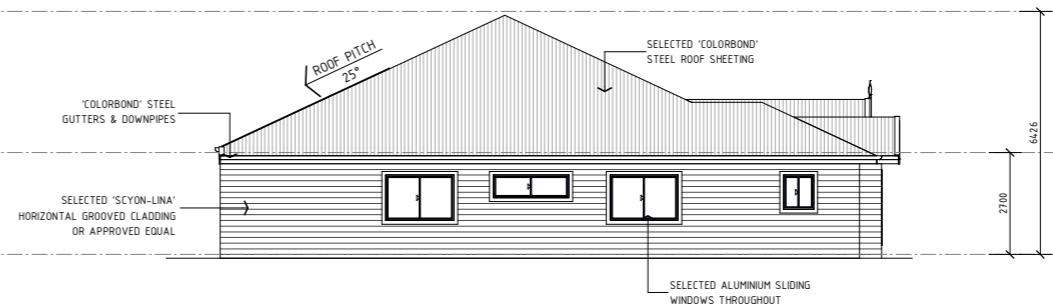
14 | ELEVATION: 20B - EAST FACADE
SCALE: 1 : 100 (A1)



16 | ELEVATION: 20B - WEST FACADE
SCALE: 1 : 100 (A1)

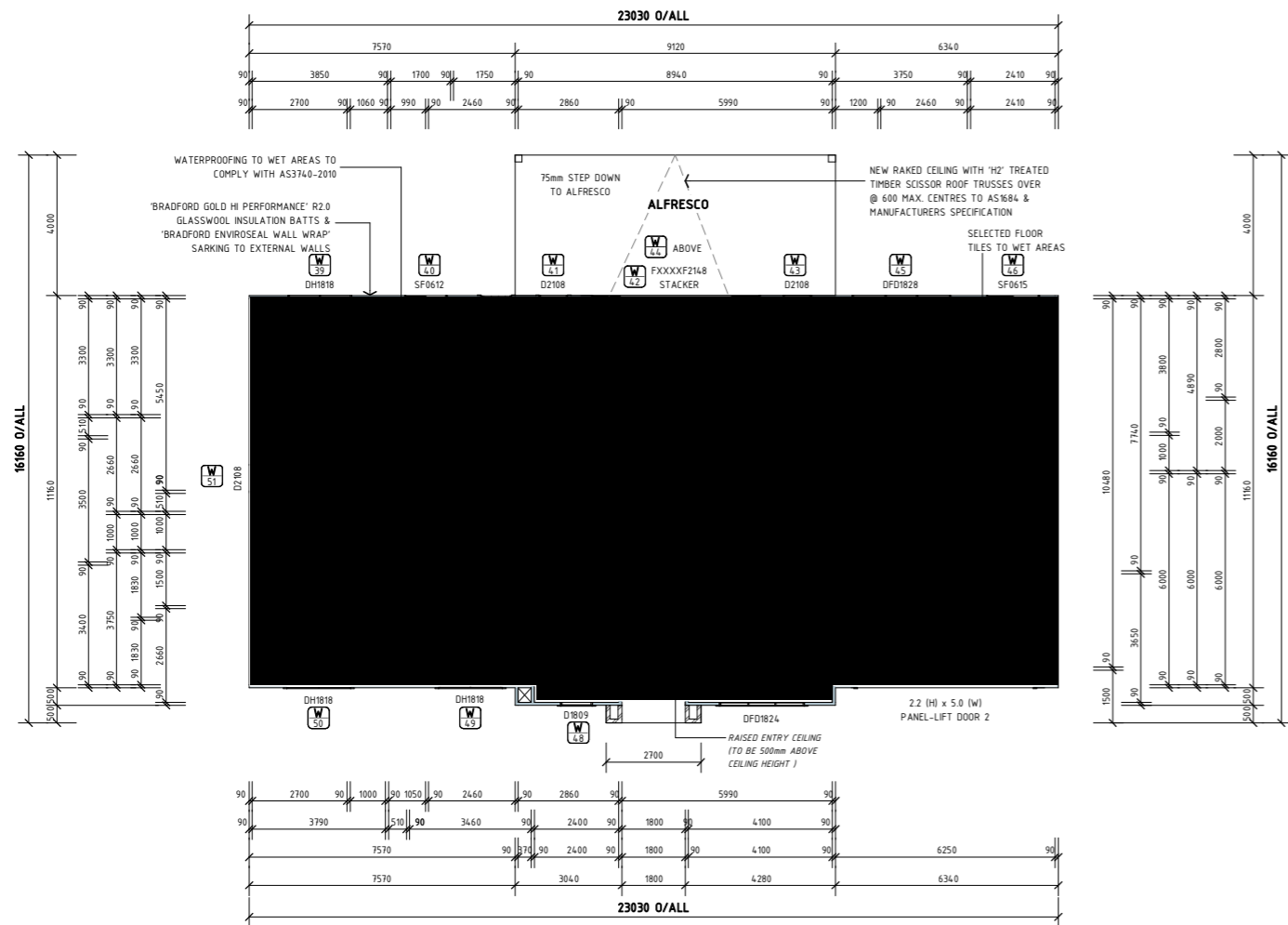


15 | ELEVATION: 20B - NORTH FACADE
SCALE: 1 : 100 (A1)



17 | ELEVATION: 20B - SOUTH FACADE
SCALE: 1 : 100 (A1)

ISSUED FOR DA APPROVAL



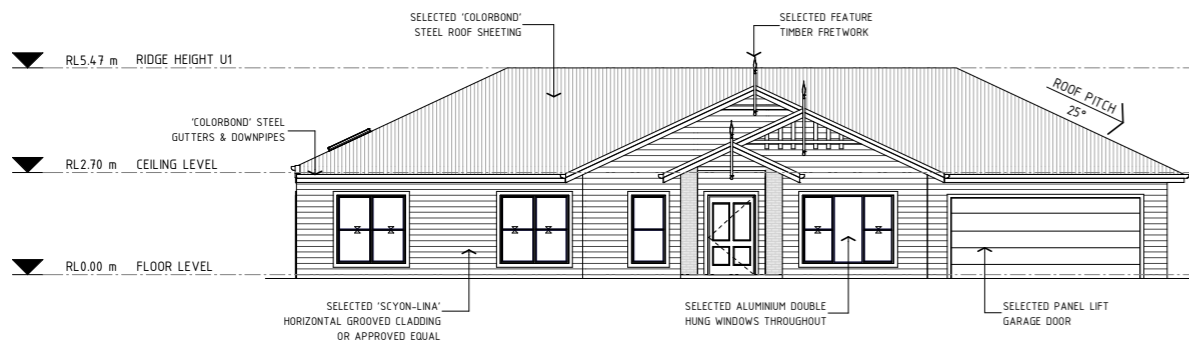
18 | 20A LAWSON ST - FLOOR LAYOUT

SCALE: 1 : 100 (A1)



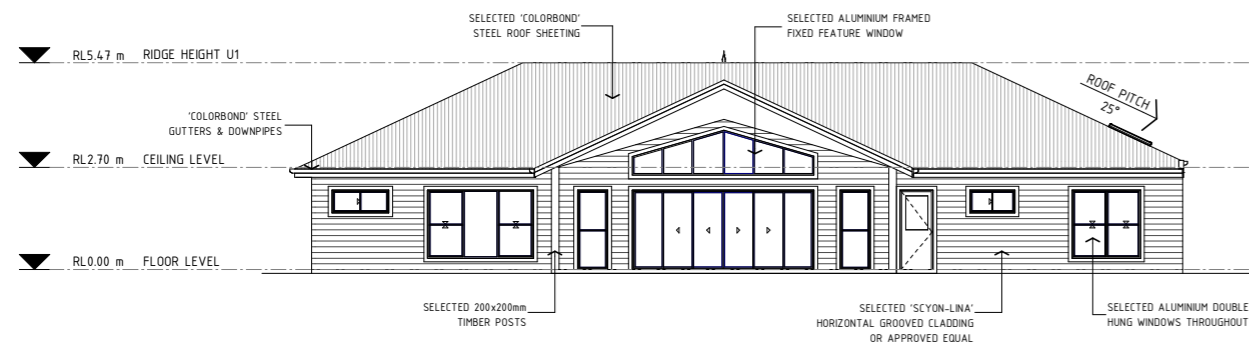
FLOOR AREAS

LIVING	221 m ²
GARAGE	40 m ²
ALFRESCO	36 m ²
PORCH	3 m ²
TOTAL	300 m²



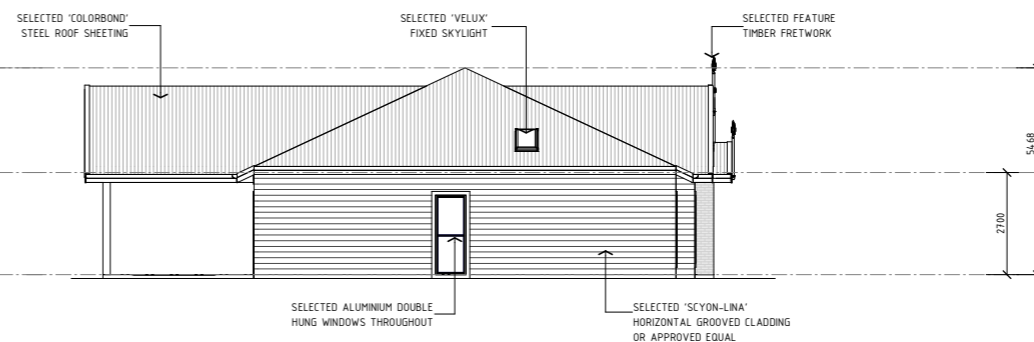
19 | ELEVATION: 20A - SOUTH FACADE

SCALE: 1 : 100 (A1)



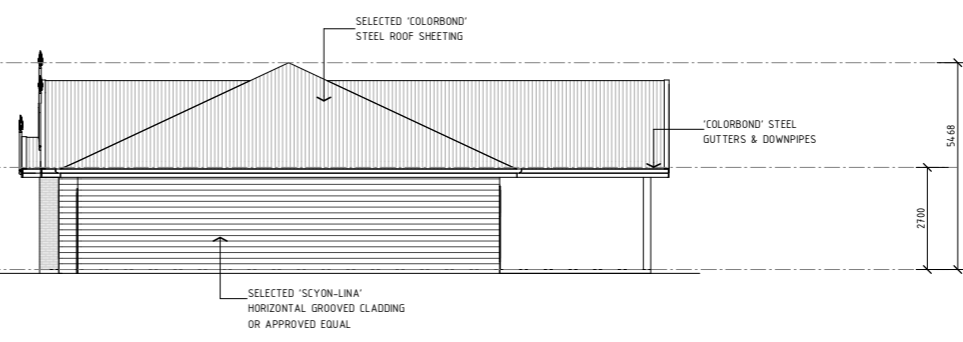
21 | ELEVATION: 20A - NORTH FACADE

SCALE: 1 : 100 (A1)



20 | ELEVATION: 20A - WEST FACADE

SCALE: 1 : 100 (A1)



22 | ELEVATION: 20A - EAST FACADE

SCALE: 1 : 100 (A1)

BASIX CERTIFICATE COMMITMENTS:

WATER COMMITMENTS

THE APPLICANT MUST COMPLY WITH THE COMMITMENTS LISTED BELOW IN CARRYING OUT THE DEVELOPMENT OF THE DWELLING.

FIXTURES:

- THE APPLICANT MUST INSTALL SHOWERHEADS WITH A MIN. RATING OF 4 STAR (6-7.5L/min).
- THE APPLICANT MUST INSTALL TOILET FLUSHING SYSTEMS WITH A MIN. RATING OF 4 STAR.
- THE APPLICANT MUST INSTALL TAPS WITH A MIN. RATING OF 4 STAR IN THE KITCHEN.
- THE APPLICANT MUST INSTALL BASIN TAPS WITH A MIN. RATING OF 4 STAR IN EACH BATHROOM.

ALTERNATIVE WATER SOURCE:

- THE APPLICANT MUST INSTALL A RAINWATER TANK OF 4,000 LITRES MIN. TO REGULATORY REQUIREMENTS. TO COLLECT RUNOFF FROM 365m² ROOF AREA MIN. THE APPLICANT MUST CONNECT THE RAINWATER TANK TO:
 - AT LEAST ONE OUTDOOR TAP IN THE DEVELOPMENT.

THERMAL COMMITMENTS

THE APPLICANT MUST COMPLY WITH THE COMMITMENTS LISTED BELOW IN CARRYING OUT THE DEVELOPMENT OF THE DWELLING.

FLOOR, WALLS, CEILING/ROOF:

THE APPLICANT MUST CONSTRUCT THE NEW OR ALTERED CONSTRUCTION (FLOOR(S), WALLS, & CEILINGS/ROOFS) IN ACCORDANCE WITH THE SPECIFICATIONS LISTED IN THE TABLE BELOW.

CONSTRUCTION	ADD. INSULATION REQ'D. (R-VALUE)	OTHER SPECIFICATIONS
FLOOR - CONCRETE SLAB ON GROUND	NIL	
EXTERNAL WALL: FRAMED - WEATHERBOARD	2.20 (OR 2.60 INCLUDING CONSTRUCTION)	
INTERNAL WALL: SHARED WITH GARAGE	NIL	
CEILING & ROOF - FLAT	CEILING - 4.0 (UPI)	UNVENTILATED
CEILING/PITCHED ROOF	ROOF - FOIL/SARKING	DARK (SOLAR ABSORBANCE >0.70)
CEILING & ROOF - RAKED CEILING / PITCHED SKILLION ROOF	CEILING - 4.0 (UPI)	FRAMED
	ROOF - FOIL/SARKING	DARK (SOLAR ABSORBANCE >0.70)

ENERGY COMMITMENTS

THE APPLICANT MUST COMPLY WITH THE COMMITMENTS LISTED BELOW IN CARRYING OUT THE DEVELOPMENT OF THE DWELLING.

HOT WATER:

- THE APPLICANT MUST INSTALL A GAS INSTANTANEOUS SYSTEM WITH A MIN. RATING OF 6 STARS

COOLING SYSTEM:

- THE APPLICANT MUST INSTALL IN AT LEAST 1 LIVING AREA: 1 PHASE AIR CONDITIONING 4.5 STAR (ZONED)
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HEATING SYSTEM:

- THE APPLICANT MUST INSTALL IN AT LEAST 1 LIVING AREA: 1 PHASE AIR CONDITIONING 4.5 STAR (ZONED)
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VENTILATION:

- IN EACH BATHROOM: INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF; MANUAL SWITCH ON/OFF
- KITCHEN: INDIVIDUAL FAN, DUCTED TO FACADE OR ROOF; MANUAL SWITCH ON/OFF
- LAUNDRY: NATURAL VENTILATION

ARTIFICIAL LIGHTING:

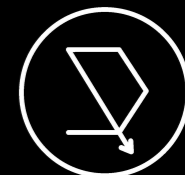
- THE APPLICANT MUST ENSURE THE 'PRIMARY TYPE OF ARTIFICIAL LIGHTING' TO THE FOLLOWING IS FLUORESCENT OR LED LIGHT LIGHTING;
 - AT LEAST 2 OF THE LIVING / DINING ROOMS
 - AT LEAST 4 OF THE BEDROOMS / STUDY
 - ALL HALLWAYS
 - THE KITCHEN
 - THE LAUNDRY
 - ALL BATHROOMS

NATURAL LIGHTING:

- THE APPLICANT MUST PROVIDE NATURAL LIGHTING TO THE FOLLOWING;
 - 3 BATHROOMS/TOILETS
 - THE KITCHEN

OTHER:

- THE APPLICANT MUST INSTALL AN GAS COOKTOP & ELECTRIC OVEN
- THE APPLICANT MUST INSTALL A FIXED OUTDOOR CLOTHES DRYING LINE.



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BUILDING DESIGN

CONTACT DETAILS

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Client:

HAYES CONSTRUCTION COMPANY

Project:

PROPOSED UNITS AT
22 LAWSON STREET, MUDGEE

Drawing Title:

20A LAWSON ST - FLOOR LAYOUT &
ELEVATIONS

Rev	Date	Amendment
E	14/07/21	RE-ISSUED FOR QUOTING PURPOSES ONLY
F	21/07/21	ISSUED FOR REVIEW
G	21/07/21	ISSUED FOR REVIEW
H	11/08/21	ISSUED FOR REVIEW
I	12/08/21	ISSUED FOR PRE-APPROVAL
J	22/08/21	ISSUED FOR DA APPROVAL



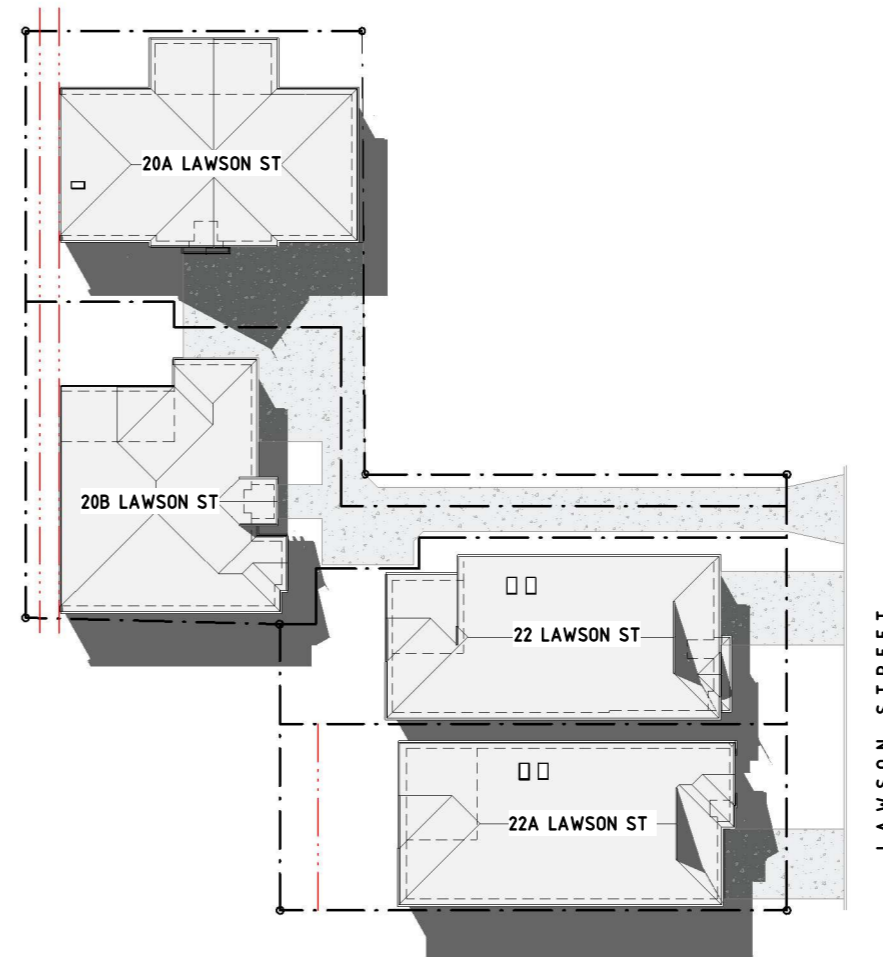
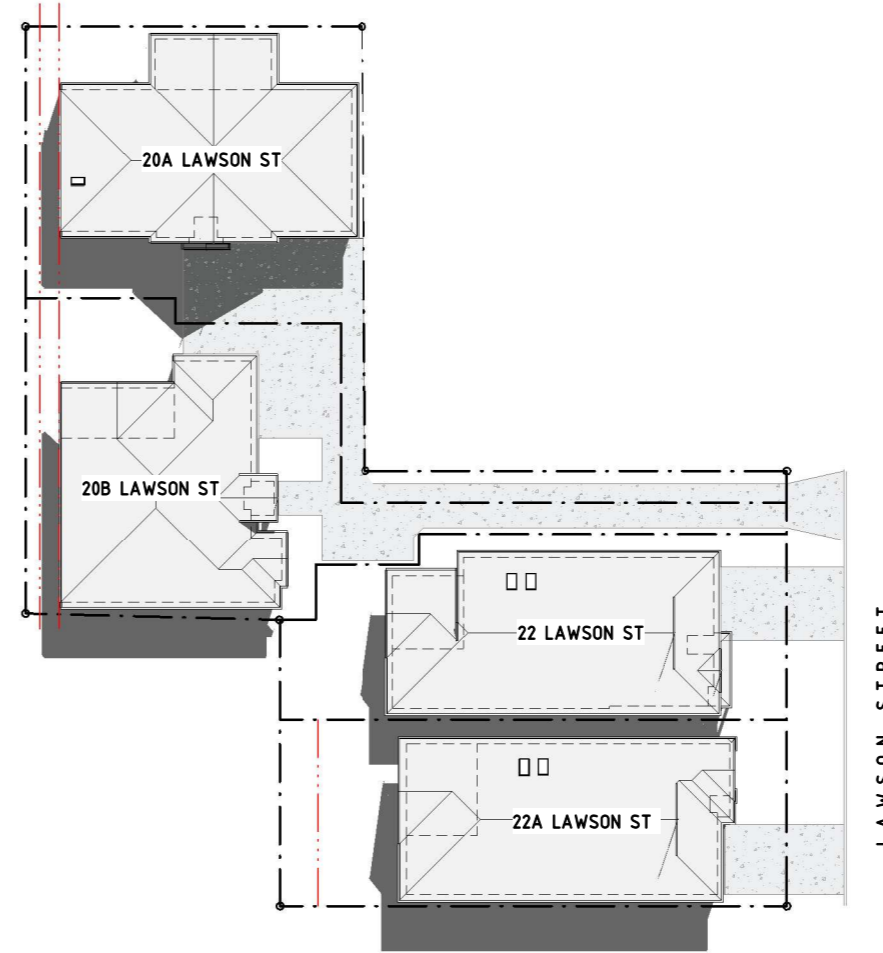
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Drawing Number Revision

1221 - A07 J

Sheet 07 of 12

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Client:

HAYES CONSTRUCTION COMPANY

Project:

PROPOSED UNITS AT
22 LAWSON STREET, MUDGEE

Drawing Title:

SHADOW DIAGRAMS - PLANS

Rev	Date	Amendment
E	14/07/21	RE-ISSUED FOR QUOTING PURPOSES ONLY
F	21/07/21	ISSUED FOR REVIEW
G	21/07/21	ISSUED FOR REVIEW
H	11/08/21	ISSUED FOR REVIEW
I	12/08/21	ISSUED FOR PRE-APPROVAL
J	22/08/21	ISSUED FOR DA APPROVAL

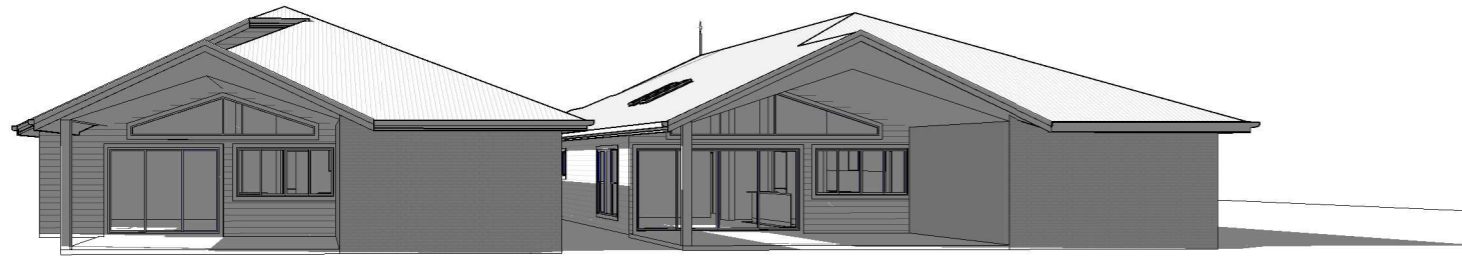


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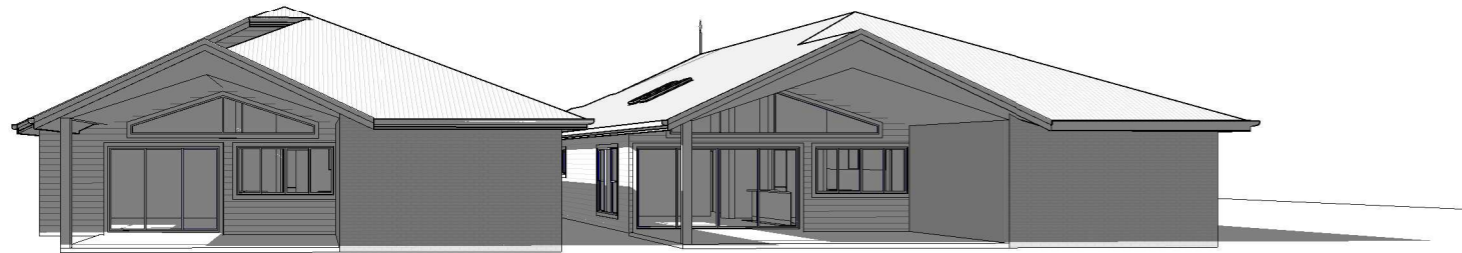
Drawing Number Revision

1221 - A08 J

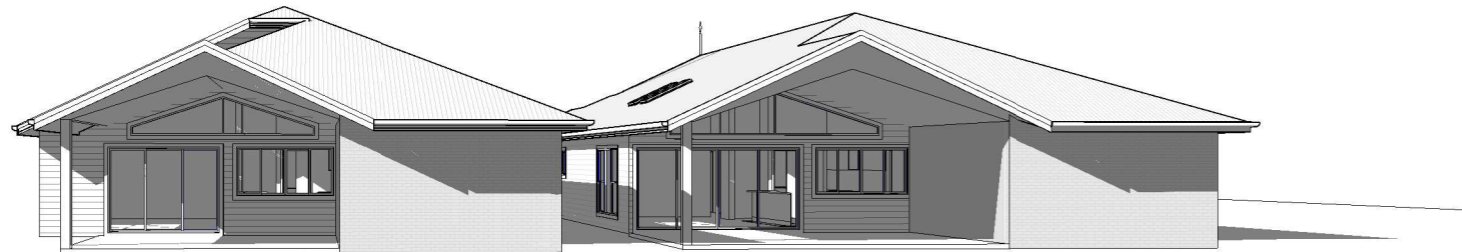
Sheet 08 of 12



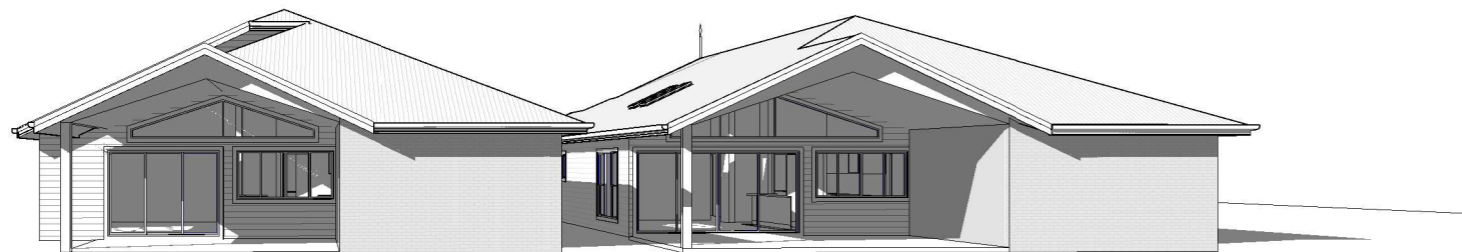
27 | ELEVATION: SHADOW 12pm JUNE 22nd
SCALE: (A1)



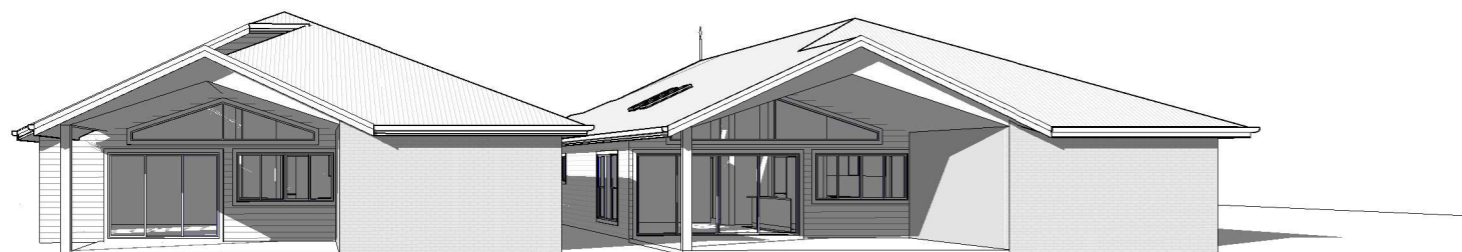
28 | ELEVATION: SHADOW 1pm JUNE 22nd
SCALE: (A1)



29 | ELEVATION: SHADOW 2pm JUNE 22nd
SCALE: (A1)



30 | ELEVATION: SHADOW 3pm JUNE 22nd
SCALE: (A1)



31 | ELEVATION: SHADOW 4pm JUNE 22nd
SCALE: (A1)

CONTACT DETAILS

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Client:
 HAYES CONSTRUCTION COMPANY
 Project:
 PROPOSED UNITS AT
 22 LAWSON STREET, MUDGEE

Drawing Title:
 SHADOW DIAGRAM - ELEVATIONS 22
 & 22A LAWSON ST

Rev	Date	Amendment
D	6/07/21	ISSUED FOR QUOTING PURPOSES ONLY
E	14/07/21	RE-ISSUED FOR QUOTING PURPOSES ONLY
G	21/07/21	ISSUED FOR REVIEW
H	11/08/21	ISSUED FOR REVIEW
I	12/08/21	ISSUED FOR PRE-APPROVAL
J	22/08/21	ISSUED FOR DA APPROVAL



32 | ELEVATION: 20A - SHADOW 10am JUNE 22nd
SCALE: (A1)



33 | ELEVATION: 20A - SHADOW 11am JUNE 22nd
SCALE: (A1)



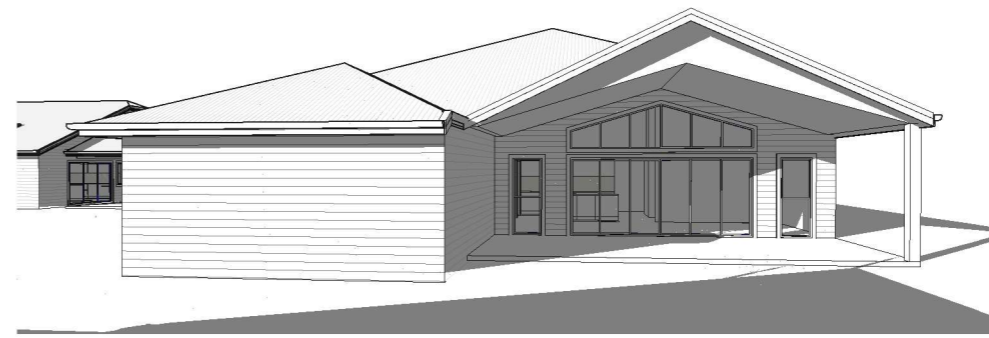
34 | ELEVATION: 20A - SHADOW 12pm JUNE 22nd
SCALE: (A1)



35 | ELEVATION: 20A - SHADOW 1pm JUNE 22nd
SCALE: (A1)



36 | ELEVATION: 20A - SHADOW 2pm JUNE 22nd
SCALE: (A1)



37 | ELEVATION: 20B - SHADOW 10am JUNE 22nd
SCALE: (A1)



38 | ELEVATION: 20B - SHADOW 11am JUNE 22nd
SCALE: (A1)



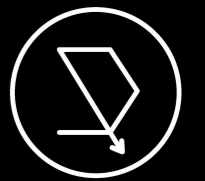
39 | ELEVATION: 20B - SHADOW 12pm JUNE 22nd
SCALE: (A1)



40 | ELEVATION: 20B - SHADOW 1pm JUNE 22nd
SCALE: (A1)



41 | ELEVATION: 20B - SHADOW 2pm JUNE 22nd
SCALE: (A1)



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Client:

HAYES CONSTRUCTION COMPANY

Project:

PROPOSED UNITS AT
22 LAWSON STREET, MUDGEE

Drawing Title:

SHADOW DIAGRAM - ELEVATIONS
20A & 20B LAWSON ST

Rev	Date	Amendment
E	14/07/21	RE-ISSUED FOR QUOTING PURPOSES ONLY
F	21/07/21	ISSUED FOR REVIEW
G	21/07/21	ISSUED FOR REVIEW
H	11/08/21	ISSUED FOR REVIEW
I	12/08/21	ISSUED FOR PRE-APPROVAL
J	22/08/21	ISSUED FOR DA APPROVAL



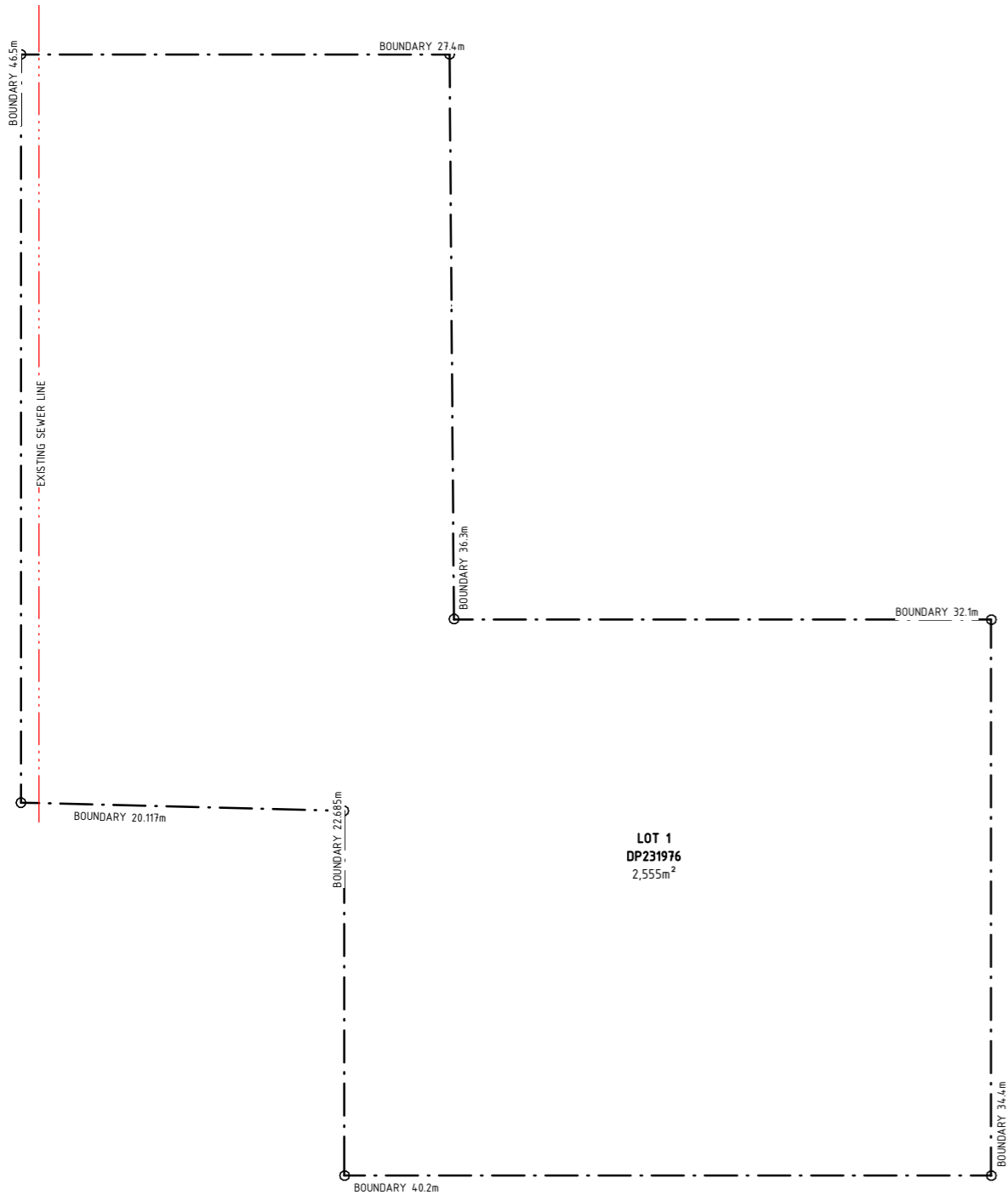
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Drawing Number Revision

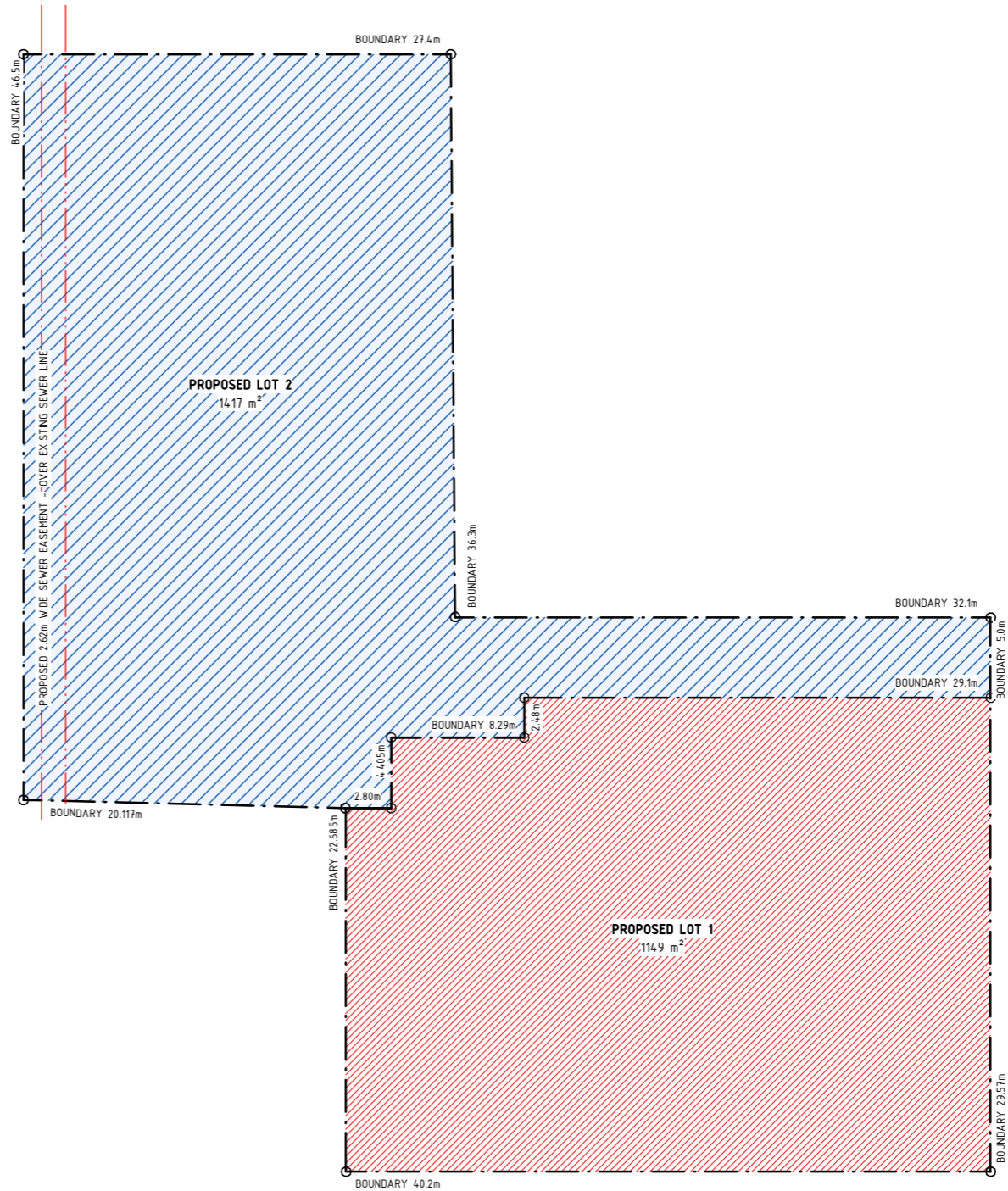
1221 - A10 J

Sheet 10 of 12

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42 | EXISTING SITE LAYOUT
SCALE: 1 : 200 (A1)



43 | SATGE 1
SCALE: 1 : 200 (A1)

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COMMENCEMENT OF WORK.

Client:

HAYES CONSTRUCTION COMPANY

Project:

PROPOSED UNITS AT
22 LAWSON STREET, MUDGEE

Drawing Title:

STAGING LAYOUT 1

Rev	Date	Amendment
E	14/07/21	RE-ISSUED FOR QUOTING PURPOSES ONLY
F	21/07/21	ISSUED FOR REVIEW
G	21/07/21	ISSUED FOR REVIEW
H	11/08/21	ISSUED FOR REVIEW
I	12/08/21	ISSUED FOR PRE-APPROVAL
J	22/08/21	ISSUED FOR DA APPROVAL



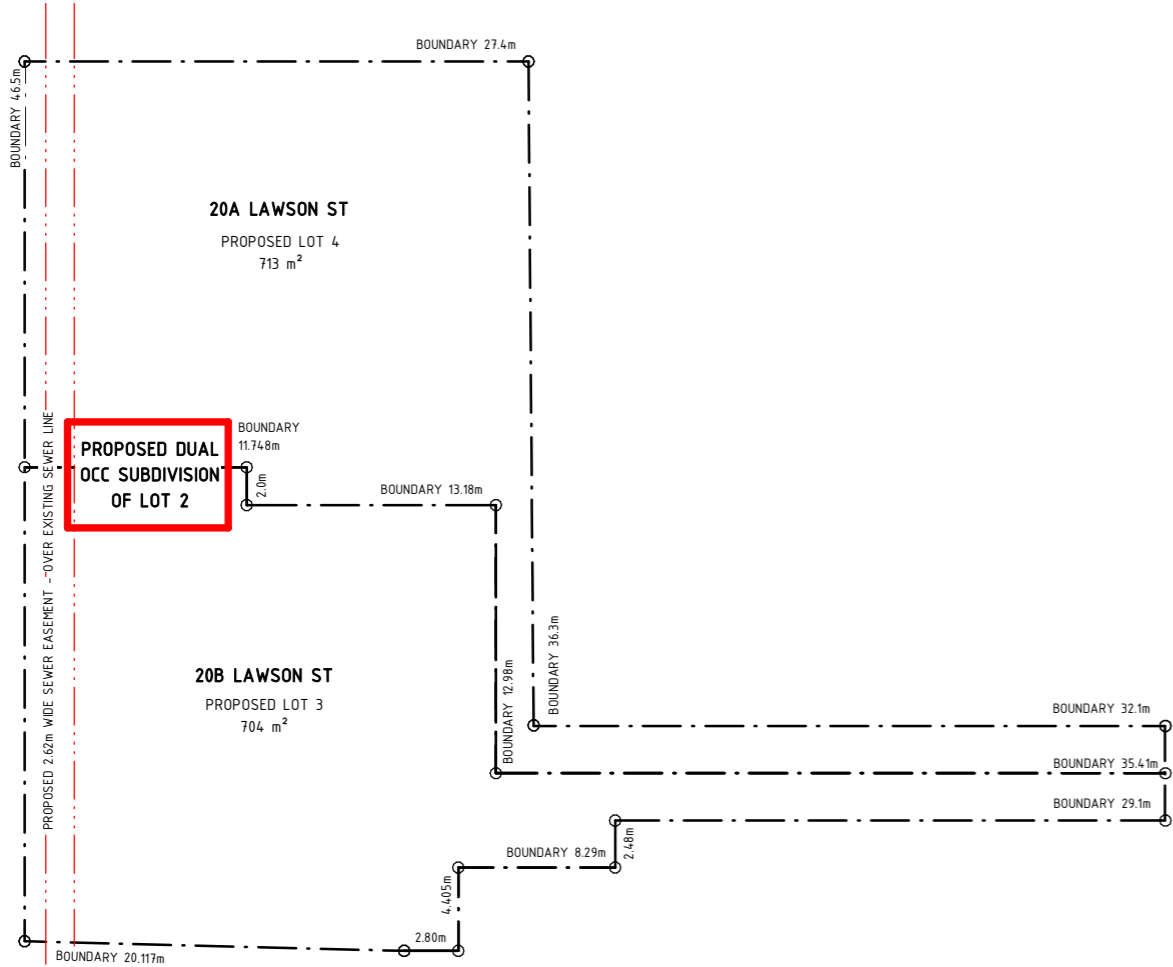
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Drawing Number Revision

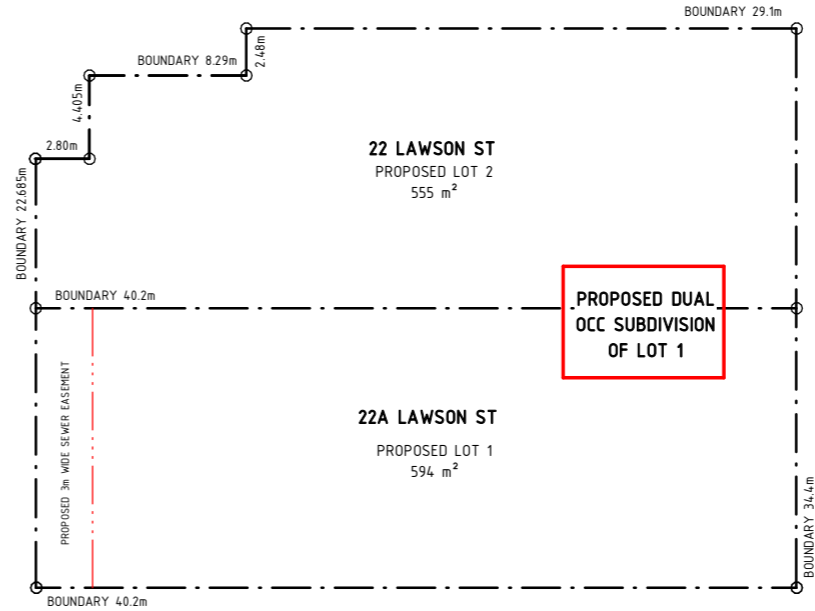
1221 - A11 J

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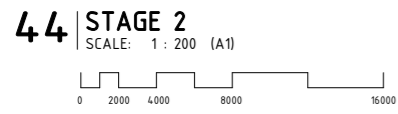
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LAWSON STREET



LAWSON STREET



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DO NOT SCALE.
DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCEMENT OF WORK.

Client:

HAYES CONSTRUCTION COMPANY

Project:

PROPOSED UNITS AT
22 LAWSON STREET, MUDGEE

Drawing Title:

STAGING LAYOUT 2

Rev	Date	Amendment
E	14/07/21	RE-ISSUED FOR QUOTING PURPOSES ONLY
F	21/07/21	ISSUED FOR REVIEW
G	21/07/21	ISSUED FOR REVIEW
H	11/08/21	ISSUED FOR REVIEW
I	12/08/21	ISSUED FOR PRE-APPROVAL
J	22/08/21	ISSUED FOR DA APPROVAL



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