

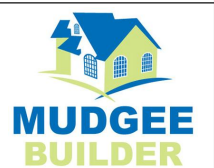


RENDERED IMAGE [FRONT]



RENDERED IMAGE [BACK]

0006376530 24 Aug 2021
 Assessor Jamie Bonnefin
 Accreditation No. 10056
 Address
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PROJECT ADDRESS
 / TITLE

SALEYARD LANE
 MUDGEE NSW

DP
 1267151

LOT
 23

CLIENT
 JASON BOXSELL

DATE AUG 2021

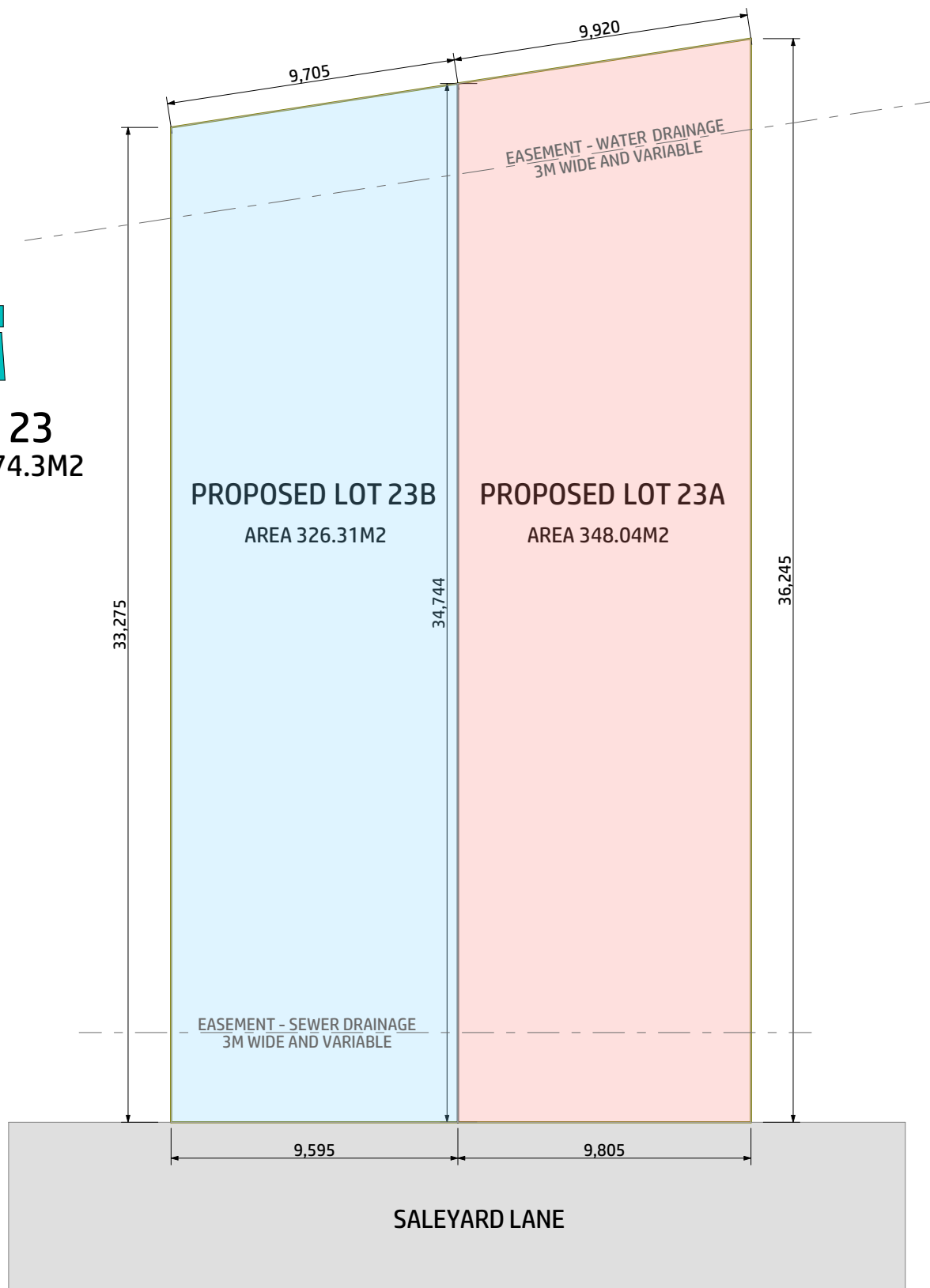
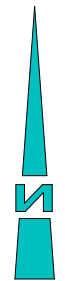
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 SITE RENDERED

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SHEET ID.

01.1 PAPER SIZE
 A3

LOT 23
AREA 674.3M2



01.2
-

SUB DIVISION PLAN
1:200

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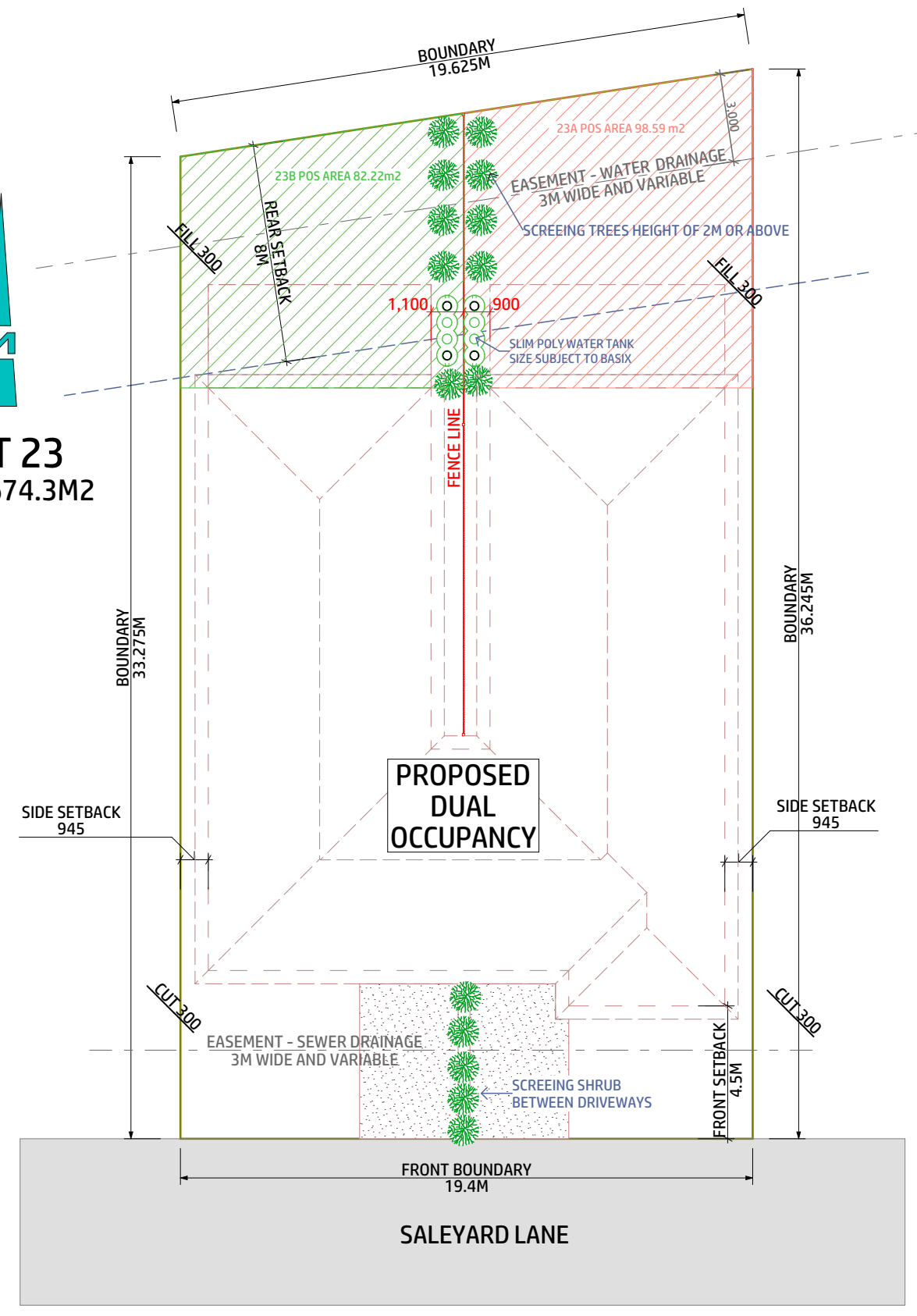
01.2
PAPER SIZE
A3

- NOTE.
- GROUND LEVELS, FINISHED FLOOR LEVELS, SITE WORKS AND RETAINING AREA INDICATIVE ONLY AND ARE TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION. SITE PLANS ARE TO BE READ IN CONJUNCTION WITH ANY SURVEY/ENGINEERING PLANS AVAILABLE.
 - ALL DIMENSIONS ARE TO BE CHECKED WITH EXISTING AND PROPOSED SITE CONDITIONS.
 - WRITTEN DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED.
 - NO VARIATION MAY BE MADE TO THESE DRAWINGS WITHOUT THE PRIOR APPROVAL OF THE BUILDING DESIGNER.
 - REFER TO ENGINEERS' DESIGN, DOCUMENTATION AND CALCULATION FOR DETAILS ON SLAB, FOOTINGS, STRUCTURE RETAINING WALLS, FINISHED FLOOR LEVELS, SITEWORKS AND STORMWATER DETAILS.
 - THIS DRAWING IS TO BE READ IN CONDUCTION WITH ALL OTHER DRAWINGS SHEETS, CONSULTANTS DRAWINGS, DOCUMENTS, SCHEDULES AND SPECIFICATIONS (AS APPLICABLE)
 - THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AS A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING AND UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.
 - LOCATION OF ALL EXISTING ONSITE SERVICES TO BE CONFIRMED ONSITE PRIOR TO CONSTRUCTION.
 - SOIL CLASS IS M

LOT 23
AREA 674.3M²

LOT AREA	674.3m ²
LOT WIDTH AT THE BUILDING LINE	19.4 m
MINIMUM SETBACK FROM PRIMARY ROAD	4.5 m
MINIMUM REQUIRED SETBACK FROM EACH SIDE BOUNDARY	0.9 m
MINIMUM SETBACK FROM REAR BOUNDARY	8 m
REQUIRED MINIMUM PRIVATE OPEN SPACE	80 m ²
• LOT 23A PRIVATE OPEN SPACE AREA	98.59 m ²
• LOT 23B PRIVATE OPEN SPACE AREA	82.22 m ²
MAXIMUM SITE COVERAGE FOR DUAL OCCUPANCY	50 %
• PROPOSED SITE TOTAL COVERAGE EXCLUDING ALFRESCO AREA	47.7%

BASIX Project Commitments		
Proposed:	Dual Occupancy	
Address:	58 Saleyard Lane Mudgee 2850	
Lot No / DP:	23/1267151	
Water	Specification	Rating
Fixtures	3 star	3 star
Shower head rating	3 star (> 7.5 but <= 9.1/min)	3 star
Toilet rating	3 star	3 star
Kitchen taps rating	3 star	3 star
Bathroom taps rating	3 star	3 star
Alternative water details		
Rainwater Tank size	Individual 3000L	
Connected to:	Garden and lawn areas	Yes
	All toilets	Yes
	Laundry	Yes
Thermal Comfort	Accreditation Number: HERA 18006	
External walls	Requirements	
Brick veneer	All Dwellings: Medium colour R2.0 Bulk + Airt-glaze foil	
Single skin brick	Neighbouring wall: Medium colour R2.0 Bulk + Airt-glaze foil	
Internal walls		
Cavity wall, direct fix plasterboard	All Dwellings: No insulation	
Partition walls		
Stud, plasterboard	All Dwellings: No insulation	
Ceiling		
External ceiling - Plasterboard	R3.0 Bulk insulation	
Roof		
Corrugated iron	Medium Colour (solar absorptance 0.475 @ 0.7) R1.8 Bulk + Reflective side down, No air gap above (Anticon 75, 80mm)	
Floors		
Waffle pool slab	175mm Waffle Pod insulation	
Windows		
Aluminium frame ALM-002-01	All Dwellings: Single Clear glazing with U-value 6.7 and SHGC 0.7 for Group B windows (double hung, fixed, louvres and sliding type windows/doors)	
Downlights		
Downlight Covers	Approved fireproof downlight covers must be installed to all downlights in ceilings where insulation is installed.	
Lighting specification		
Lighting specification	Dwelling is rated without downlight	
Overshadowing details		
Overshadowing details	Adjoining units calculated into model calculations	
Site		
Orientation of nominal north elevation	As shown on plans	
Energy	Specification	Rating
Hot water	Gas instantaneous	3 star
Ventilation		
Bathroom exhaust	Individual fan, not ducted	
Control switch	Manual switch on/off	
Kitchen exhaust	Individual fan, not ducted	
Control switch	Manual switch on/off	
Laundry	Individual fan, not ducted	
Control switch	Manual switch on/off	
Cooling		
Individual systems - living areas	Airconditioning ducting only	N/A
Individual systems - bedroom areas	Airconditioning ducting only	N/A
Heating		
Individual systems - living areas	Airconditioning ducting only	N/A
Individual systems - bedroom areas	Airconditioning ducting only	N/A
Appliances		
Cooktop/oven	Gas cooktop & electric oven	
Ventilated fridge space	Yes	
Private outdoor clothes drying line	Yes	
Private indoor or sheltered clothes drying line	No	
Zoned Air-conditioning	Yes	
Alternative Energy		
Photovoltaic System	1kW	



01.2
-

SITE PLAN
1:200

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MUDGEER BUILDER
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LOT
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DRAWING NAME
SITE PLAN

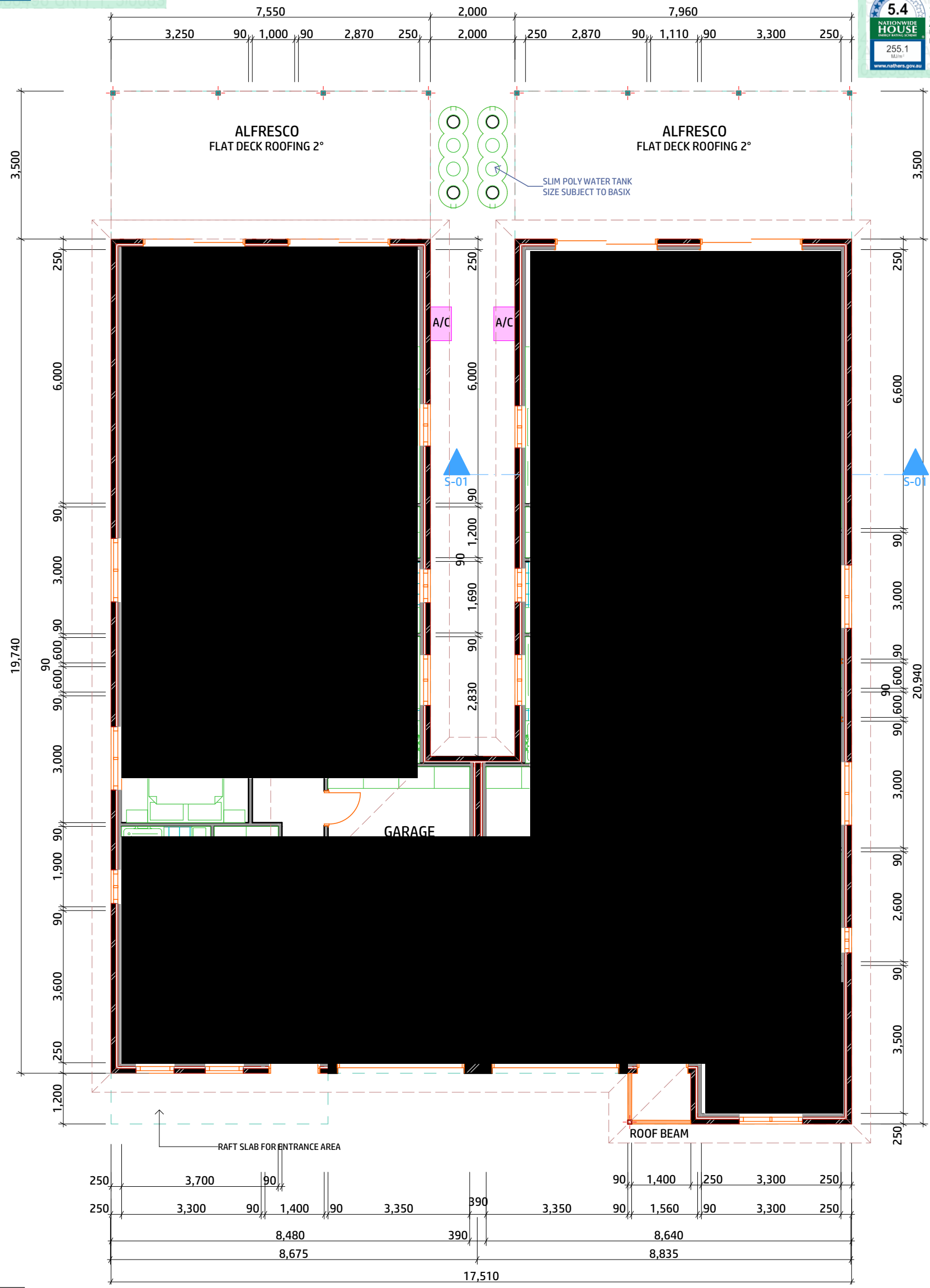
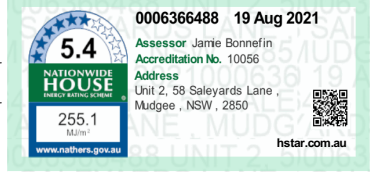
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SHEET ID.

01.3 PAPER SIZE **A3**

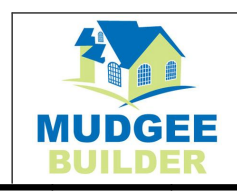
NOTES
 - TILE LAYOUT INDICATIVE ONLY
 - PROVIDE LIFT OFF HINGES TO WC DOORS - TO BCA REQUIREMENTS
 - CONFIRM LEVEL ON SITE TO ALL EXTERNAL DOORS IF STEP/S ARE REQUIRED - TO COMPLY WITH BCA

UNIT 1 (WEST) AREA	
GARAGE AREA:	23.5 m2
ALFRESCO AREA:	26.5 m2
BATHROOM, TOILET, EN-SUITE AREA:	12.5 m2
LAUNDRY AREA:	5 m2
CONDITIONAL AREA	116.5 m2
TOTAL AREA	184 m2

UNIT 2 (EAST) AREA	
GARAGE AREA:	25.5 m2
ALFRESCO AREA:	28 m2
BATHROOM, TOILET, EN-SUITE AREA:	13.5 m2
LAUNDRY AREA:	5 m2
CONDITIONAL AREA	121.1 m2
TOTAL AREA	193.1 m2



0.2 FLOOR PLAN 1:100



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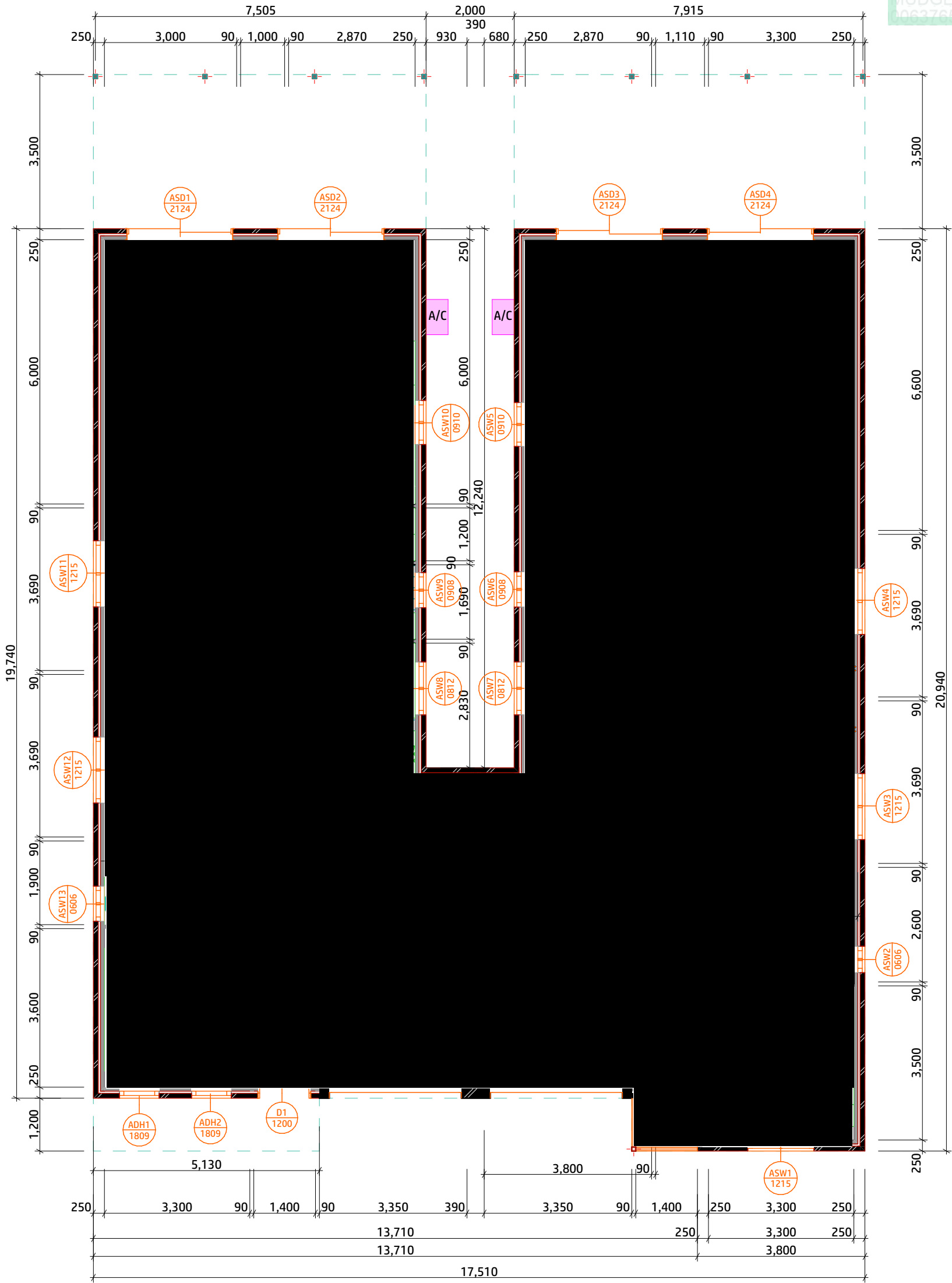
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SCALE 1:100
 DRAWING NAME FLOOR PLAN

Drawing ID PAPER SIZE
 02 A3

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0.3
-

DIMENSIONS/ DOOR & WINDOWS
1:100

0006366496 19 Aug 2021
 5.3
 NATIONWIDE HOUSE
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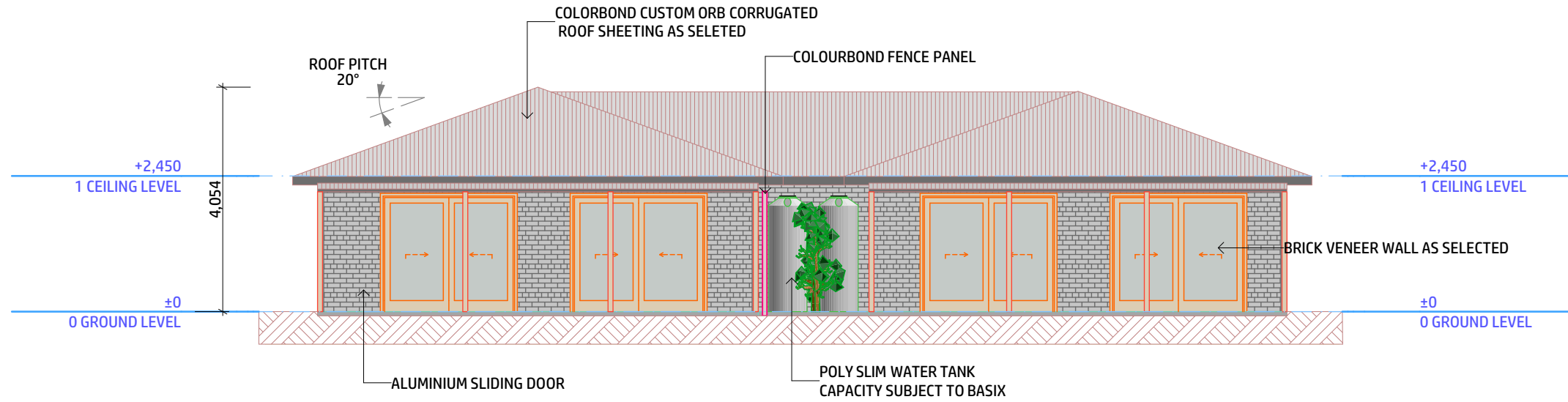
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 5.4
 NATIONWIDE HOUSE
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		DATE AUG 2021					

NOTES

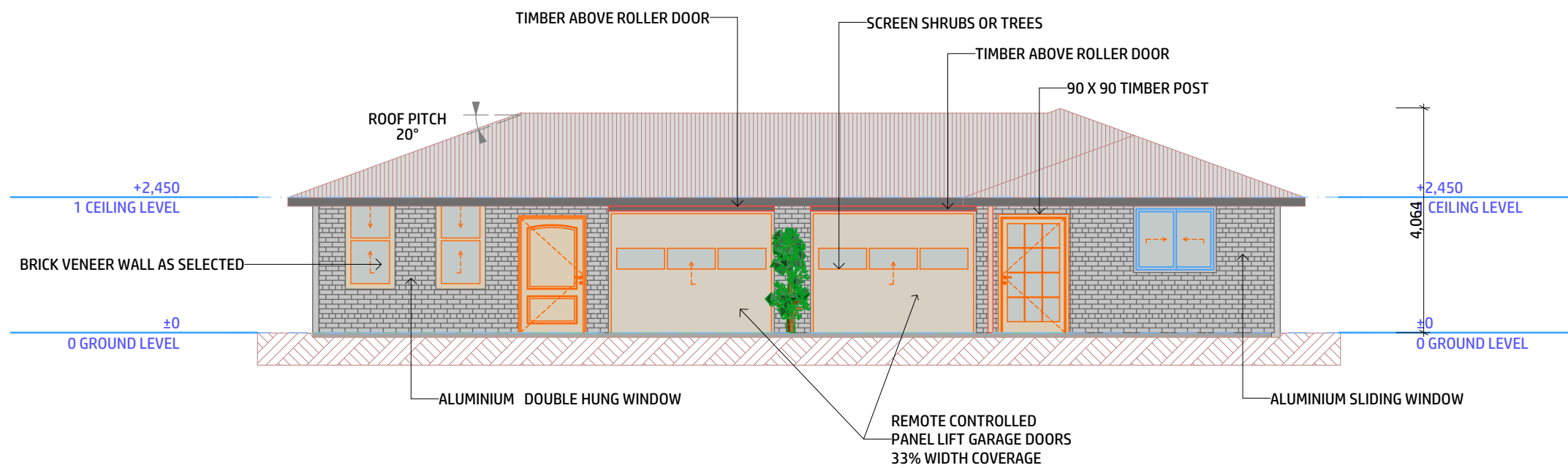
- GARAGES: THE AGGREGATE WIDTH OF THE GARAGE DOOR OR CARPORT SHALL NOT EXCEED 45% OF THE FRONT ELEVATION OF EACH DWELLING.

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E-01
-

NORTH ELEVATION
1:100



E-02
-

SOUTH ELEVATION
1:100



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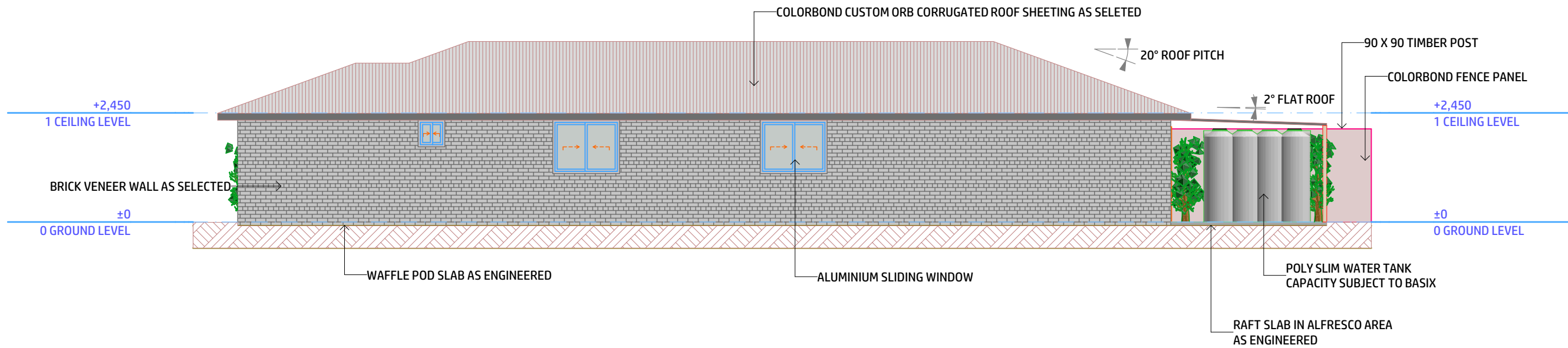
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ELEVATION

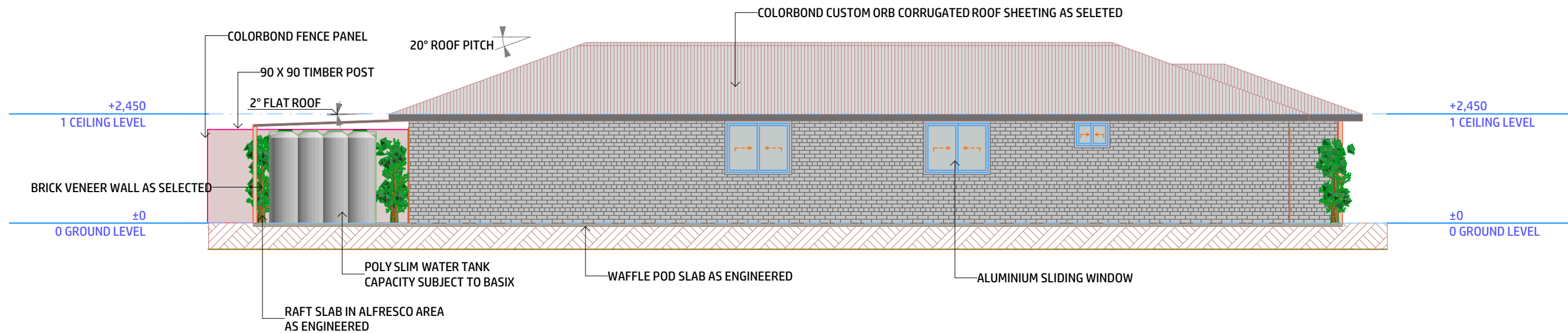
SCALE 1:100
SHEET ID.

04.1
PAPER
SIZE
A3



E-03
-

EAST ELEVATION
1:100



E-04
-

WEST ELEVATION
1:100



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ELEVATION

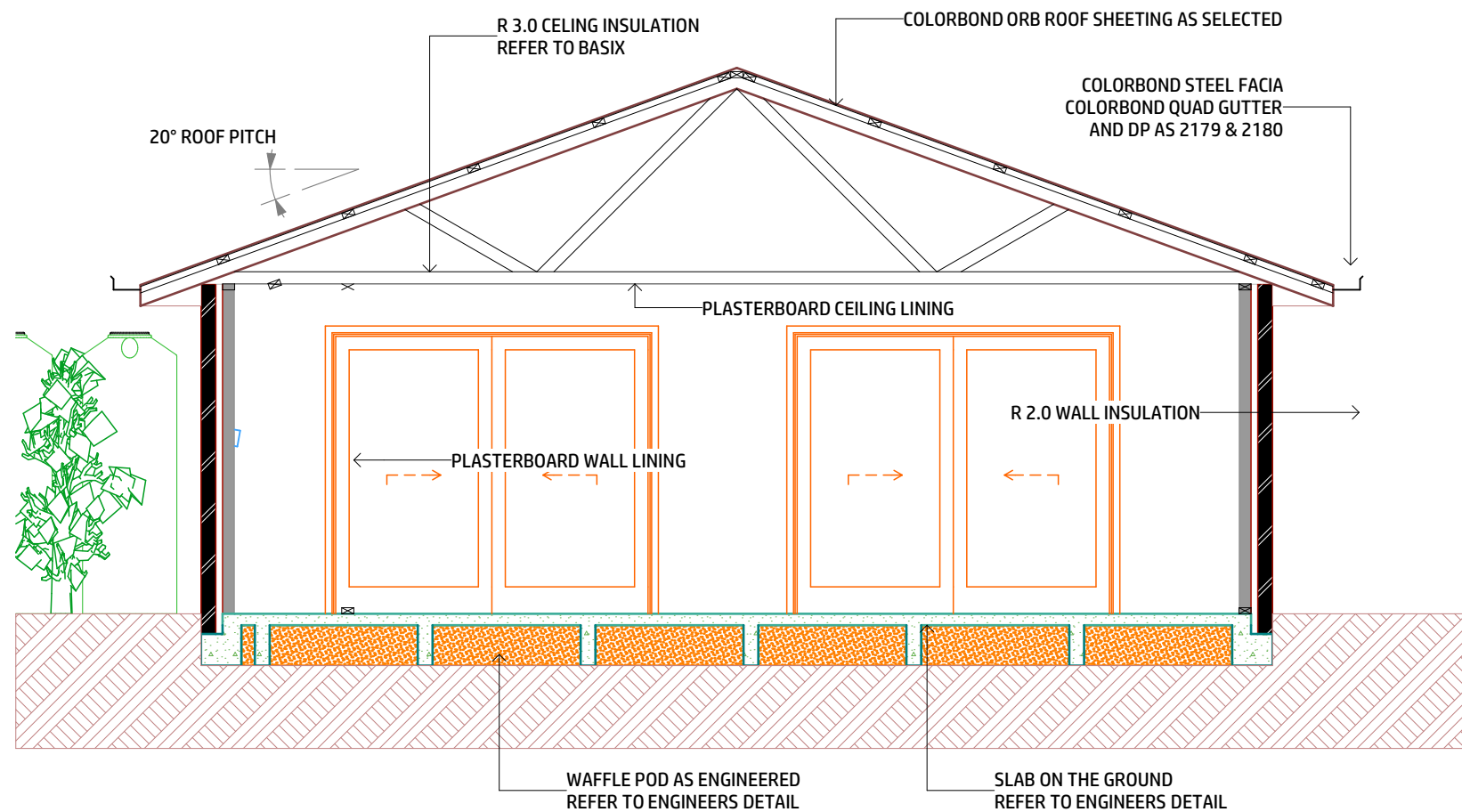
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SHEET ID.

04.2 PAPER SIZE
A3

NOTE
FINAL INSULATION REQUIREMENTS
ARE SUBJECT TO ENERGY REPORT.
BUILDER TO CONFIRM DETAILS

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S-01
-

SECTION
1:50



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05
PAPER
SIZE
A3