



Business Papers 2022

MID-WESTERN REGIONAL COUNCIL

ORDINARY MEETING
WEDNESDAY 17 AUGUST 2022

SEPARATELY ATTACHED ATTACHMENTS

*A prosperous and progressive
community we proudly call home*



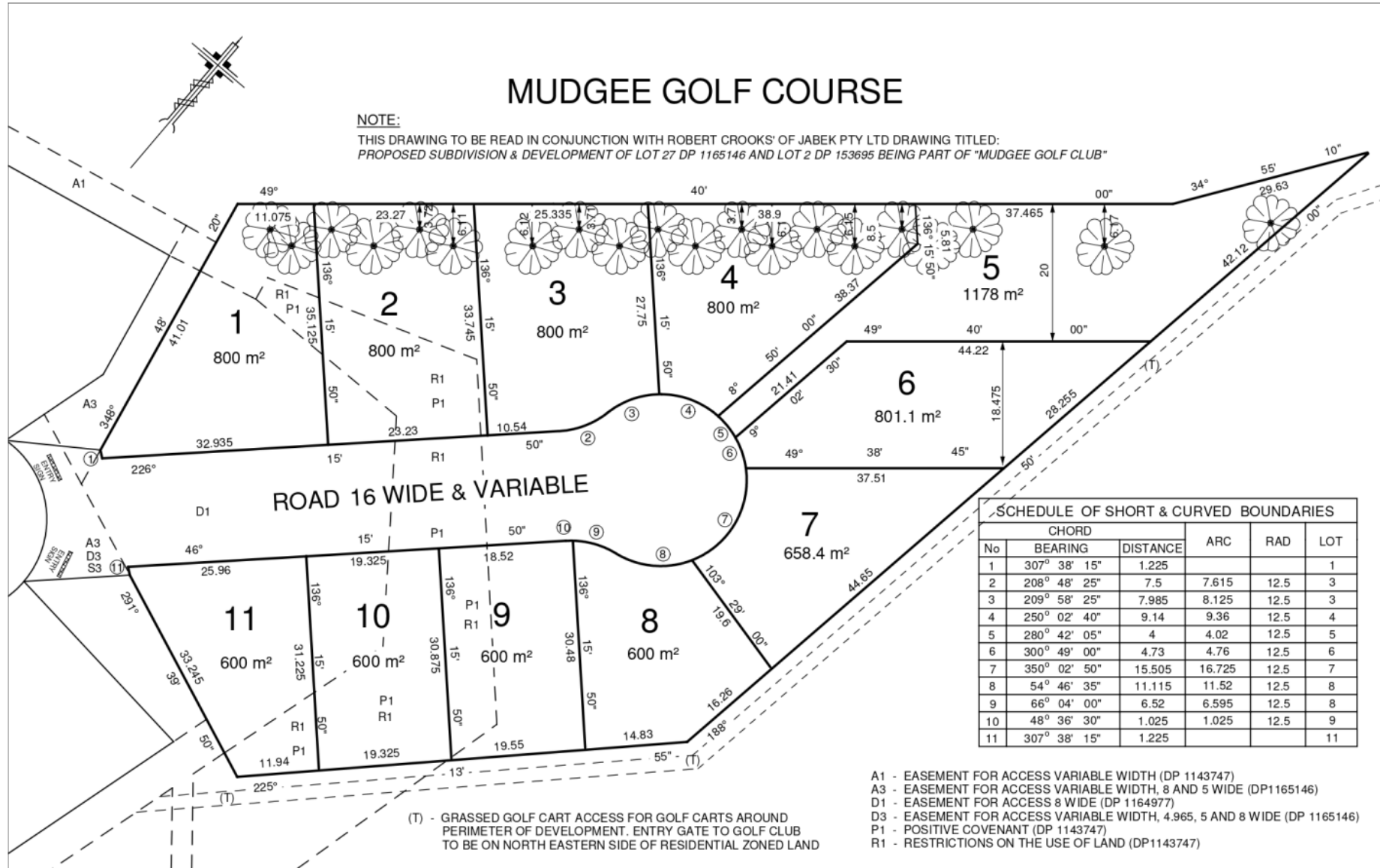
ATTACHMENTS

Report 8.1	Attachment 1	Attachment 1 - DA Plans & Supporting Documents	3
	Attachment 2	Attachment 2 - Public Submissions (redacted)	174
	Attachment 3	Attachment 3 - Applicant Response to Public Submissions	203
Report 8.4	Attachment 1	Mid-Western Region Towards 2040 Community Plan.....	211
Report 9.1	Attachment 1	Quarterly Budget Review June 2022	235
Report 9.5	Attachment 1	Budget Revotes from 2021/22 to 2022/23	283
	Attachment 2	Revote Project List	305
Report 10.3	Attachment 1	Asset Management Strategy 2022-26.....	308
	Attachment 2	Asset Management Policy 2022	330
Report 11.8	Attachment 1	NSW Public Spaces Charter.....	333

MUDGEE GOLF COURSE

NOTE:


THIS DRAWING TO BE READ IN CONJUNCTION WITH ROBERT CROOKS' OF JABEK PTY LTD DRAWING TITLED:
 PROPOSED SUBDIVISION & DEVELOPMENT OF LOT 27 DP 1165146 AND LOT 2 DP 153695 BEING PART OF "MUDGEE GOLF CLUB"



SCHEDULE OF SHORT & CURVED BOUNDARIES					
CHORD			ARC	RAD	LOT
No	BEARING	DISTANCE			
1	307° 38' 15"	1.225			1
2	208° 48' 25"	7.5	7.615	12.5	3
3	209° 58' 25"	7.985	8.125	12.5	3
4	250° 02' 40"	9.14	9.36	12.5	4
5	280° 42' 05"	4	4.02	12.5	5
6	300° 49' 00"	4.73	4.76	12.5	6
7	350° 02' 50"	15.505	16.725	12.5	7
8	54° 46' 35"	11.115	11.52	12.5	8
9	66° 04' 00"	6.52	6.595	12.5	8
10	48° 36' 30"	1.025	1.025	12.5	9
11	307° 38' 15"	1.225			11

- A1 - EASEMENT FOR ACCESS VARIABLE WIDTH (DP 1143747)
- A3 - EASEMENT FOR ACCESS VARIABLE WIDTH, 8 AND 5 WIDE (DP1165146)
- D1 - EASEMENT FOR ACCESS 8 WIDE (DP 1164977)
- D3 - EASEMENT FOR ACCESS VARIABLE WIDTH, 4,965, 5 AND 8 WIDE (DP 1165146)
- P1 - POSITIVE COVENANT (DP 1143747)
- R1 - RESTRICTIONS ON THE USE OF LAND (DP1143747)

(T) - GRASSED GOLF CART ACCESS FOR GOLF CARTS AROUND PERIMETER OF DEVELOPMENT. ENTRY GATE TO GOLF CLUB TO BE ON NORTH EASTERN SIDE OF RESIDENTIAL ZONED LAND



Imrie, Astley & Associates
 Land & Engineering Surveyors

1/33 HAWTHORN STREET
 Dubbo NSW 2830
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 WEB: imrieastley.com.au

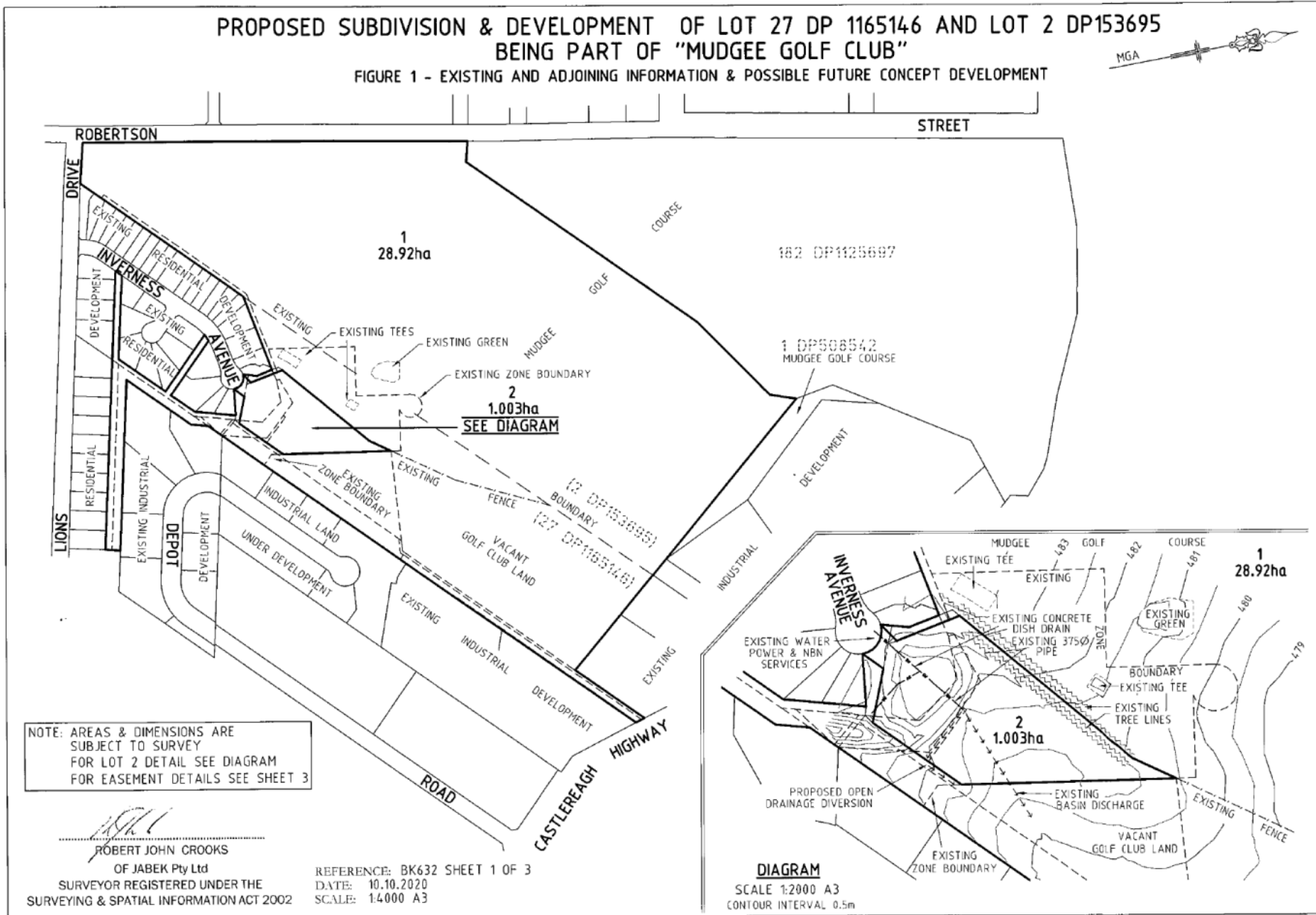
GENERAL NOTES:
 This drawing and its contents are subject to return on demand and may not be copied or disclosed to any third party or used directly or indirectly for any purpose other than as determined in writing by Imrie, Astley & Associates.
 * All distances are in metres
 * DO NOT SCALE - use written dimensions

PROJECT: PROPOSED SUBDIVISION LAYOUT
 ADDRESS: LOT 27 DP 1165146
 CLIENT: TORI PETER GROUP

DRAWING TITLE: DWG 21-97_11
 Scale: 1 : 500 (A3) Datum: DP 1165146
 Issue: 14 JOB No: 21-97
 Date: 28/02/2022 Sheet 1 of 1

PROPOSED SUBDIVISION & DEVELOPMENT OF LOT 27 DP 1165146 AND LOT 2 DP153695 BEING PART OF "MUDGEE GOLF CLUB"

FIGURE 1 - EXISTING AND ADJOINING INFORMATION & POSSIBLE FUTURE CONCEPT DEVELOPMENT



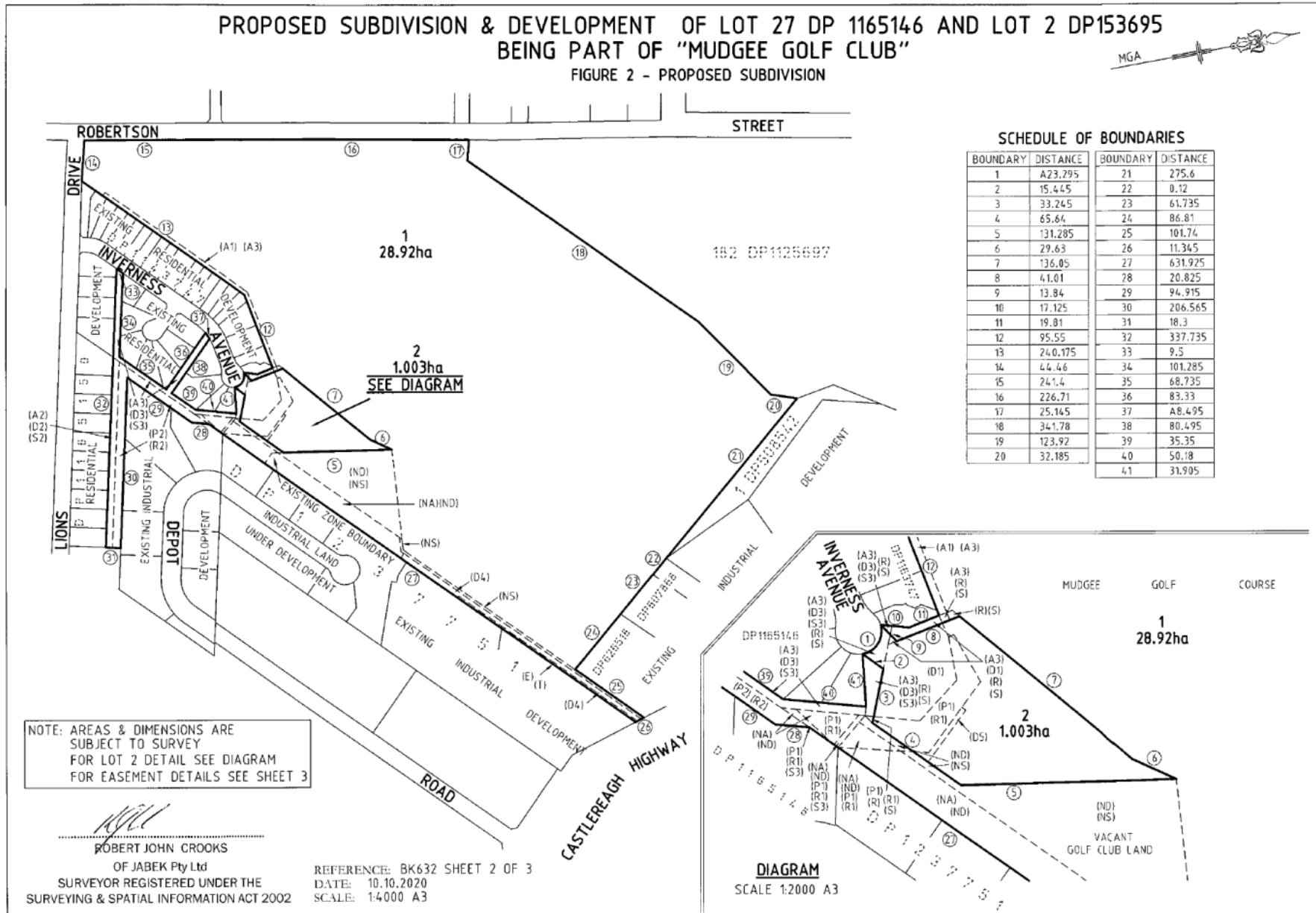
NOTE: AREAS & DIMENSIONS ARE SUBJECT TO SURVEY FOR LOT 2 DETAIL SEE DIAGRAM FOR EASEMENT DETAILS SEE SHEET 3

ROBERT JOHN CROOKS
OF JABEK Pty Ltd
SURVEYOR REGISTERED UNDER THE SURVEYING & SPATIAL INFORMATION ACT 2002

REFERENCE: BK632 SHEET 1 OF 3
DATE: 10.10.2020
SCALE: 1:4000 A3

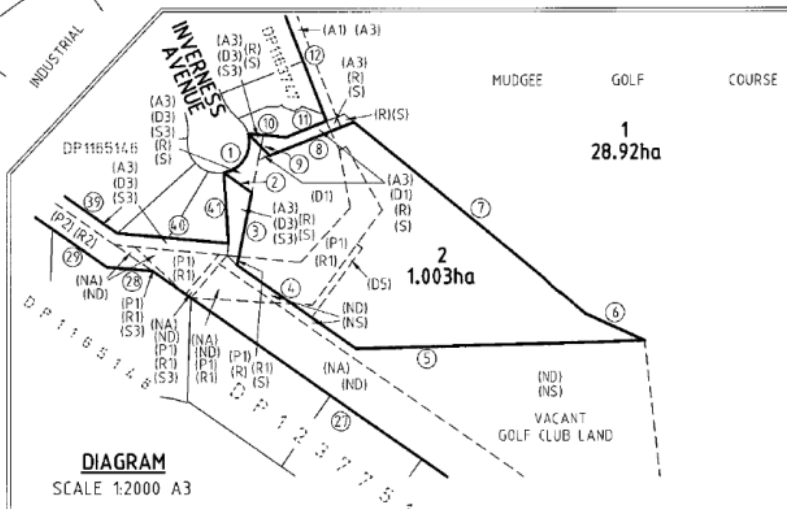
DIAGRAM
SCALE 1:2000 A3
CONTOUR INTERVAL 0.5m

PROPOSED SUBDIVISION & DEVELOPMENT OF LOT 27 DP 1165146 AND LOT 2 DP153695
 BEING PART OF "MUDGEES GOLF CLUB"
 FIGURE 2 - PROPOSED SUBDIVISION



SCHEDULE OF BOUNDARIES

BOUNDARY	DISTANCE	BOUNDARY	DISTANCE
1	A23.295	21	275.6
2	15.445	22	0.12
3	33.245	23	61.735
4	65.64	24	86.81
5	131.285	25	101.74
6	29.63	26	11.345
7	136.05	27	631.925
8	41.01	28	20.825
9	13.84	29	94.915
10	17.125	30	206.565
11	19.81	31	18.3
12	95.55	32	337.735
13	240.175	33	9.5
14	44.46	34	101.285
15	241.4	35	68.735
16	226.71	36	83.33
17	25.145	37	A8.495
18	341.78	38	80.495
19	123.92	39	35.35
20	32.185	40	50.18
		41	31.905



**PROPOSED SUBDIVISION & DEVELOPMENT OF LOT 27 DP 1165146 AND LOT 2 DP153695
BEING PART OF "MUDGEES GOLF CLUB"**

FIGURE 3 – EASEMENT SCHEDULES

SCHEDULE OF EXISTING EASEMENTS

NUMBER ON TITLE	SYMBOL ON PLAN	EASEMENT	CREATED BY	AFFECTING OPTION	LAND AUTHORITY BENEFITED
3	(A1)	FOR ACCESS VARIABLE WIDTH	DP 1143747	RETAIN WILL BURDEN LOT 1 ONLY MAINTENANCE BY MUDGEES GOLF CLUB	LOTS 2 – 12 DP 1143747
4	(D1)	TO DRAIN WATER VARIABLE WIDTH	DP 1143747	RETAIN WILL BURDEN LOTS 1 & 2	MWRC
5	(P1)	POSITIVE COVENANT	DP 1143747	RETAIN WILL BURDEN LOTS 1 & 2 CONSTRUCT & MAINTAIN ACOUSTIC BARRIER	MWRC
6	(R1)	RESTRICTION ON THE USE OF LAND	DP 1143747	RETAIN WILL BURDEN LOTS 1 & 2 WILL NOT INTERFERE WITH OR DISTURB ACOUSTIC BARRIER	MWRC
7	(S2)	TO DRAIN SEWAGE 8 x 3.66 WIDE AND VARIABLE WIDTH	DP 1164977	RETAIN WILL BURDEN LOT 1 ONLY	MWRC
8	(A2)	FOR ACCESS 8 WIDE	DP 1164977	RETAIN WILL BURDEN LOT 1 ONLY MAINTENANCE BY MUDGEES GOLF CLUB	LOT 102 DP 1164977
9	(D2)	TO DRAIN WATER 8 WIDE AND VARIABLE WIDTH	DP 1164977	RETAIN WILL BURDEN LOT 1 ONLY	LOT 102 DP 1164977
10	(P2)	POSITIVE COVENANT	DP 1164977	RETAIN WILL BURDEN LOT 1 ONLY CONSTRUCT & MAINTAIN ACOUSTIC BARRIER	MWRC
11	(R2)	RESTRICTION ON THE USE OF LAND	DP 1164977	RETAIN WILL BURDEN LOT 1 ONLY WILL NOT INTERFERE WITH OR DISTURB ACOUSTIC BARRIER	MWRC
12 *	NO SYMBOL	POSITIVE COVENANT	DP 1164977	RETAIN WILL BURDEN LOTS 1 & 2 PRESERVATION OF TREES	MWRC
13	NO SYMBOL	TO DRAIN WATER 3, 4, 5, 7, 8.5 WIDE AND VARIABLE WIDTH	DP 1165148	BURDENS LOTS 18 & 20 DP1165148	LOTS 1 & 2 AND MWRC
14	(S3)	TO DRAIN SEWAGE 3, 5, 8 WIDE AND VARIABLE WIDTH	DP 1165146	RETAIN WILL BURDEN LOTS 1 & 2	MWRC
15	(D3)	TO DRAIN WATER 5, 8 WIDE AND VARIABLE WIDTH	DP 1165146	RETAIN WILL BURDEN LOTS 1 & 2	LOTS 13 – 25 DP 1165146 & MWRC
16	(A3)	FOR ACCESS 4.965, 5, 8 WIDE & VARIABLE WIDTH	DP 1165146	RETAIN WILL BURDEN LOTS 1 & 2 MAINTENANCE BY MUDGEES GOLF CLUB	LOTS 1 – 11 DP1165150 & LOTS 13 – 25 DP 1165146
17	(D4)	TO DRAIN WATER 7 WIDE	DP 1174758	RETAIN WILL BURDEN LOT 1 ONLY	LOT 210 DP 775001 & MWRC
18	(E)	FOR UNDERGROUND POWERLINES 1 WIDE	DP 1174758	RETAIN WILL BURDEN LOT 1 ONLY	LOT 210 DP 775001 & ESSENTIAL ENERGY
19	(T)	FOR UNDERGROUND TELEPHONE LINES 1 WIDE	DP 1174758	RETAIN WILL BURDEN LOT 1 ONLY	LOT 210 DP 775001

* REMOVAL OF TREES ON EITHER LOT 1 OR LOT 2 WILL REQUIRE MWRC CONSENT.

SCHEDULE OF PROPOSED EASEMENTS

NUMBER ON BBB	SYMBOL ON PLAN	EASEMENT	BURDENING	BENEFITING
1	(DS)	TO DRAIN WATER 3 WIDE AND VARIABLE WIDTH	LOT 2	MWRC
2	(R)	RIGHT OF CARRIAGEWAY VARIABLE WIDTH	LOT 2 LOT 1	LOT 1 LOT 2
3	(S)	FOR SERVICES VARIABLE WIDTH	LOT 2 LOT 1	LOT 1 LOT 2
4	(INA)	FOR ACOUSTIC BARRIER 20 WIDE	LOT 1	MWRC
5	(IND)	TO DRAIN WATER VARIABLE WIDTH	LOT 1	MWRC
6	(INS)	TO DRAIN SEWAGE VARIABLE WIDTH	LOT 1	MWRC
7		RESTRICTION ON THE USE OF LAND	LOT 2	MWRC


ROBERT JOHN CROOKS

OF JABEK Pty Ltd
SURVEYOR REGISTERED UNDER THE
SURVEYING & SPATIAL INFORMATION ACT 2002

REFERENCE: BK632 SHEET 3 OF 3
DATE: 10.10.2020
SCALE: N.T.S.



MASTER SITE PLAN



MID WESTERN COUNCIL DCP

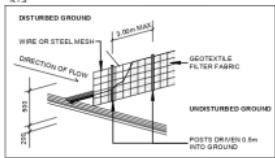
DA PLAN

<table border="1"> <tr> <th>NO.</th> <th>REVISION</th> <th>DATE</th> <th>BY</th> </tr> <tr> <td>1.1</td> <td>PRELIMINARY PLAN</td> <td>21.08.2022</td> <td>DP</td> </tr> <tr> <td>1.2</td> <td>REVISION: SHEDDING WALL</td> <td>21.08.2022</td> <td>DP</td> </tr> <tr> <td>1.3</td> <td>REVISION: SHEDDING WALL</td> <td>21.08.2022</td> <td>DP</td> </tr> </table>	NO.	REVISION	DATE	BY	1.1	PRELIMINARY PLAN	21.08.2022	DP	1.2	REVISION: SHEDDING WALL	21.08.2022	DP	1.3	REVISION: SHEDDING WALL	21.08.2022	DP	SCALE BAR NORTH DRAWING BY: DUPLEX BUILDING DESIGN Offices: 111 Hologang, Kilmack & District info@duplexbuildingdesign.com www.duplexbuildingdesign.com Office: 1300 310 087	CLIENT: TORI PETER GROUP ADDRESS: LOT 27, DP 1165146, MUDDIE DEVELOPMENT	PROJECT: PROPOSED SUBDIVISION LAYOUT DRAWING: MASTER SITE PLAN	DATE: 18.07.2022 SCALE: As indicated PROJECT No. DRAWING No. ISSUE: 01.0 C
	NO.	REVISION	DATE	BY																
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1.3	REVISION: SHEDDING WALL	21.08.2022	DP																	
THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE. DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DIMENSION. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES.																				

SEDIMENT NOTE

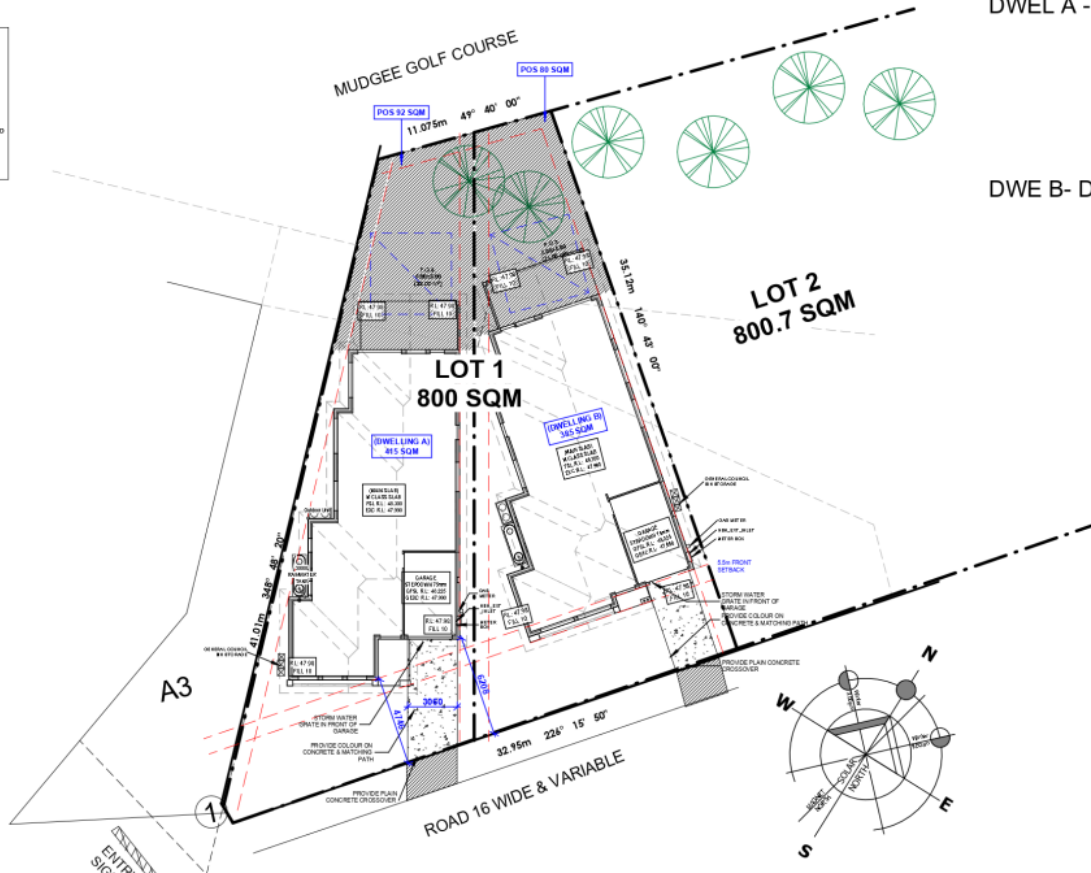
1. NO STOCKING OF MATERIALS IS PERMITTED ON THE VERGE BETWEEN KERB & PROPERTY BOUNDARY.
2. NO VEHICLE GROUND OR STOCKING OF MATERIAL ON VEGETATION BUFFER.
3. ALL SEDIMENT RETAINING STRUCTURES TO BE CLEANED ON REACHING 80% STORAGE CAPACITY.
4. ALL SEDIMENT VEGETATION SHALL BE RETAINED OUTSIDE THE CONSTRUCTION SITE.
5. ROOF DRAINAGE IS TO BE CONNECTED TO THE STORMWATER SYSTEM AS SOON AS PRACTICABLE.
6. DEPRESSIONS LEFT IN THE FOOTPATH BY HEAVY TRUCKS ARE TO BE FILLED AS SOON AS POSSIBLE.
7. ONLY ONE EXIT POINT SHOULD BE USED & SHOULD BE CONSTRUCTED SO AS TO PREVENT SOIL REACHING THE ROAD & TO STOP SOILING.
8. DRAINAGE DITCHES ABOVE & BELOW CUT & FILLED AREAS ARE TO REDUCE EROSION FROM DISTURBED GROUND.

SEDIMENT CONTROL FENCE

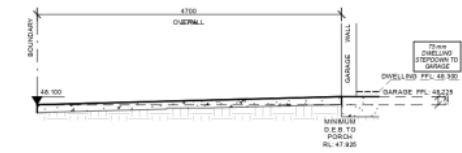


SCHEDULE OF SHORT & CURVED BOUNDARIES

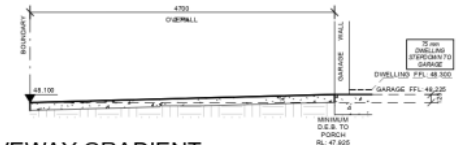
NO	BEARING	DISTANCE	ARC	RAD	LOT
1	307° 38' 15"	1.73			1
2	207° 49' 45"	7.905	8.045	12.5	3
3	206° 09' 50"	7.215	7.315	12.5	3
4	256° 26' 00"	13.8	14.62	12.5	4
5	300° 14' 50"	4.475	4.5	12.5	6
6	343° 47' 00"	13.7	14.495	12.5	7
7	50° 04' 10"	13.64	14.425	12.5	8
8	66° 17' 20"	7.245	7.35	12.5	8
9	47° 51' 15"	0.695	0.695	12.5	9
10	307° 38' 15"	1.73			11



DWEL A - DRIVEWAY GRADIENT



DWEL B - DRIVEWAY GRADIENT



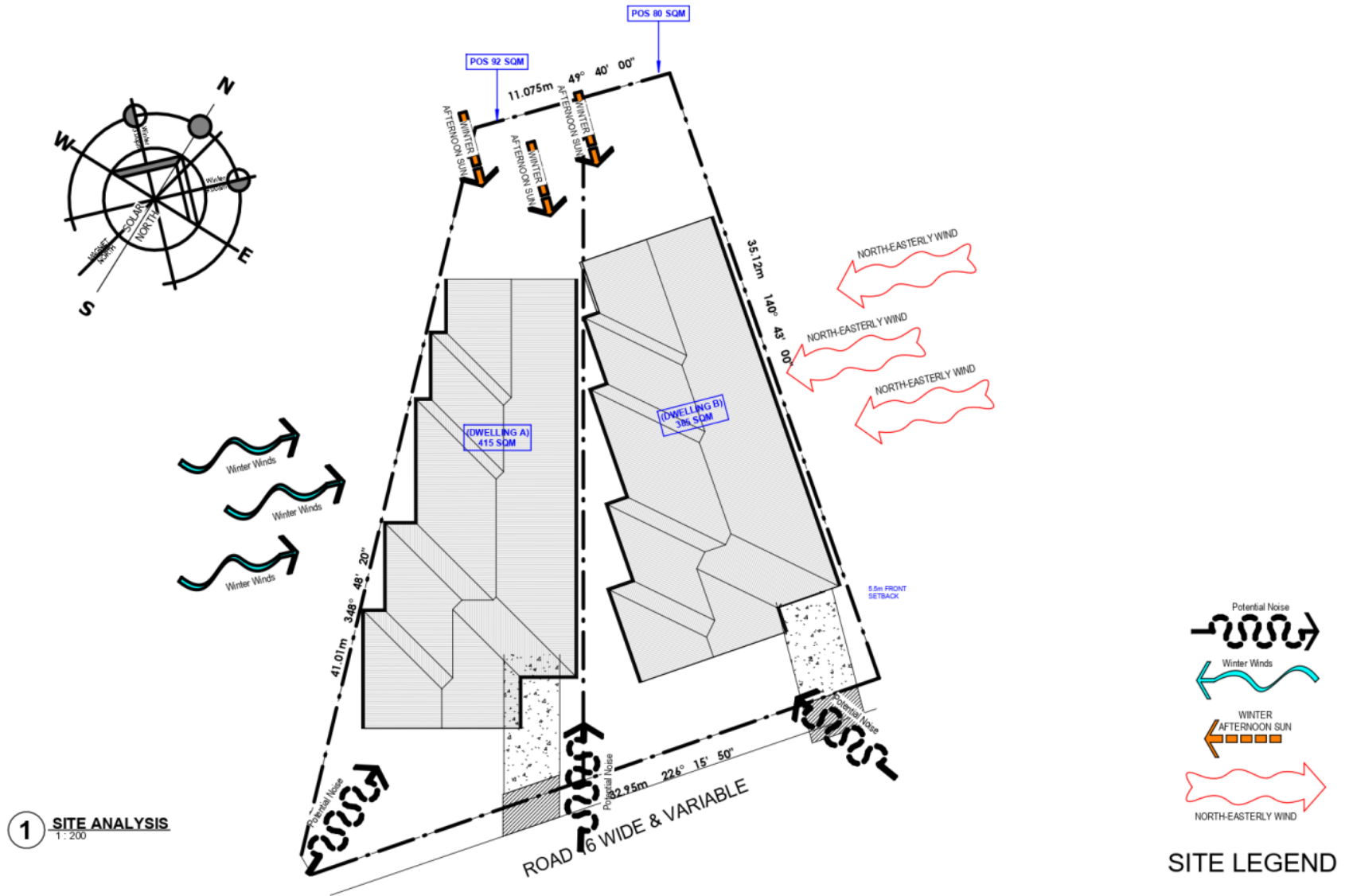
Area Schedule (Gross Building)	
Name	Area
ALFRESCO	18.31 m²
GROUND FLOOR	148.95 m²
GARAGE	19.22 m²
PORCH	5.88 m²
DA - GROSS BUILDING AREA A	188.36 m²
ALFRESCO	18.73 m²
GROUND FLOOR	148.11 m²
GARAGE	20.57 m²
PORCH	1.95 m²
DB - GROSS BUILDING AREA B	186.36 m²

PROPERTY DESCRIPTION	
LOT	1
D.P.	1165146
L.G.A.	MID-WESTERN REGIONAL COUNCIL APPROVAL
DOWEL BUILDINGS APPROVAL PROCESS REFERRED TO LOCAL REGULATIONS FOR FURTHER DETAILS.	
FLOOR SPACE RATIO (FSR)	
BASED ON PROPOSED FLOOR AREA OF PROPOSED DEVELOPMENT.	
MAXIMUM FSR, AS A RESULT OF PROPOSED DEVELOPMENT, IS 0.93%.	
MAXIMUM FSR, AS A RESULT OF PROPOSED DEVELOPMENT, IS 0.93%.	
ALLOWED FSR: 0%	
SITE COVERAGE AREA	
GROUND FLOOR AREA	148.95
GARAGE AREA	19.22
PROPOSED SITE COVERAGE	39.8%
MAX SITE COVERAGE	50%
LANDSCAPE	
TOTAL HARVESTED AREA	18.31
OPEN SPACE	18.31
LESS THAN 1%	0.00
PORCH/PERGOLA AREA	5.88
ALFRESCO AREA	18.31
REWARD SOFT LANDSCAPE AREA	0.00
PROPOSED LANDSCAPE AREA	0.00
MIN. REQUIRED BY COUNCIL	0%
PRIVATE OPEN SPACE	
PRINCIPAL PRIVATE OPEN SPACE	73.00
PRIVATE OPEN SPACE	66.11
MIN. ALLOWABLE BY COUNCIL	82.00
MIN. ALLOWABLE BY COUNCIL	0.00%
PRIVATE OPEN SPACE	0.00
PRINCIPAL PRIVATE OPEN SPACE	0.00

MID WESTERN COUNCIL DCP

DA PLANS

<table border="1"> <tr><th>NO</th><th>DESCRIPTION</th><th>BY</th><th>DATE</th></tr> <tr><td>001</td><td>CONCEPT DEVELOPMENT</td><td>TD</td><td>18/07/22</td></tr> <tr><td>002</td><td>CONCEPT DEVELOPMENT</td><td>TD</td><td>18/07/22</td></tr> <tr><td>003</td><td>CONCEPT DEVELOPMENT</td><td>TD</td><td>18/07/22</td></tr> <tr><td>004</td><td>CONCEPT DEVELOPMENT</td><td>TD</td><td>18/07/22</td></tr> <tr><td>005</td><td>CONCEPT DEVELOPMENT</td><td>TD</td><td>18/07/22</td></tr> <tr><td>006</td><td>CONCEPT DEVELOPMENT</td><td>TD</td><td>18/07/22</td></tr> <tr><td>007</td><td>CONCEPT DEVELOPMENT</td><td>TD</td><td>18/07/22</td></tr> <tr><td>008</td><td>CONCEPT DEVELOPMENT</td><td>TD</td><td>18/07/22</td></tr> <tr><td>009</td><td>CONCEPT DEVELOPMENT</td><td>TD</td><td>18/07/22</td></tr> <tr><td>010</td><td>CONCEPT DEVELOPMENT</td><td>TD</td><td>18/07/22</td></tr> </table>	NO	DESCRIPTION	BY	DATE	001	CONCEPT DEVELOPMENT	TD	18/07/22	002	CONCEPT DEVELOPMENT	TD	18/07/22	003	CONCEPT DEVELOPMENT	TD	18/07/22	004	CONCEPT DEVELOPMENT	TD	18/07/22	005	CONCEPT DEVELOPMENT	TD	18/07/22	006	CONCEPT DEVELOPMENT	TD	18/07/22	007	CONCEPT DEVELOPMENT	TD	18/07/22	008	CONCEPT DEVELOPMENT	TD	18/07/22	009	CONCEPT DEVELOPMENT	TD	18/07/22	010	CONCEPT DEVELOPMENT	TD	18/07/22	<p>SCALE BAR</p> <p>NORTH</p> <p>DRAWING BY: DUPLEX BUILDING DESIGN Office: 1/100 Victoria Street, Brisbane QLD 4000 Phone: 07 3200 1100 Email: info@duplexbuildingdesign.com Website: www.duplexbuildingdesign.com</p> <p>CLIENT: TORI PETER GROUP</p> <p>PROJECT: CUSTOM DUPLEX</p> <p>ADDRESS: LOT 1 & LOT 1A, NERNESS AVENUE, MUDGE DEVELOPMENT</p> <p>DATE: 18/07/22</p> <p>SCALE: As indicated</p> <p>PROJECT No: DWG/NO: 15556</p> <p>21300 001.1 P6</p>
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DA PLANS

NO	Revision	BY	DATE
01	CONCEPT DESIGN PLANS	LM	21.10.2021
02	AMENDMENTS TO PLANS	PG	27.10.2021
03	ISSUED FOR FACADE	PG	04.11.2021
04	DA PLANS	LM	10.11.2021
05	UPDATED DA PLANS	LM	17.11.2021
06	AMENDMENTS TO PLAN	DL	18.07.2022

SCALE BAR:
 NORTH:
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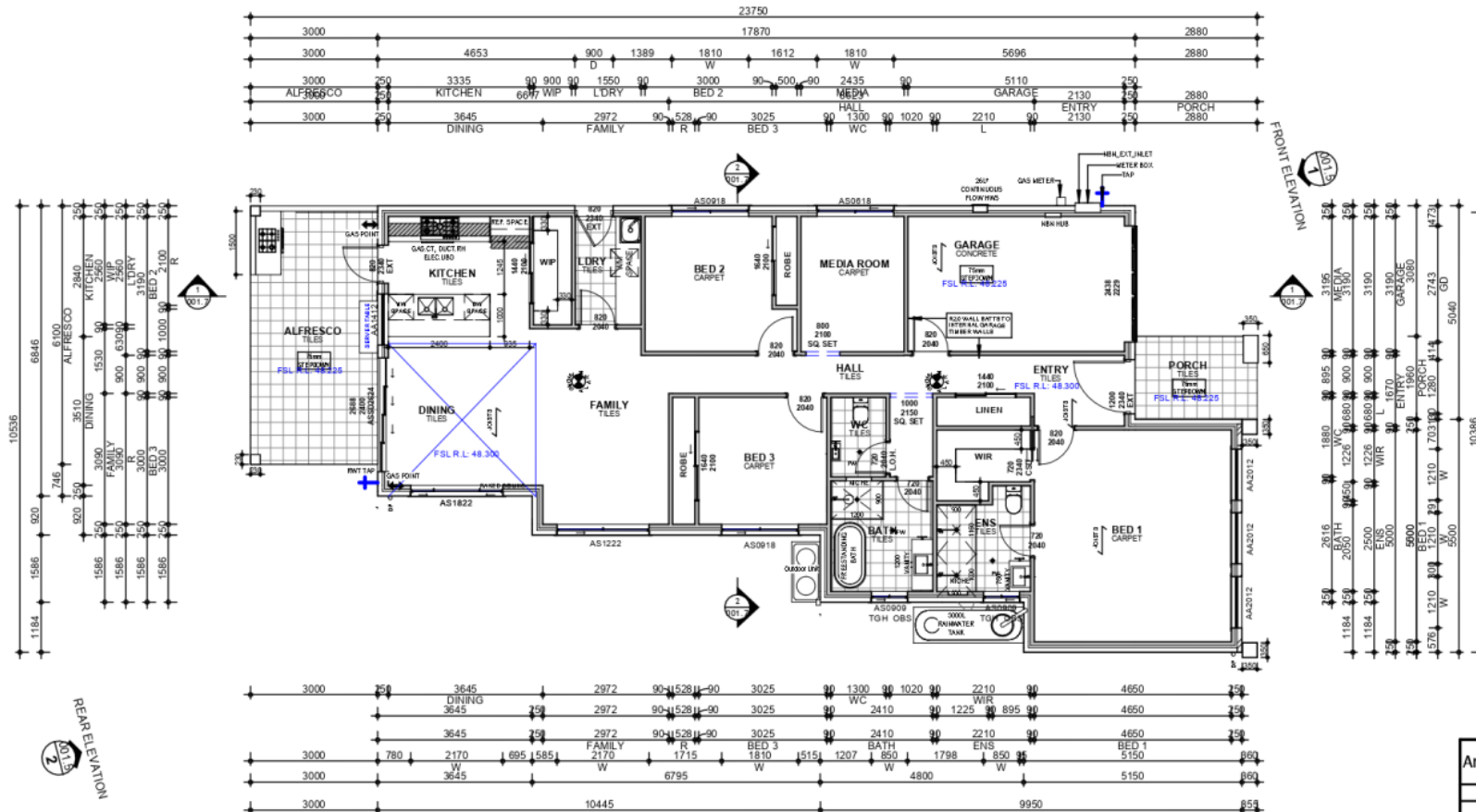
DRAWINGS BY:
DUPLEX BUILDING DESIGN
 Offices at: Wollongong, Kiama & Ulladulla
 info@duplexbuildingdesign.com
 www.duplexbuildingdesign.com
 Office: 1300 310 007

CLIENT:
TORI PETER GROUP
 ADDRESS:
LOT 1 & LOT 1A, IVERNESS AVENUE, MUDGEE DEVELOP MET

PROJECT:
CUSTOM DUPLEX
 DRAWING:
SITE ANALYSIS

DATE: 18.07.22
 SCALE: As indicated
 PROJECT No: DRAWING No: ISSUE:
21300 001.1.1 P6

KEY SYMBOLS	
FSL	FINISHED SLAB LEVEL
FF:	FINISHED FLOOR
FC:	FINISHED CEILING
	MAN HOLE (ROOF ACCESS)
	PROPOSED JOIST DIRECTION (CONFIRM WITH JOIST LAYOUT PLAN)
	HARDWIRED SMOKE ALARM
	DRAINAGE POINT
	AIR-CONDITIONING DROPPER
	AIR-CONDITIONING DUCT LINE
	AIR-CONDITIONING OUTLET
	KITCHEN / WET AREA ELEVATIONS
	BULKHEADS
	OVERHEAD CABINET



1 DWEL AGROUND FLOOR PLAN
1:100

Area Schedule (Gross Building) ...	
Name	Areas
ALFRESCO	18.31 m²
GROUND FLOOR	144.95 m²
GARAGE	19.22 m²
PORCH	5.88 m²
DA - GROSS BUILDING AREA: 4	188.36 m²
ALFRESCO	19.73 m²
GROUND FLOOR	
GARAGE	
PORCH	
GROUND FLOOR	144.11 m²
GARAGE	20.57 m²
PORCH	1.95 m²
DB - GROSS BUILDING AREA: 7	186.36 m²

DA PLANS

REV	REVISION	BY	DATE
01	CONCEPT DESIGN PLANS	LM	21.10.2021
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SCALE BAR:



DRAWINGS BY:
DUPLEX BUILDING DESIGN
Offices at: Wollongong, Kiama & Ulladulla
info@duplexbuildingdesign.com
www.duplexbuildingdesign.com
Office: 1300 310 007

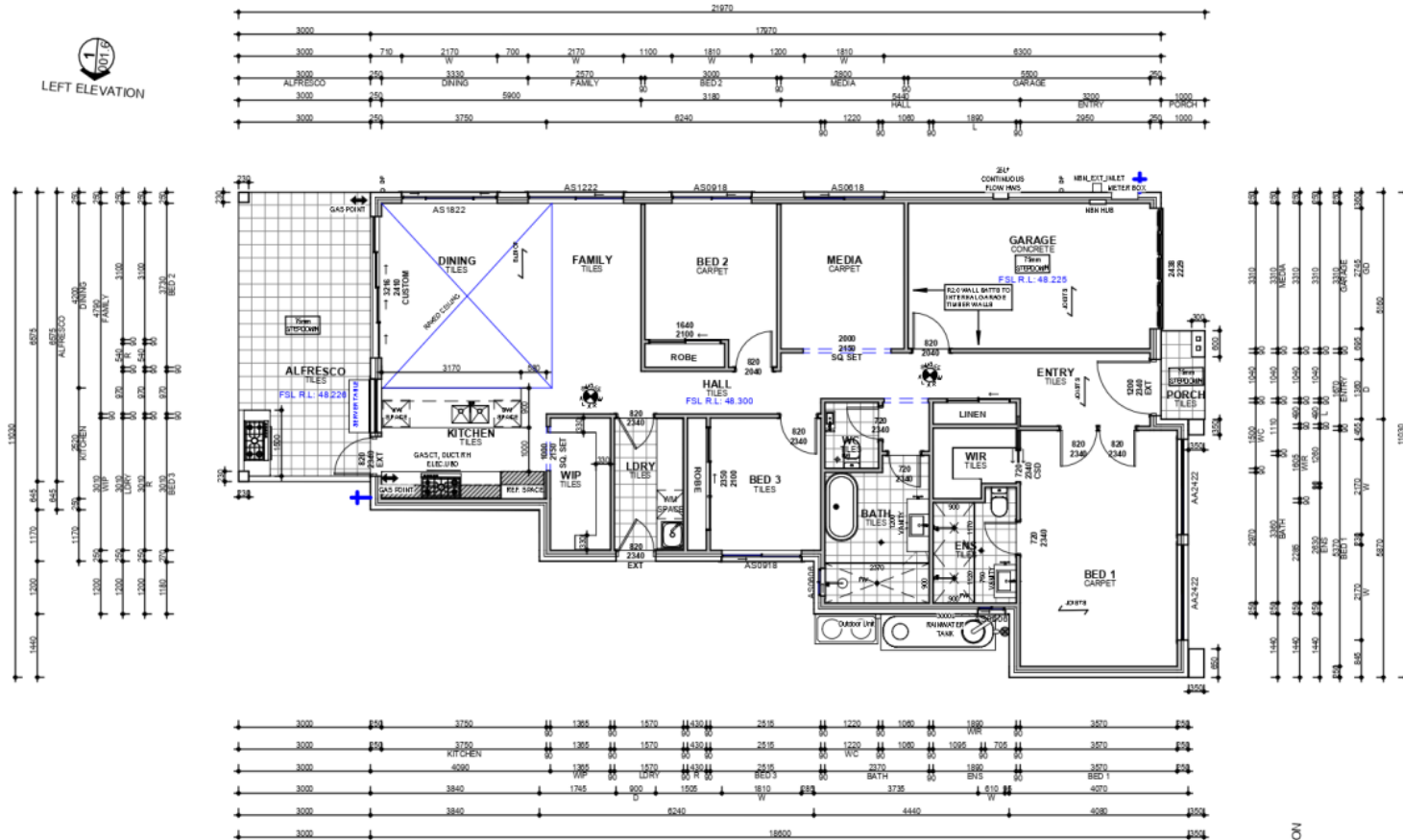
CLIENT:
TORI PETER GROUP
ADDRESS:
LOT 1 & LOT 1A, IVERNESS AVENUE, MUDGEE DEVELOPMENT

PROJECT:
CUSTOM DUPLEX
DRAWING:
DWL A GROUND FLOOR PLAN

DATE: 18.07.22
SCALE: 1:100
PROJECT No: DRAWING No: ISSUE:
21300 001.3 P6

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KEY SYMBOLS	
FSL:	FINISHED SLAB LEVEL
FF:	FINISHED FLOOR
FC:	FINISHED CEILING
	MAN HOLE (RO OF ACCESS)
	PROPOSED JOIST DIRECTION (CONFIRM WITH JOIST LAYOUT PLAN)
	HARDWIRED SMOKE ALARM
	DRAINAGE POINT
	AIR-CONDITIONING DROPPER
	AIR-CONDITIONING DUCT LINE
	AIR-CONDITIONING OUTLET
	KITCHEN / WET AREA ELEVATIONS
	BULKHEADS
	OVERHEAD CABINET



1 GROUND FLOOR PLAN DWELLING B
 1:100

Area Schedule (Gross Building)...	
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ALFRESCO	18.31 m²
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04	DA PLANS	LM	10.11.2021
05	UPDATED DA PLANS	LM	17.11.2021
06	AMENDMENTS TO PLAN	DL	18.07.2022

SCALE BAR:
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 THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE. DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES.

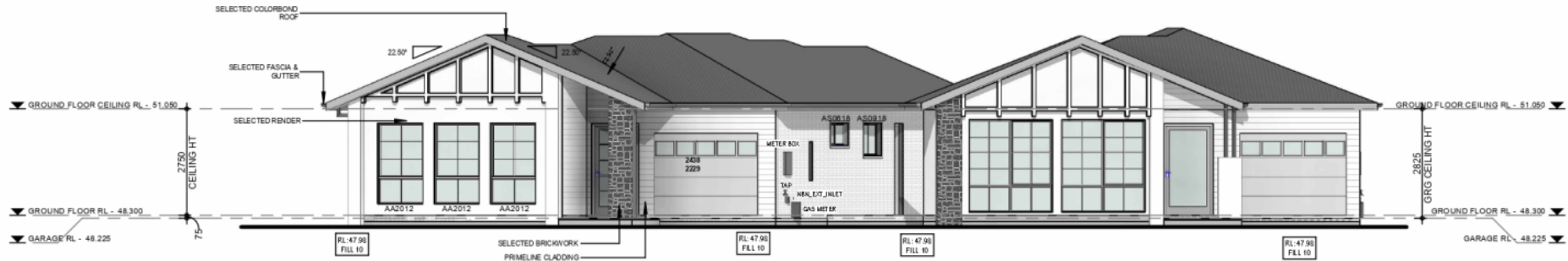
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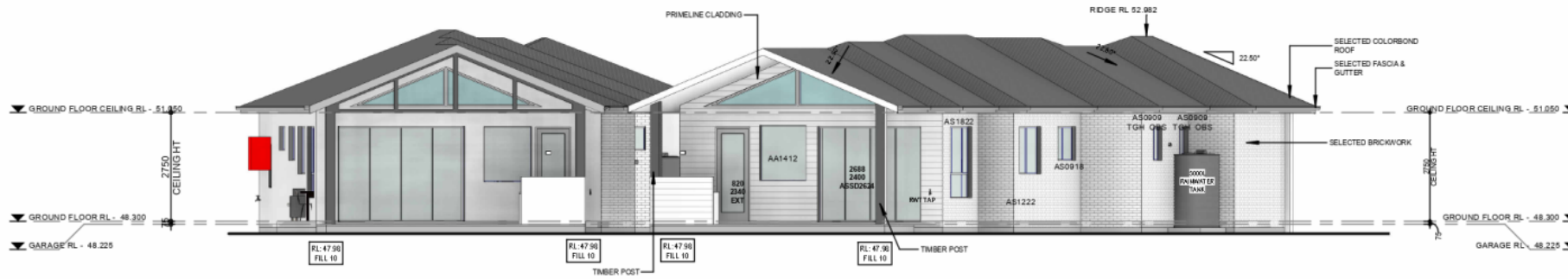
CLIENT:
TORI PETER GROUP
 ADDRESS:
LOT 1 & LOT 1A, IVERNESS AVENUE, MUDGEE DEVELOPMENT

PROJECT:
CUSTOM DUPLEX
 DRAWING:
DWL B GROUND FLOOR PLAN

DATE: 18.07.22
 SCALE: 1:100
 PROJECT No: DRAWING No: ISSUE:
21300 001.4 P6



FRONT ELEVATION



REAR ELEVATION

DA PLANS

NO	REVISION	BY	DATE
001	CONCEPT DESIGN PLANS	LM	21.10.2021
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SCALE BAR:

NORTH:



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CLIENT:

TORI PETER GROUP

ADDRESS:

LOT 1 & LOT 1A, IVERNESS AVENUE, MUDGEE DEVELOPMENT

PROJECT:

CUSTOM DUPLEX

DRAWING:

ELEVATIONS

DATE: 18.07.22

SCALE: 1 : 100

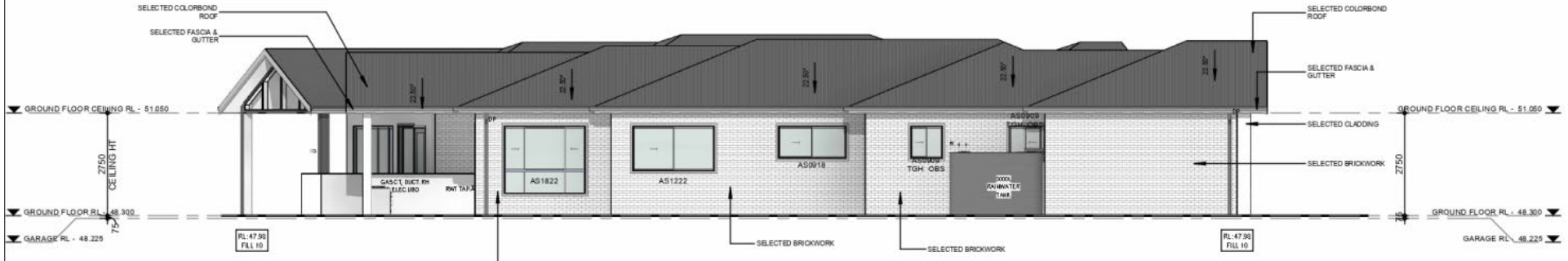
PROJECT No: DRAWING No: ISSUE:

21300 001.5 P6

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LEFT ELEVATION



RIGHT ELEVATION

DA PLANS

REV	REVISION	BY	DATE
001	CONCEPT DESIGN PLANS	LM	21.10.2021
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006	AMENDMENTS TO PLAN	DL	18.07.2022

SCALE BAR:
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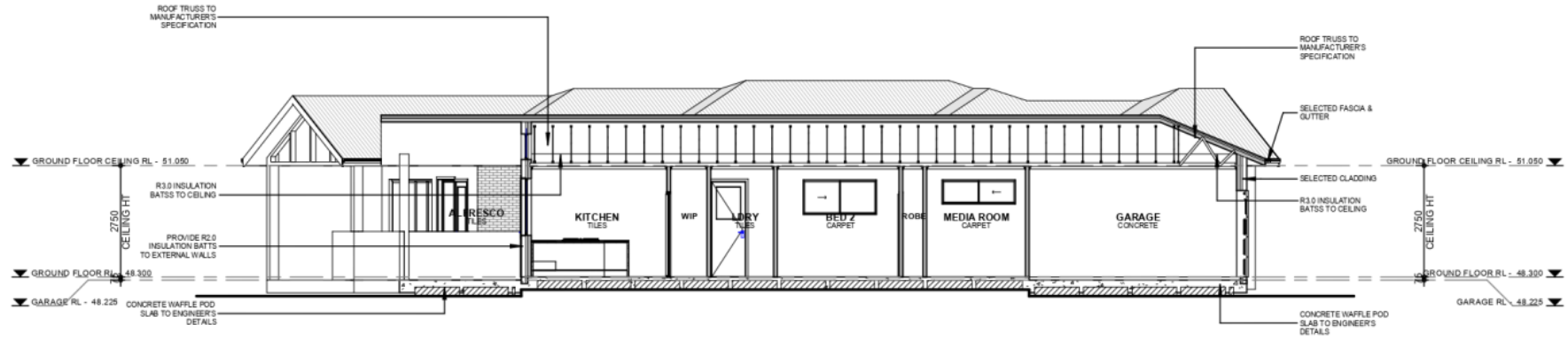
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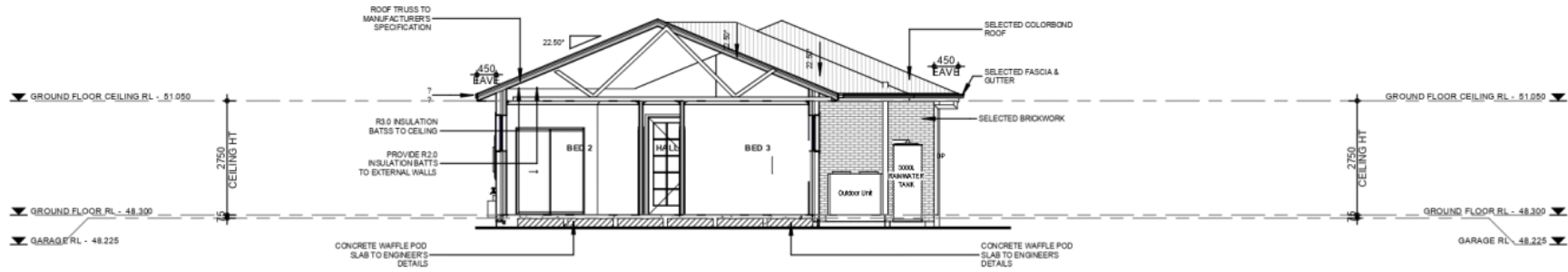
CLIENT:
TORI PETER GROUP
 ADDRESS:
LOT 1 & LOT 1A, IVERNESS AVENUE, MUDGEE DEVELOPMENT

PROJECT:
CUSTOM DUPLEX
 DRAWING:
ELEVATIONS

DATE: 18.07.22
 SCALE: 1 : 100
 PROJECT No: DRAWING No: ISSUE:
 21300 001,6 P6



1 DWEL A BLDG SECTION
1 : 100



2 DWEL A BLDG SECTION A
1 : 100

DA PLANS

REV	REVISION	BY	DATE
001	CONCEPT DESIGN PLANS	LM	21.10.2021
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006	AMENDMENTS TO PLAN	DL	18.07.2022

SCALE BAR:

NORTH:



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CLIENT:

TORI PETER GROUP

ADDRESS:

LOT 1 & LOT 1A, IVERNESS AVENUE, MUDGEE DEVELOPMENT

PROJECT:

CUSTOM DUPLEX

DRAWING:

BUILDING SECTION

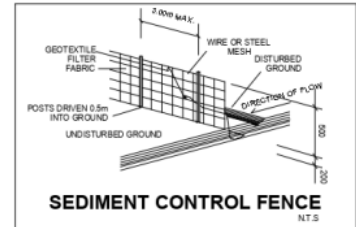
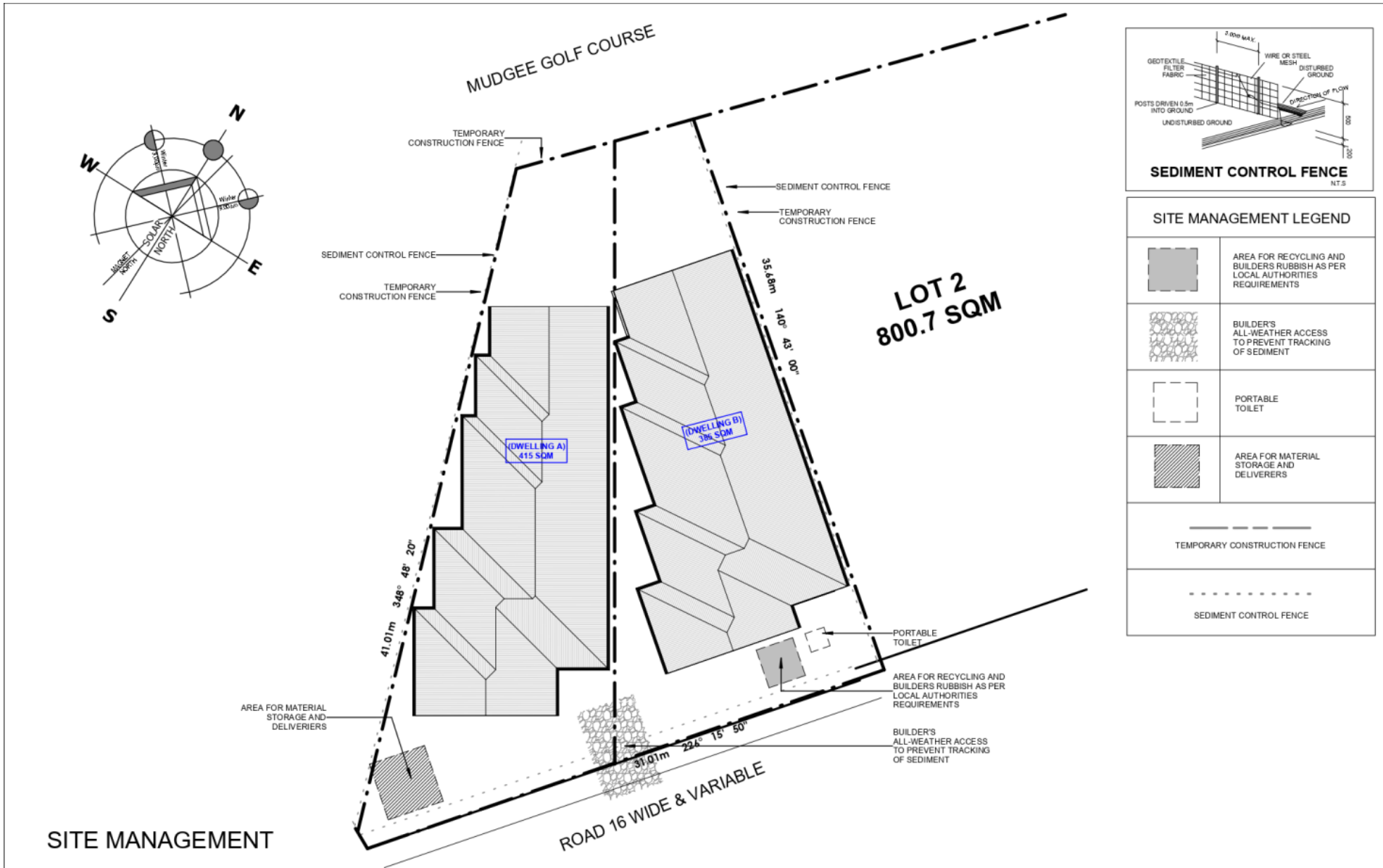
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SCALE: 1 : 100

PROJECT No: DRAWING No: ISSUE:

21300 001.7 P6

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SITE MANAGEMENT LEGEND	
	AREA FOR RECYCLING AND BUILDERS RUBBISH AS PER LOCAL AUTHORITIES REQUIREMENTS
	BUILDER'S ALL-WEATHER ACCESS TO PREVENT TRACKING OF SEDIMENT
	PORTABLE TOILET
	AREA FOR MATERIAL STORAGE AND DELIVERERS
	TEMPORARY CONSTRUCTION FENCE
	SEDIMENT CONTROL FENCE

SITE MANAGEMENT

DA PLANS

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01	CONCEPT DESIGN PLANS	LM	21.10.2021
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05	UPDATED DA PLANS	LM	17.11.2022
06	AMENDMENTS TO PLAN	DL	18.07.2022

SCALE BAR:

NORTH:



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CLIENT:

TORI PETER GROUP

ADDRESS:
LOT 1 & LOT 1A, IVERNESS AVENUE, MUDGEE DEVELOP MET

PROJECT:

CUSTOM DUPLEX

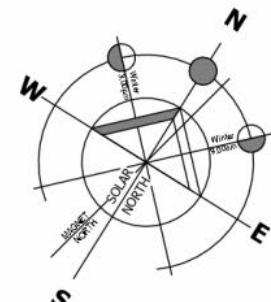
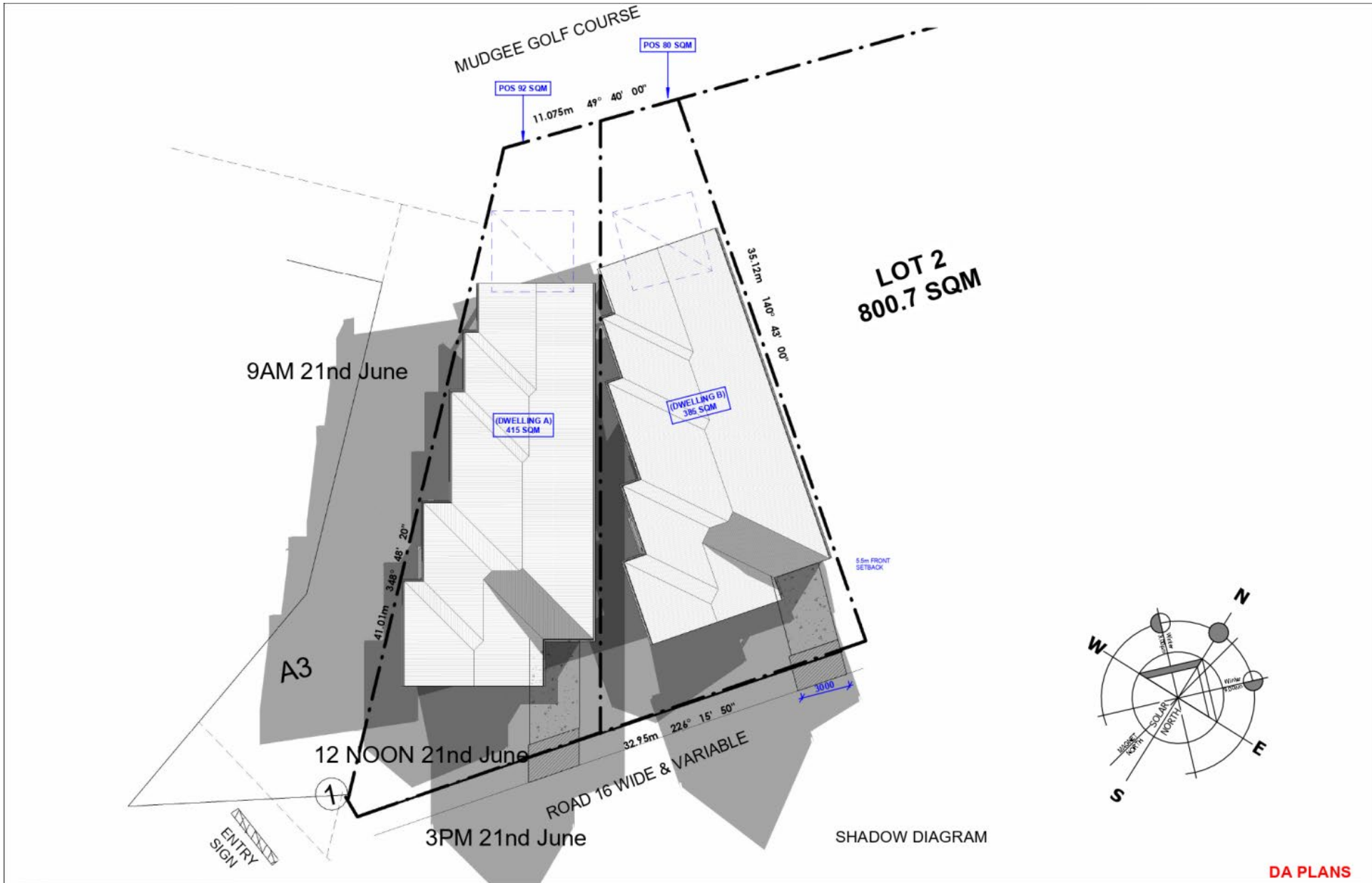
DRAWING:
SITE MANAGEMENT LEGEND

DATE: 18.07.22

SCALE: As indicated

PROJECT No: 21300
 DRAWING No: 001.8
 ISSUE: P6


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DA PLANS

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03	SIGNED PAPER FACADE	PG	04.11.2021
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06	AMENDMENTS TO PLAN	DL	18.07.2022

SCALE BAR: _____

NORTH: 

DRAWINGS BY: 

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CLIENT: **TORI PETER GROUP**

PROJECT: **CUSTOM DUPLEX**

ADDRESS: **LOT 1 & LOT 1A, IVERNESS AVENUE, MUDGEE DEVELOPMENT**

Offices at: Wollongong, Kiama & Ulladulla
 info@duplexbuildingdesign.com
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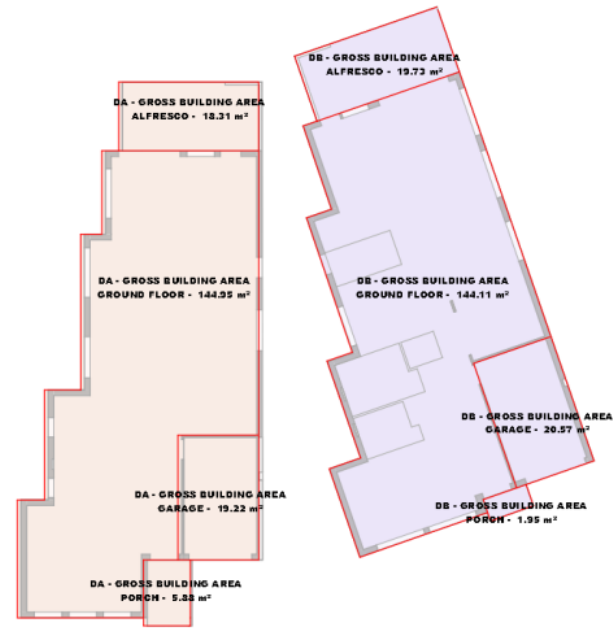
DATE: 18.07.22

SCALE: As indicated

PROJECT No: 21300 DRAWING No: 001.9 ISSUE: P6



GROUND FLOOR



GROUND FLOOR - GROSS

Name	Areas
GARAGE	18.52 m ²
GARAGE	18.08 m ²
EXCLUDED AREA: 2	36.60 m ²
GROUND FLOOR	131.52 m ²
DB - GFA/FSR: 1	131.52 m ²
GROUND FLOOR	130.86 m ²
DA - GFA/FSR: 1	130.86 m ²

Name	Areas
ALFRESCO	18.31 m ²
GROUND FLOOR	144.95 m ²
GARAGE	19.22 m ²
PORCH	5.88 m ²
DA - GROSS BUILDING AREA: 4	188.36 m ²
ALFRESCO	19.73 m ²
GROUND FLOOR	144.11 m ²
GARAGE	20.57 m ²
PORCH	1.95 m ²
DB - GROSS BUILDING AREA: 7	186.36 m ²

DA PLANS

NO	Revisions	By	Date
01	CONCEPT DESIGN PLANS	LW	21.10.2021
02	AMENDMENTS IN PLANS	PG	27.10.2021
03	DESIGN FOR FACADE	PG	04.11.2021
04	DA PLANS	LW	03.11.2021
05	UPDATED DA PLANS	LW	17.11.2021
06	AMENDMENTS TO PLAN	DS	18.07.2022

SCALE BAR



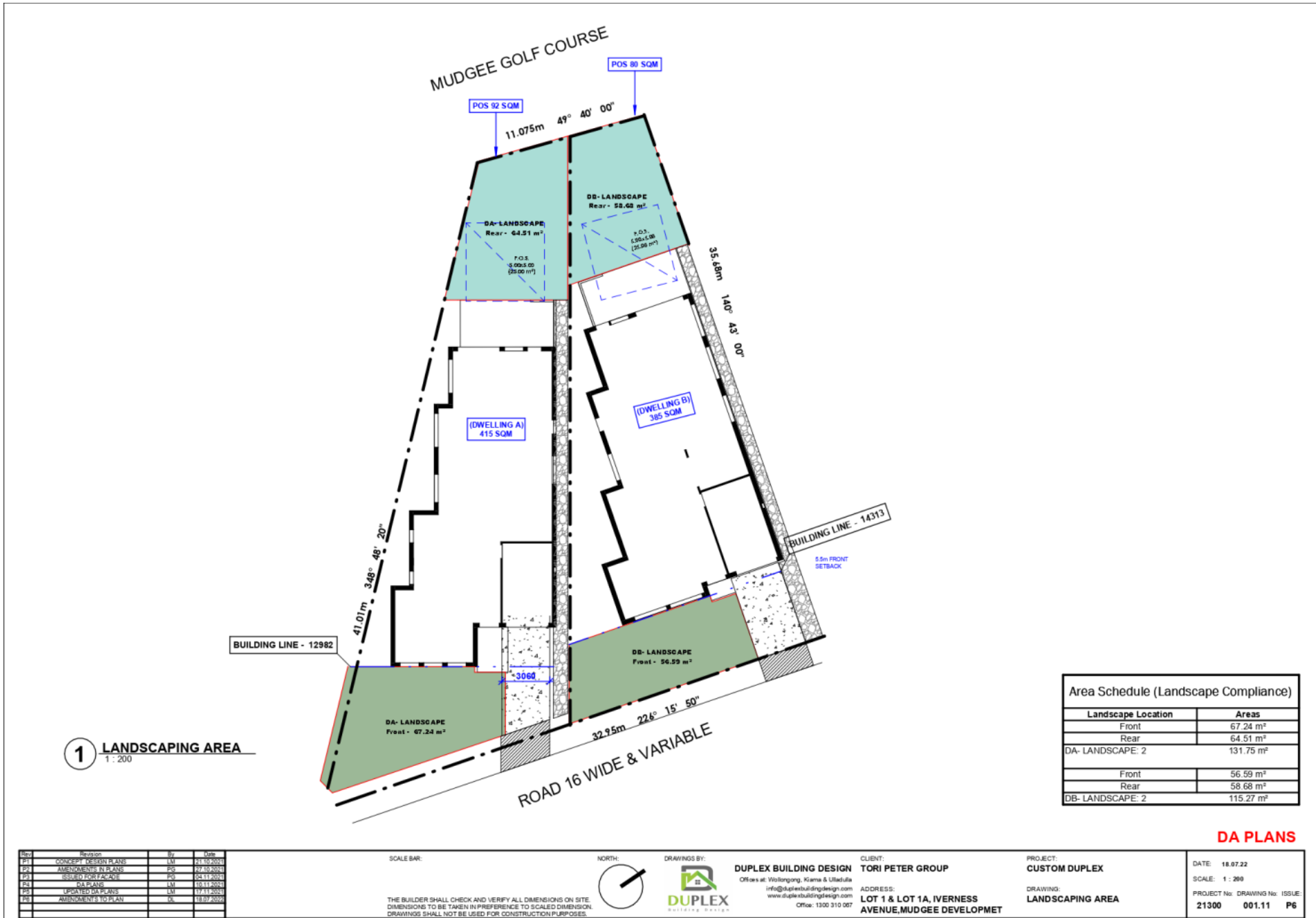
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CLIENT:
TORI PETER GROUP
 ADDRESS:
LOT 1 & LOT 1A, IVERNESS AVENUE, MUDGEES DEVELOPMENT

PROJECT:
CUSTOM DUPLEX
 DRAWING:
GROSS FLOOR AREA/F.S.R.

DATE: 18.07.22
 SCALE: 1 : 200
 PROJECT No: DRAWING No: ISSUE:
21300 001.10 P6

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SCALE BAR:

NORTH:



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Office: 1300 310 007

CLIENT:

TORI PETER GROUP

ADDRESS:

LOT 1 & LOT 1A, IVERNESS AVENUE, MUDGEE DEVELOPMENT

PROJECT:

CUSTOM DUPLEX

DRAWING:

LANDSCAPING AREA

DATE: 18.07.22

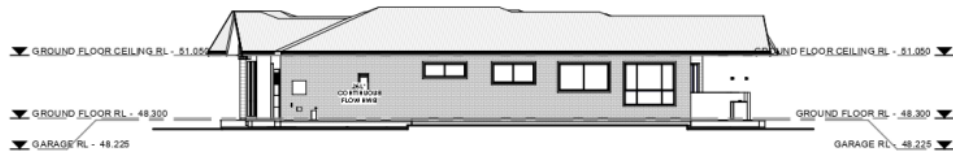
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PROJECT No: DRAWING No: ISSUE:
21300 001.11 P6

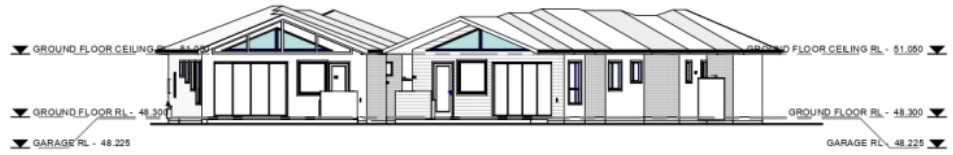
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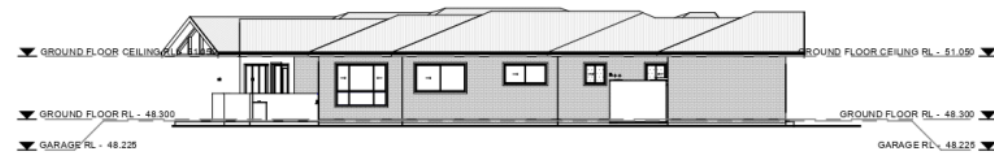
1 FRONT NOTIFICATION PLAN
1 : 200



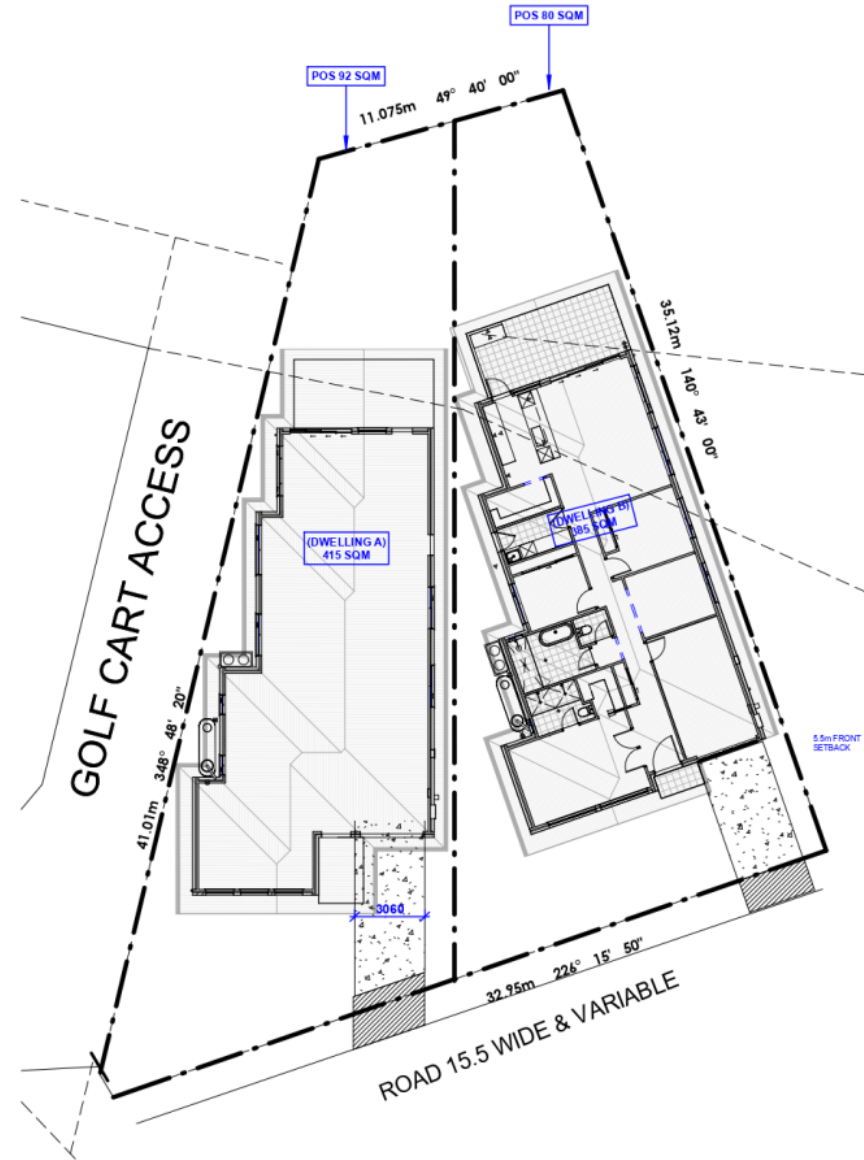
2 LEFT NOTIFICATION PLAN
1 : 200



3 REAR NOTIFICATION PLAN
1 : 200



4 RIGHT NOTIFICATION PLAN
1 : 200



5 SITE PLAN
1 : 200

NO	REVISION	BY	DATE
01	CONCEPT DESIGN PLANS	LW	21.10.2021
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03	SIGNED FOR FACADE	PG	04.11.2021
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06	AMENDMENTS TO PLAN	DL	18.07.2022

SCALE BAR:

NORTH:



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TORI PETER GROUP

ADDRESS:
LOT 1 & LOT 1A, IVERNESS AVENUE, MUDGEE DEVELOP MET

DA PLANS

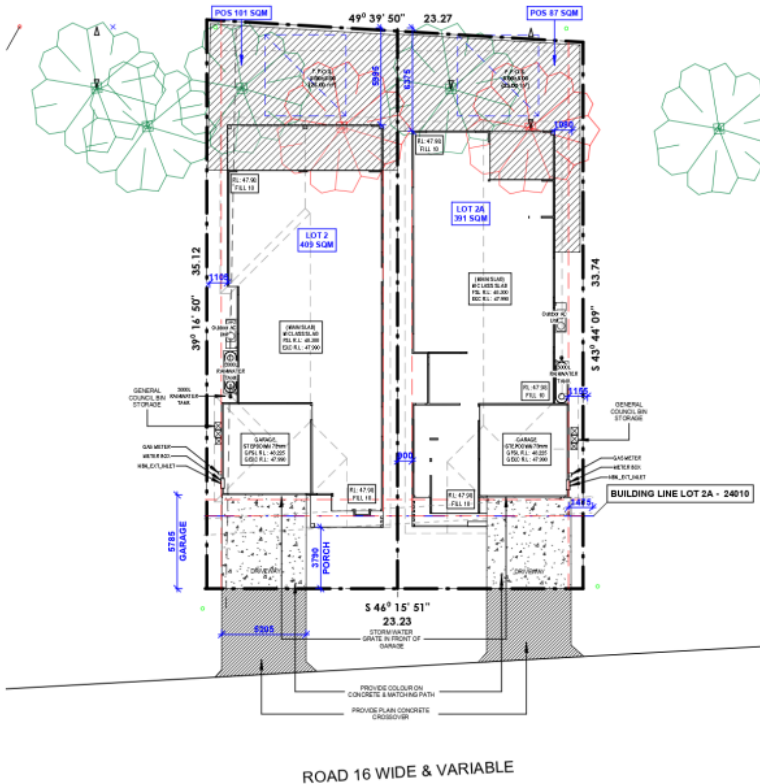
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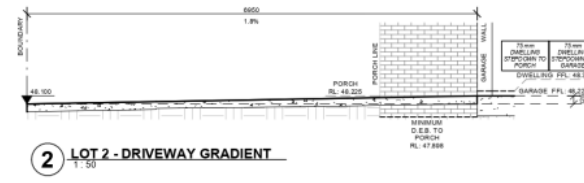
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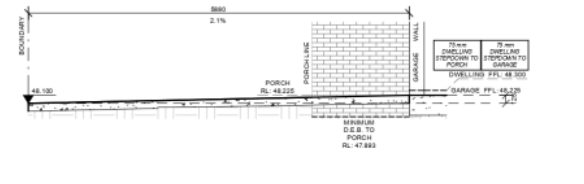
MUDGEE GOLF COURSE



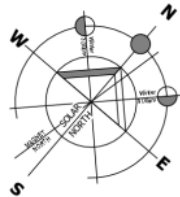
1 SITE PLAN
1:200



2 LOT 2 - DRIVEWAY GRADIENT
1:50



3 LOT 2A - DRIVEWAY GRADIENT
1:50

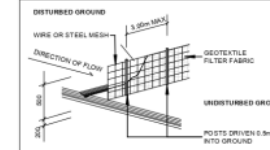


SITE PLAN

SEDIMENT NOTE

1. NO STOCKPILING OF MATERIALS IS PERMITTED ON THE VERGE BETWEEN KERB & PROPERTY BOUNDARY.
2. NO VEHICLE CROSSING OR STOCKPILING OF MATERIAL ON VERGEMENT BUMPERS.
3. ALL SEDIMENT RETAINING STRUCTURES TO BE CLEANED ON REACHING 50% STORAGE CAPACITY.
4. ALL EXISTING VEGETATION WILL BE RETAINED OUTSIDE THE CONSTRUCTION SITE.
5. ROOF DRAINAGE IS TO BE CONNECTED TO THE STORMWATER SYSTEM AS SOON AS PRACTICABLE.
6. DEPRESSIONS LEFT IN THE FOOTPATH BY HEAVY TRUCKS ARE TO BE FILLED AS SOON AS POSSIBLE.
7. ONLY ONE EXIT POINT SHOULD BE USED & SHOULD BE CONSTRUCTED SO AS TO PREVENT SOIL REACHING THE ROAD & TO STOP ROODINGS.
8. ORAINAGE DITCHES ABOVE & BELOW CUT & FILLED AREAS ARE TO REDUCE EROSION FROM DISTURBED GROUND.

SEDIMENT CONTROL FENCE



MID WESTERN COUNCIL DCP

Area Schedule (Gross Building)

Name	Area
ALFRESCO	26.88 m ²
GROUND FLOOR	161.59 m ²
GARAGE	31.69 m ²
PORCH	5.76 m ²
LOT 2 - GROSS BUILDING AREA 4	225.92 m ²
ALFRESCO	12.00 m ²
GROUND FLOOR	163.63 m ²
GARAGE	31.56 m ²
PORCH	4.58 m ²
LOT 2A - GROSS BUILDING AREA 4	211.65 m ²

WIND CLASSIFICATION: SLAB CLASSIFICATION: "M"

PROPERTY DESCRIPTION

LOT: D.P. 1165146

L.G.A. MID-WESTERN REGIONAL

DA COUNCIL APPROVAL

IS DA COUNCIL APPROVAL NECESSARY? YES

REMARKS: DA COUNCIL APPROVAL REQUIRED FOR OTHER REASONS.

FLOOR SPACE RATIO (FSR)

Maximum FSR allowed for the site is 0.85 (based on 200m² site area)

Number of floors: 2 (including ground floor)

Maximum FSR allowed for the site is 0.85

TOTAL SITE AREA	LOT 2	LOT 2A
893.7	416.99	476.71
SITE AREA	416.99	476.71
TOTAL GROSS FLOOR AREA	161.59	163.63
PROPOSED FSR	0.39%	0.00%
ALLOWED FSR	0%	0%

SITE COVERAGE AREA

GROUND FLOOR AREA	FSR	FSR %
161.59	0.39	0.00%
GARAGE AREA	31.69	0.35
PROPOSED SITE COVERAGE	47.68%	83.14%
MAX SITE COVERAGE	80%	80%

LANDSCAPE

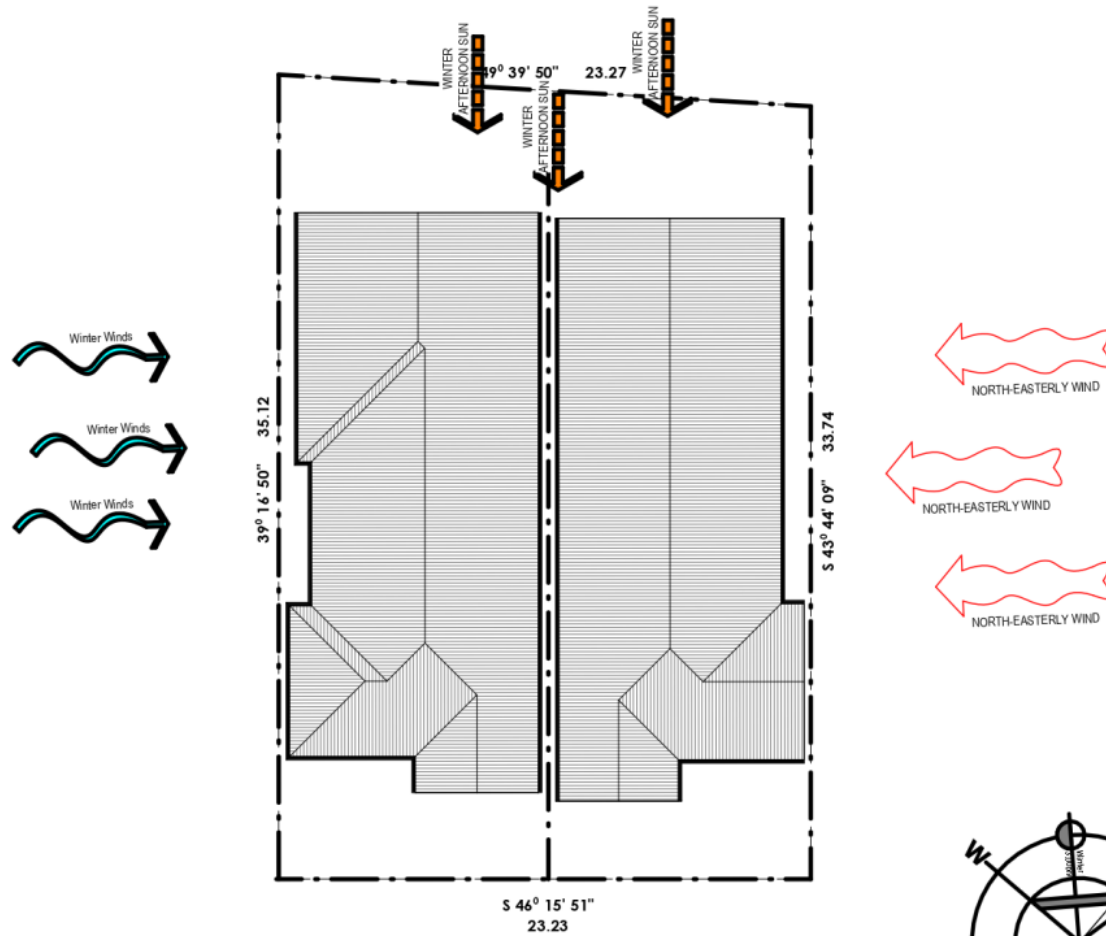
TOTAL HANDSTAND AREA	FSR	FSR %
DRYDOWN AREA	33.93	38.43
LESS THAN 1m	0.00	0.00
FORGIVEN/GRASS AREA	0.75	0.84
ALFRESCO AREA	26.88	30.09
REMARKS: SOFT LANDSCAPE AREA	0.00	0.00
PROPOSED LANDSCAPE AREA	61.56%	68.90%
MIN. REQUIRED BY COUNCIL	0%	0%

PRIVATE OPEN SPACE

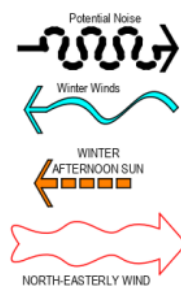
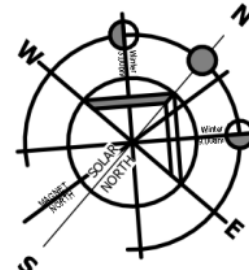
PRINCIPAL PRIVATE OPEN SPACE	Area	FSR %
PRINCIPAL PRIVATE OPEN SPACE	26.88	30.09
PRIVATE OPEN SPACE	69.2	77.5
MIN. ALLOWABLE BY COUNCIL	80.00	89.60
MIN. ALLOWABLE BY COUNCIL	0.00%	0.00%
PRINCIPAL PRIVATE OPEN SPACE		
PRINCIPAL PRIVATE OPEN SPACE		

- Z - PROPOSED EASEMENT FOR ACCESS 4.5 WIDE (DP 1143747)
- A1 - EASEMENT FOR ACCESS VARIABLE WIDTH (DP 1143747)
- A3 - EASEMENT FOR ACCESS VARIABLE WIDTH, 8 AND 5 WIDE (DP 1165146)
- D1 - EASEMENT FOR ACCESS 8 WIDE (DP 1164977)
- D3 - EASEMENT FOR ACCESS VARIABLE WIDTH, 4, 9.65, 5 AND 8 WIDE (DP 1165146)
- P1 - POSITIVE COVENANT (DP 1143747)
- R1 - RESTRICTIONS ON THE USE OF LAND (DP1143747)

<p>SCALE BAR</p> <p>NORTH</p> <p>DRAWING BY: DUPLEX BUILDING DESIGN</p> <p>CLIENT: TORI PETER GROUP</p> <p>PROJECT: CUSTOM DUPLEX</p> <p>DATE: 18.07.22</p> <p>SCALE: As indicated</p> <p>PROJECT NO: DRAWING NO: ISSUE: 21301 00.1 F</p>	<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>DATE</th> <th>BY</th> <th>APP'D</th> </tr> </thead> <tbody> <tr> <td>1.1</td> <td>PRELIMINARY PLAN</td> <td>21.08.2022</td> <td></td> <td></td> </tr> <tr> <td>1.2</td> <td>AMENDMENT TO PLAN</td> <td>21.08.2022</td> <td></td> <td></td> </tr> <tr> <td>1.3</td> <td>REVISIONS TO PLAN</td> <td>21.08.2022</td> <td></td> <td></td> </tr> <tr> <td>1.4</td> <td>REVISIONS TO PLAN</td> <td>21.08.2022</td> <td></td> <td></td> </tr> <tr> <td>1.5</td> <td>REVISIONS TO PLAN</td> <td>21.08.2022</td> <td></td> <td></td> </tr> <tr> <td>1.6</td> <td>REVISIONS TO PLAN</td> <td>21.08.2022</td> <td></td> <td></td> </tr> <tr> <td>1.7</td> <td>AMENDMENT TO PLAN</td> <td>01.09.2022</td> <td></td> <td></td> </tr> </tbody> </table>	NO.	DESCRIPTION	DATE	BY	APP'D	1.1	PRELIMINARY PLAN	21.08.2022			1.2	AMENDMENT TO PLAN	21.08.2022			1.3	REVISIONS TO PLAN	21.08.2022			1.4	REVISIONS TO PLAN	21.08.2022			1.5	REVISIONS TO PLAN	21.08.2022			1.6	REVISIONS TO PLAN	21.08.2022			1.7	AMENDMENT TO PLAN	01.09.2022			<p>THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE. DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES.</p> <p>Office: 1300 310 087</p> <p>www.duplexbuildingdesign.com</p> <p>10/2 & 10/3 AVENUE, MUDGEE DEVELOPMENT</p>
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1 SITE ANALYSIS
1 : 200



SITE LEGEND

DA PLANS

REV	REVISION	BY	DATE
A	PRELIMINARY PLANS	PG	08.10.2021
B	AMENDMENTS IN PLANS	PG	18.10.2021
C	AMENDMENTS IN PLAN	PG	21.03.2021
D	ISSUED FOR FACADE	PG	02.11.2021
E	ISSUED FOR DA	RE	18.11.2021
F	AMENDMENTS TO PLAN	DL	18.07.2022

SCALE BAR:



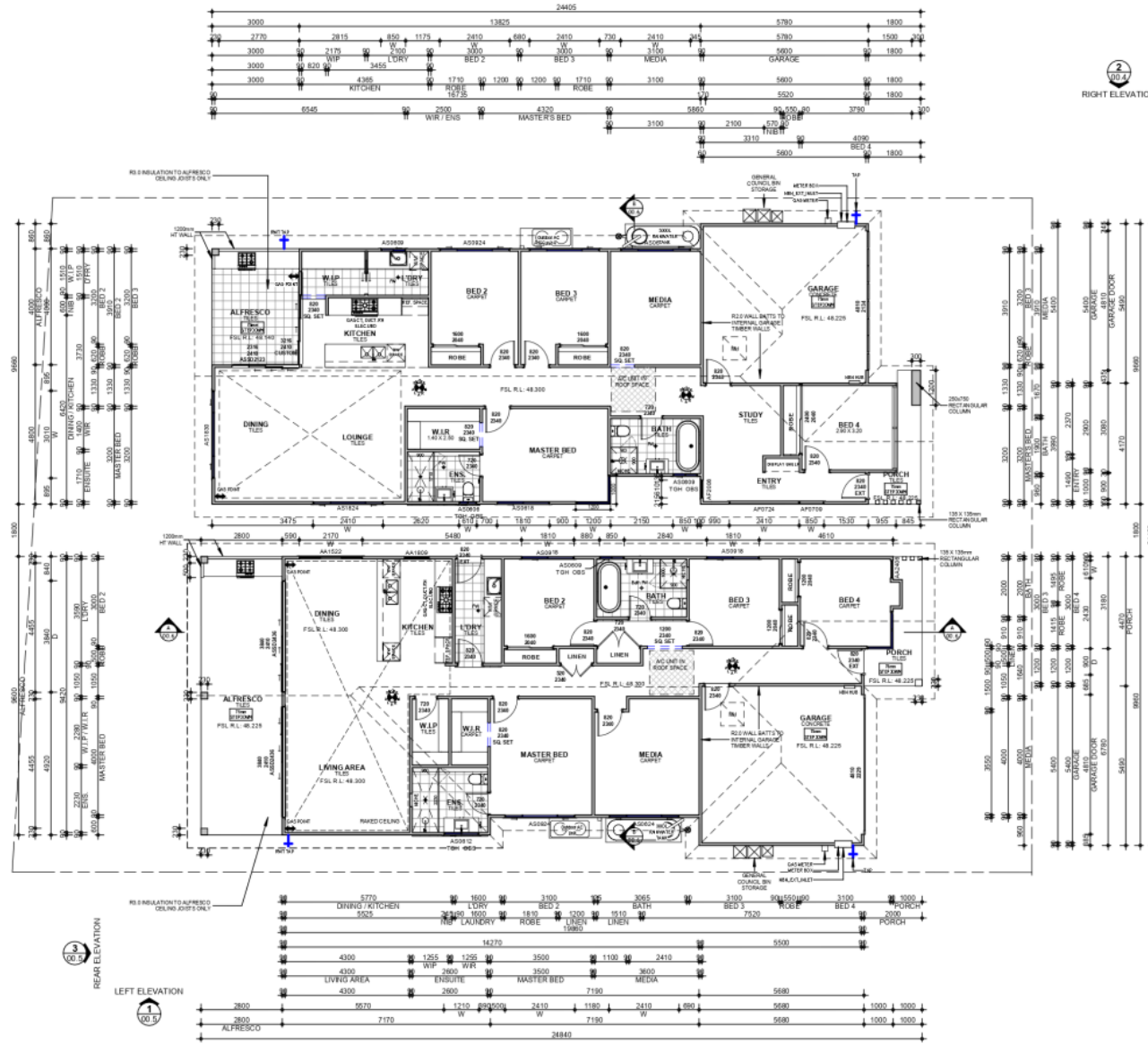
DRAWINGS BY:
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 info@duplexbuildingdesign.com
 www.duplexbuildingdesign.com
 Office: 1300 310 007

CLIENT:
TORI PETER GROUP
 ADDRESS:
LOT 2 & LOT 2A, IVERNESS AVENUE, MUDGE DEVELOPMENT

PROJECT:
CUSTOM DUPLEX
 DRAWING:
SITE ANALYSIS

DATE: 18.07.22
 SCALE: As indicated
 PROJECT No: DRAWING No: ISSUE:
21301 00.2 F

THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE. DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES.



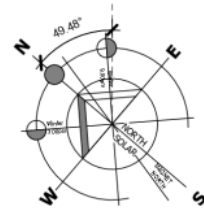
LEGEND

- FSL FINISHED SLAB LEVEL
- FF FINISHED FLOOR
- FFC FINISHED CEILING
- WIP WORK IN PROGRESS
- PROPOSED JOIST DIRECT OR CONFIRM WITH JOIST LAYOUT PLAN
- NARROW BROW SMOKE ALARM
- DRAINAGE POINT
- AIR-CONDITIONING RECEIVER
- AIR-CONDITIONING DUCT LINE
- AIR-CONDITIONING OUTLET
- KITCHEN / WET AREA ELEVATIONS
- BULKHEADS
- OVERHEAD CABINET

NOTE: ALL STRUCTURAL BEAMS/POSTS ARE AN INDICATION ONLY. REFER TO ENGINEERING DETAILS FOR ALL LOCATIONS & CONNECTIONS.

Area Schedule (Gross Building)

Name	Area
ALFRESCO	26.98 m ²
GROUND FLOOR	161.59 m ²
GARAGE	31.69 m ²
PORCH	5.76 m ²
LOT 2 - GROSS BUILDING AREA 4	225.92 m²
ALFRESCO	12.00 m ²
GROUND FLOOR	163.63 m ²
GARAGE	31.44 m ²
PORCH	4.58 m ²
LOT 2A - GROSS BUILDING AREA 4	211.65 m²

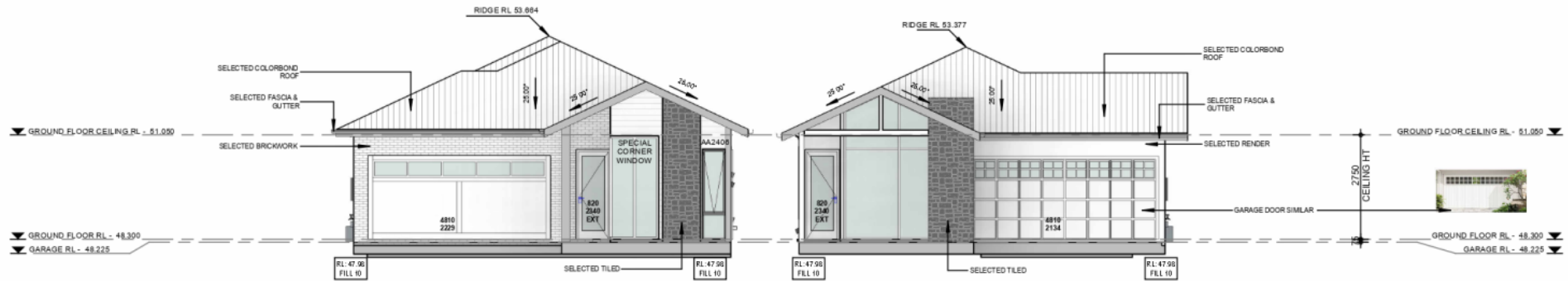


1 GROUND FLOOR PLAN
1:100

DA PLANS

<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>01</td> <td>PRELIMINARY DESIGN</td> <td>18/08/2022</td> </tr> <tr> <td>02</td> <td>REVISED DESIGN</td> <td>18/08/2022</td> </tr> <tr> <td>03</td> <td>REVISED DESIGN</td> <td>18/08/2022</td> </tr> <tr> <td>04</td> <td>REVISED DESIGN</td> <td>18/08/2022</td> </tr> <tr> <td>05</td> <td>REVISED DESIGN</td> <td>18/08/2022</td> </tr> <tr> <td>06</td> <td>REVISED DESIGN</td> <td>18/08/2022</td> </tr> <tr> <td>07</td> <td>REVISED DESIGN</td> <td>18/08/2022</td> </tr> </tbody> </table>	NO.	DESCRIPTION	DATE	01	PRELIMINARY DESIGN	18/08/2022	02	REVISED DESIGN	18/08/2022	03	REVISED DESIGN	18/08/2022	04	REVISED DESIGN	18/08/2022	05	REVISED DESIGN	18/08/2022	06	REVISED DESIGN	18/08/2022	07	REVISED DESIGN	18/08/2022	<p>SCALE BAR</p> <p>NORTH</p> <p>DRAWING BY: DUPLEX BUILDING DESIGN Office 1/100 Hargrave Street, Nelson info@duplexbuildingdesign.com www.duplexbuildingdesign.com Office 1/300 31/07</p>	<p>CLIENT: TORI PETER GROUP</p> <p>PROJECT: CUSTOM DUPLEX</p> <p>DRAWING: GROUND FLOOR PLAN</p> <p>DATE: 18/07/22 SCALE: 1:100 PROJECT No. DRAWING No. ISSUE: 21301 00.3 F</p>
NO.	DESCRIPTION	DATE																								
01	PRELIMINARY DESIGN	18/08/2022																								
02	REVISED DESIGN	18/08/2022																								
03	REVISED DESIGN	18/08/2022																								
04	REVISED DESIGN	18/08/2022																								
05	REVISED DESIGN	18/08/2022																								
06	REVISED DESIGN	18/08/2022																								
07	REVISED DESIGN	18/08/2022																								

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FRONT ELEVATION



RIGHT ELEVATION

DA PLANS

REV	DESCRIPTION	BY	DATE
A	PRELIMINARY PLANS	PD	08.10.2021
B	AMENDMENTS IN PLANS	PD	18.10.2021
C	AMENDMENTS IN PLAN	PD	21.10.2021
D	ISSUED FOR FACADE	PD	02.11.2021
E	ISSUED FOR DA	RE	18.11.2021
F	AMENDMENTS TO PLAN	DL	18.07.2022

SCALE BAR:



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 Office: 1300 310 007

CLIENT:
TORI PETER GROUP
 ADDRESS:
LOT 2 & LOT 2A, IVERNESS AVENUE, MUDGE DEVELOPMENT

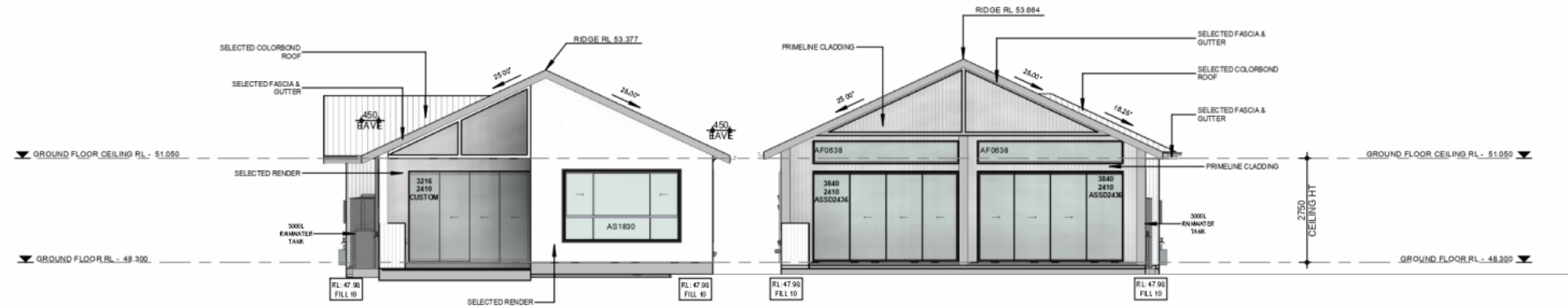
PROJECT:
CUSTOM DUPLEX
 DRAWING:
ELEVATION

DATE: 18.07.22
 SCALE: 1 : 100
 PROJECT No: DRAWING No: ISSUE:
21301 00.4 F

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LEFT ELEVATION



REAR ELEVATION

DA PLANS

REV	REVISION	BY	DATE
A	PRELIMINARY PLANS	PS	08.10.2021
B	AMENDMENTS IN PLANS	PS	18.10.2021
C	AMENDMENTS IN PLAN	PS	21.10.2021
D	ISSUED FOR FACADE	PS	02.11.2021
E	ISSUED FOR DA	RE	18.11.2021
F	AMENDMENTS TO PLAN	DL	18.07.2022

SCALE BAR:

NORTH:



DRAWINGS BY:



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www.duplexbuildingdesign.com
Office: 1300 310 007

CLIENT:

TORI PETER GROUP

ADDRESS:
LOT 2 & LOT 2A, IVERNESS AVENUE, MUDGE DEVELOPMENT

PROJECT:

CUSTOM DUPLEX

DRAWING:
ELEVATION

DATE: 18.07.22

SCALE: 1 : 100

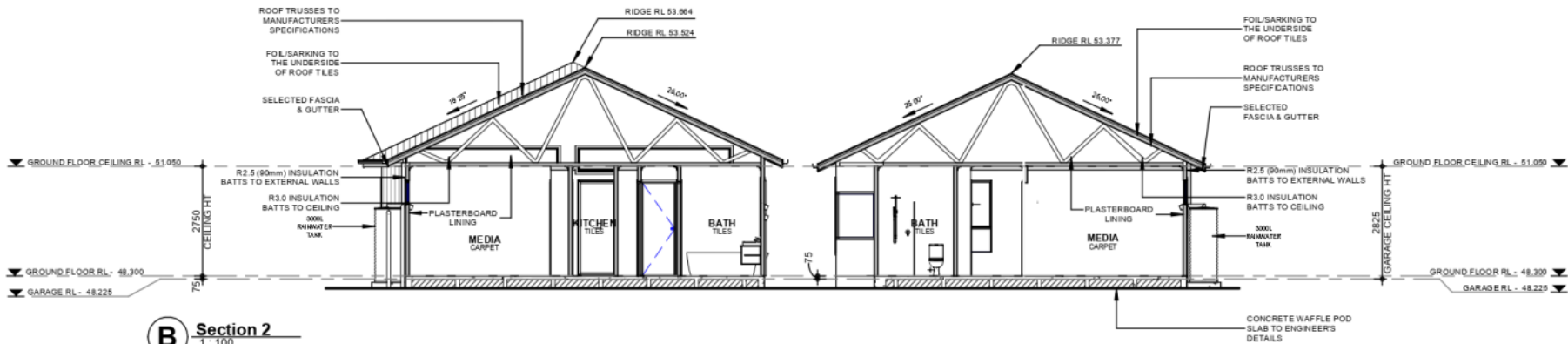
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21301 00.5 F

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A Section 1
1 : 100



B Section 2
1 : 100

DA PLANS

REV	REVISION	BY	DATE
A	PRELIMINARY PLANS	PD	08.10.2021
B	AMENDMENTS IN PLAN	PD	18.10.2021
C	AMENDMENTS IN PLAN	PD	21.03.2022
D	ISSUED FOR FACADE	PD	02.11.2022
E	ISSUED FOR DA	RE	18.11.2022
F	AMENDMENTS TO PLAN	DL	18.07.2022

SCALE BAR:



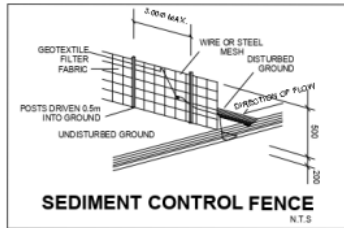
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TORI PETER GROUP
 ADDRESS:
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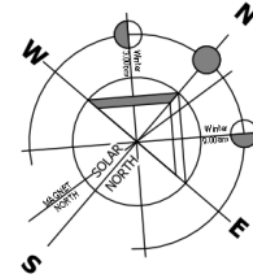
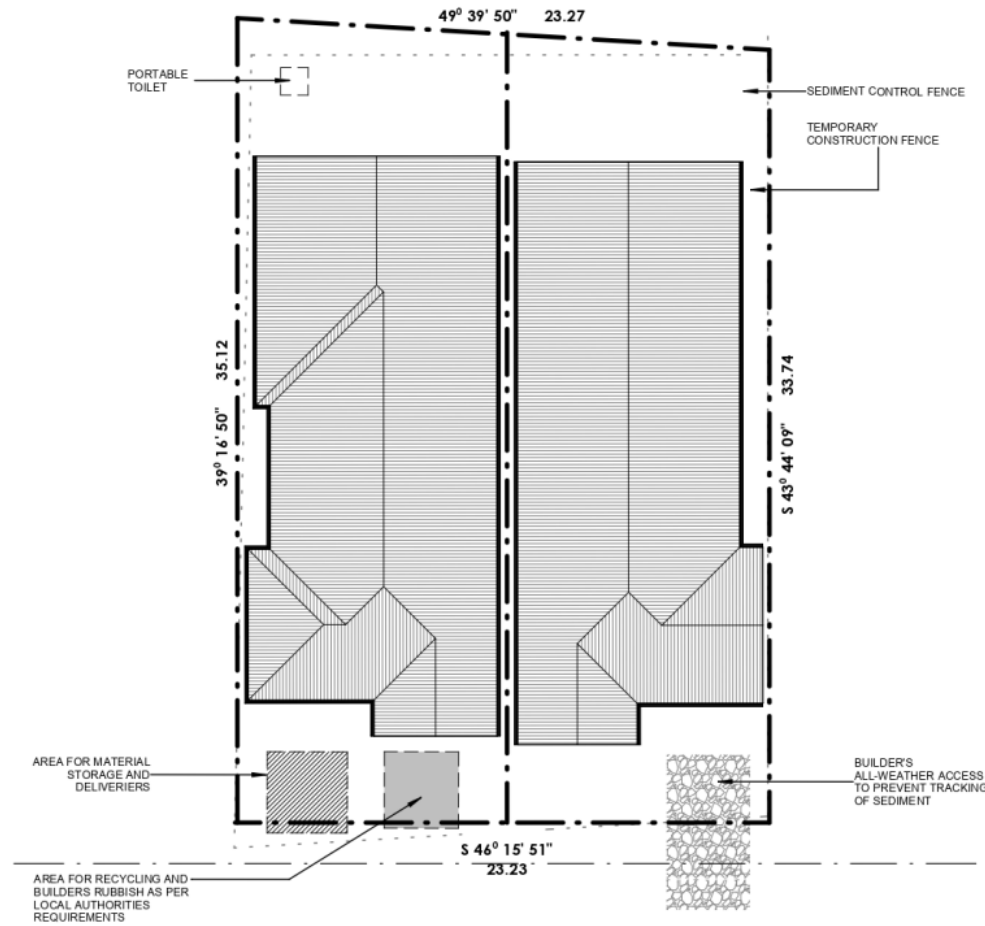
PROJECT:
CUSTOM DUPLEX
 DRAWING:
SECTION+DETAILS

DATE: 18.07.22
 SCALE: 1 : 100
 PROJECT No: DRAWING No: ISSUE:
21301 00.6 F

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SITE MANAGEMENT LEGEND	
	AREA FOR RECYCLING AND BUILDERS RUBBISH AS PER LOCAL AUTHORITIES REQUIREMENTS
	BUILDER'S ALL-WEATHER ACCESS TO PREVENT TRACKING OF SEDIMENT
	PORTABLE TOILET
	AREA FOR MATERIAL STORAGE AND DELIVERERS
	TEMPORARY CONSTRUCTION FENCE
	SEDIMENT CONTROL FENCE



SITE MANAGEMENT PLAN

DA PLANS

REV	REVISION	BY	DATE
A	PRELIMINARY PLANS	PG	08.10.2021
B	AMENDMENTS IN PLANS	PG	18.10.2021
C	AMENDMENTS IN PLAN	PG	21.10.2021
D	ISSUED FOR FACADE	PG	02.11.2021
E	ISSUED FOR DA	RE	18.11.2021
F	AMENDMENTS TO PLAN	DL	18.07.2022

SCALE BAR:



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CLIENT:
TORI PETER GROUP

ADDRESS:
LOT 2 & LOT 2A, IVERNESS AVENUE, MUDGE DEVELOPMENT

PROJECT:
CUSTOM DUPLEX

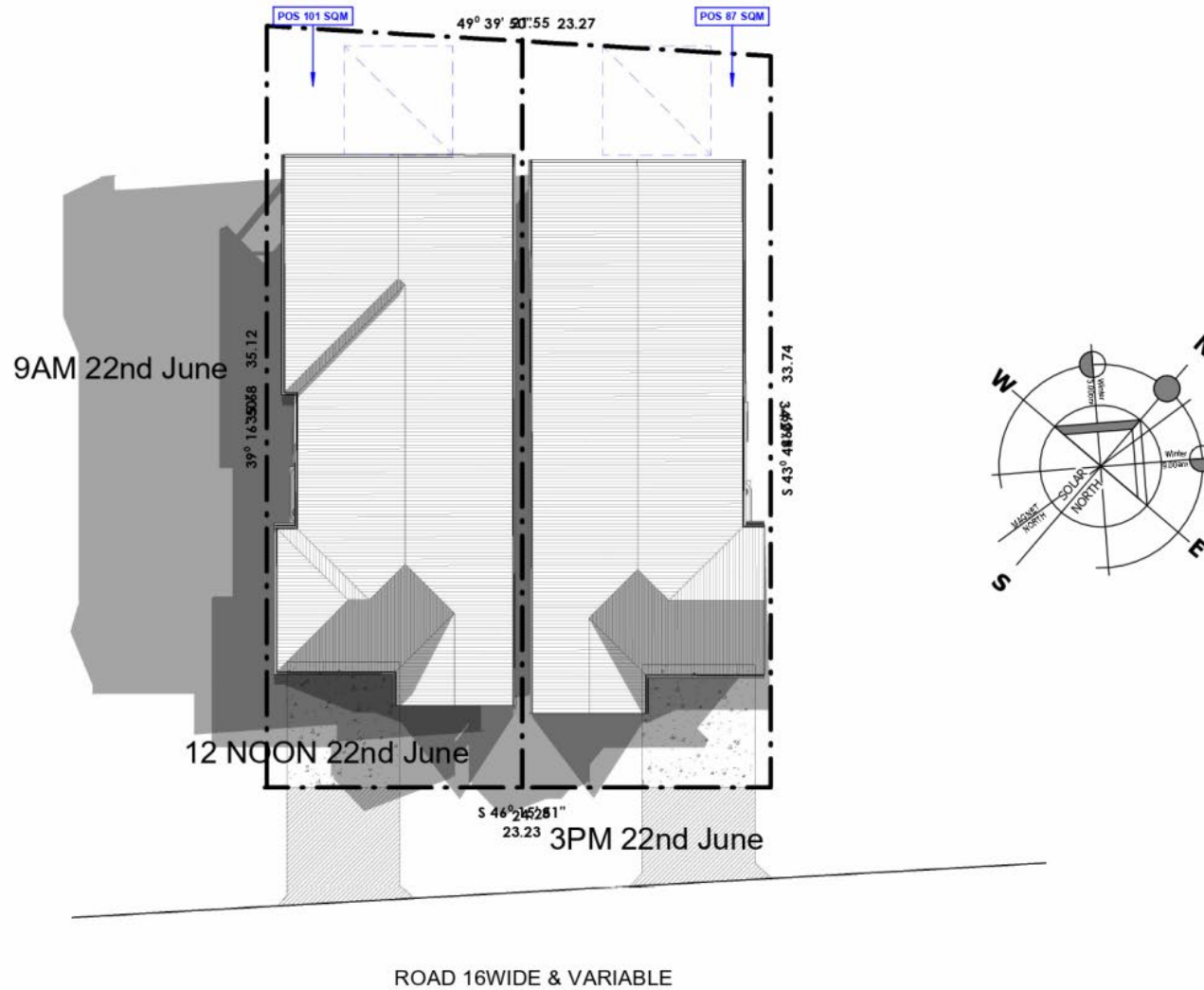
DRAWING:
SITE MANAGEMENT PLAN

DATE: 18.07.22

SCALE: As indicated

PROJECT No: DRAWING No: ISSUE:
21301 00.7 F

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DA PLANS

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SCALE BAR:



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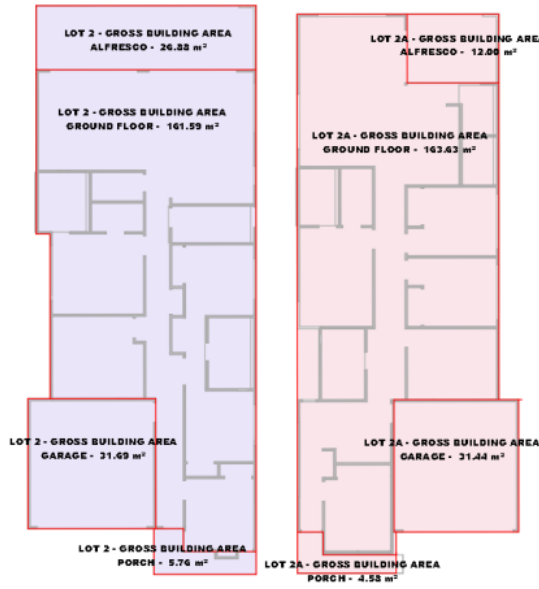
PROJECT:
CUSTOM DUPLEX
 DRAWING:
SHADOW DIAGRAM

DATE: 18.07.22
 SCALE: As indicated
 PROJECT No: 21301 DRAWING No: 00.8 ISSUE: F

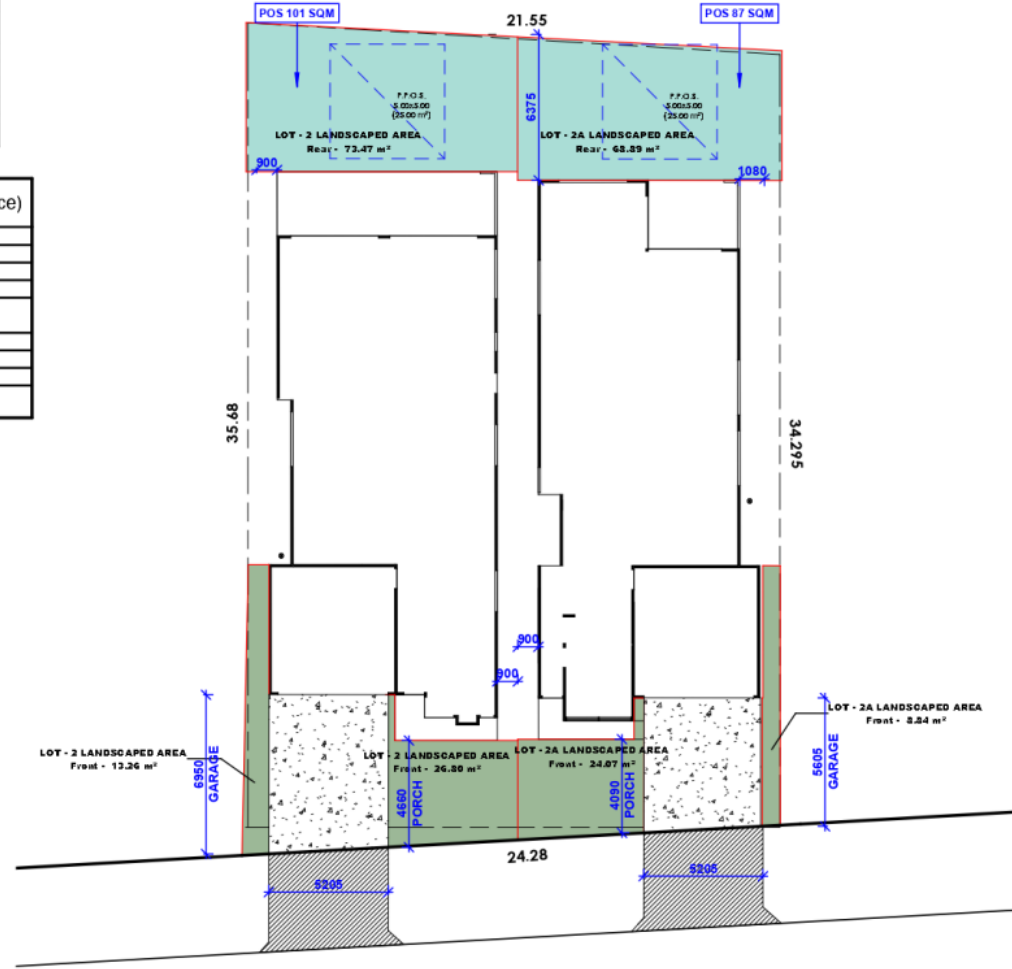
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Area Schedule (Gross Building)	
Name	Areas
ALFRESCO	26.88 m ²
GROUND FLOOR	161.59 m ²
GARAGE	31.69 m ²
PORCH	5.76 m ²
LOT 2 - GROSS BUILDING AREA: 4	225.92 m ²
ALFRESCO	12.00 m ²
GROUND FLOOR	163.63 m ²
GARAGE	31.44 m ²
PORCH	4.58 m ²
LOT 2A - GROSS BUILDING AREA: 4	211.65 m ²

Area Schedule (Landscape Compliance)	
Landscape Location	Areas
Front	26.80 m ²
Front	13.26 m ²
Rear	73.47 m ²
LOT - 2 LANDSCAPED AREA: 3	113.53 m ²
Front	24.07 m ²
Front	8.84 m ²
Rear	68.89 m ²
LOT - 2A LANDSCAPED AREA: 3	101.80 m ²



1 GROUND FLOOR - GROSS
1:200



2 LANDSCAPE COMPLIANCE
1:200

DA PLANS

REV	REVISION	BY	DATE
A	PRELIMINARY PLANS	PG	08.10.2021
B	AMENDMENTS IN PLANS	PG	18.10.2021
C	AMENDMENTS IN PLAN	PG	21.10.2021
D	ISSUED FOR FACADE	PG	02.11.2021
E	ISSUED FOR DA	RE	18.11.2021
F	AMENDMENTS TO PLAN	DL	18.07.2022

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 ADDRESS: **LOT 2 & LOT 2A, IVERNESS AVENUE, MUDGEE DEVELOPMENT**

PROJECT: **CUSTOM DUPLEX**
 DRAWING: **GROSS BUILDING AREA PLAN & LANDSCAPE COMPLIANCE**

DATE: 18.07.22
 SCALE: 1:200
 PROJECT No: DRAWING No: ISSUE: **21301 00.9 F**

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1 FRONT NOTIFICATION PLAN
1 : 200



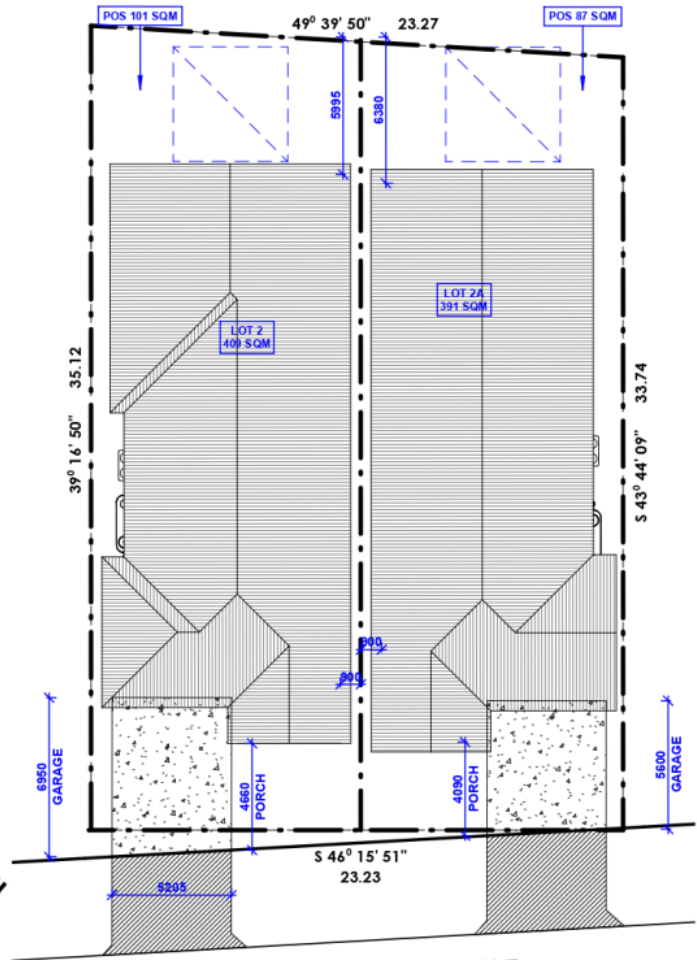
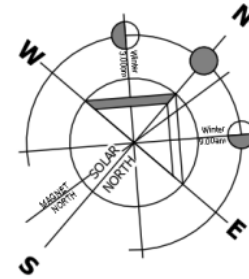
2 REAR NOTIFICATION PLAN
1 : 200



3 RIGHT ELEVATION PLAN
1 : 200



4 LEFT NOTIFICATION PLAN
1 : 200



5 SITE PLAN
1 : 200

DA PLANS

REV	REVISION	BY	DATE
A	PRELIMINARY PLANS	PG	08.10.2021
B	AMENDMENTS IN PLANS	PG	18.10.2021
C	AMENDMENTS IN PLAN	PG	21.10.2021
D	ISSUED FOR FACADE	PG	02.11.2021
E	ISSUED FOR DA	RE	18.11.2021
F	AMENDMENTS TO PLAN	DL	18.07.2022

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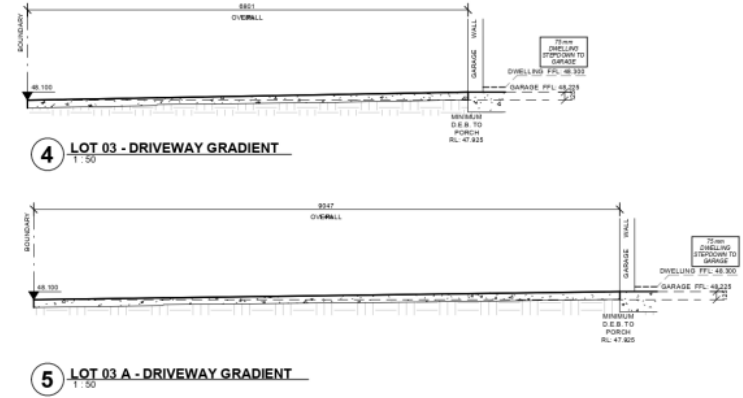
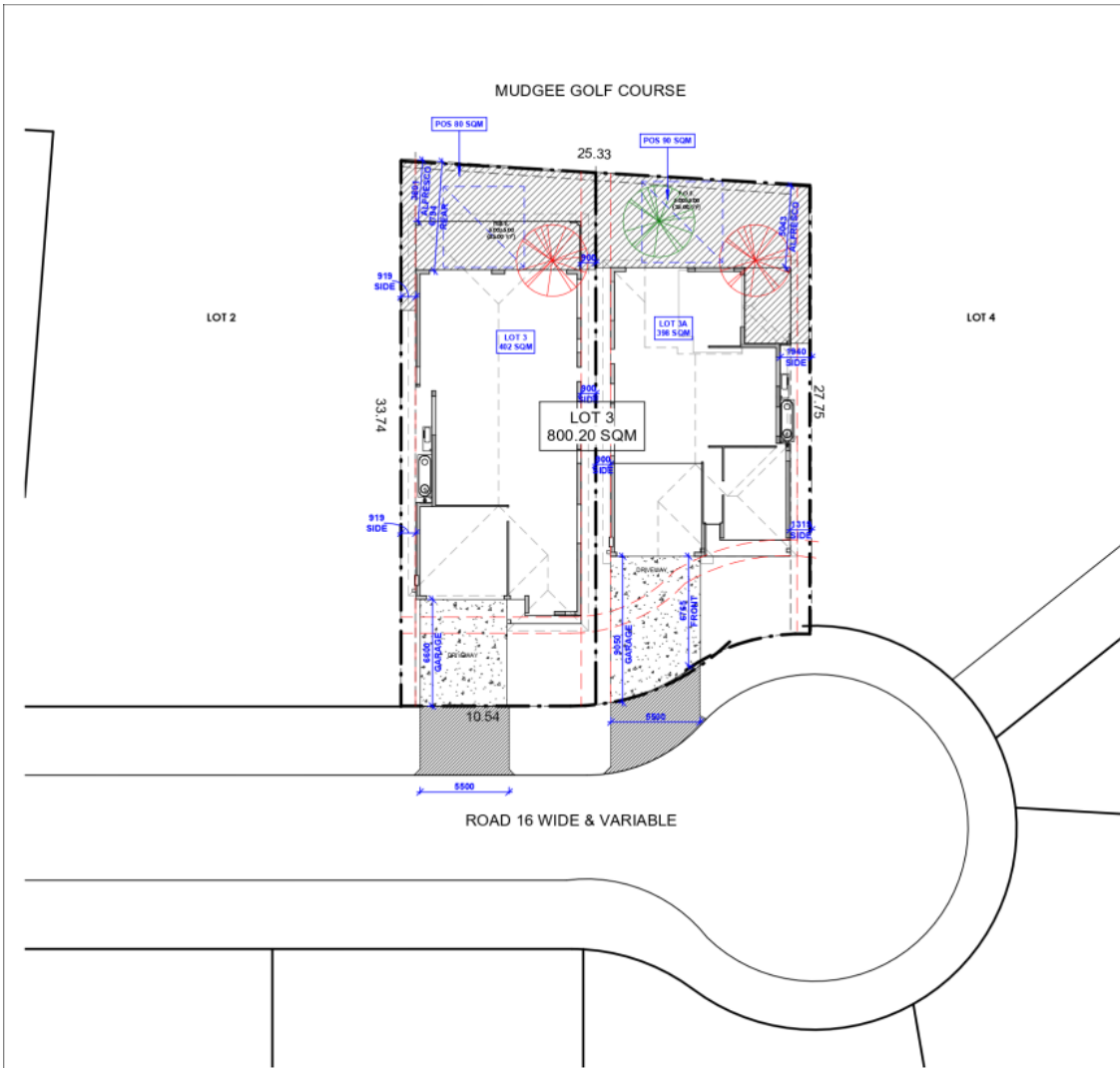


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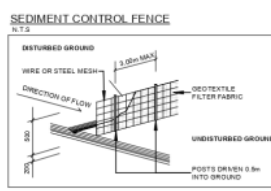
PROJECT:
CUSTOM DUPLEX
 DRAWING:
NOTIFICATION PLAN

DATE: 18.07.22
 SCALE: As indicated
 PROJECT No: 21301 DRAWING No: 00.10 ISSUE: F



SEDIMENT NOTE

- NO STOCKPILING OF MATERIALS IS PERMITTED ON THE VERGE BETWEEN EASEMENT & PROPERTY BOUNDARY.
- NO VEHICLE CIRCULATING OR STOCKPILING OF MATERIAL ON VEGETATION BUFFER.
- ALL SEDIMENT RETAINING STRUCTURES TO BE CLAIMED ON READING SOIL STORAGE CAPACITY.
- ALL EXISTING VEGETATION WILL BE RETAINED OUTSIDE THE CONSTRUCTION SITE.
- ROOF DRAINAGE IS TO BE CONNECTED TO THE STORMWATER SYSTEM AS SOON AS PRACTICABLE.
- DEPRESSIONS LEFT IN THE FOOTPATH BY HEAVY TRUCKS ARE TO BE FILLED AS SOON AS POSSIBLE.
- ONLY ONE EXIT POINT SHOULD BE USED & SHOULD BE CONSTRUCTED SO AS TO PREVENT SOIL READING THE ROAD & TO STOP ROOFS.
- DRAINAGE DITCHES ABOVE & BELOW CUT & FILLED AREAS ARE TO REDUCE EROSION FROM DISTURBED GROUND.



Area Schedule (Gross Building)

Name	Areas
ALFRESCO	34.26 m²
GROUND FLOOR	168.12 m²
GARAGE	33.56 m²
PORCH	3.39 m²
LOT 3 - GROSS BUILDING AREA 4	239.33 m²
GROUND FLOOR	142.95 m²
ALFRESCO	13.32 m²
GARAGE	32.39 m²
PORCH	6.82 m²
FIRST FLOOR	19.08 m²
LOT 3A - GROSS BUILDING AREA 3	214.16 m²

WIND CLASSIFICATION: TM
SLAB CLASSIFICATION: TM

PROPERTY DESCRIPTION

LOT: 3
D.P: 1165146
L.G.A: MID-WESTERN REGIONAL

DA COUNCIL APPROVAL
DO NOT SIGNIFICANT APPROVAL REQUIREMENTS
REF TO COUNCIL REGULATIONS FOR FURTHER DETAILS

FLOOR SPACE RATIO (FSR)
*Values are proposed for the site area of 800.20 sqm and are subject to the final area, shape, size, and proposed quantity of buildings.
As per the Council's Planning Scheme (MPS) and the Council's Planning Scheme (MPS) and the Council's Planning Scheme (MPS)

TOTAL SITE AREA	PERMITTED BUILDING SITE AREA
800.20	333.23
GROUND FLOOR	168.12
FIRST FLOOR	0.00
TOTAL GROSS FLOOR AREA	0.00
PROPOSED FSR	0.00%
ALLOWED FSR	0%

SITE COVERAGE AREA

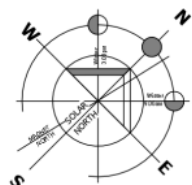
GROUND FLOOR AREA	PERMITTED BUILDING AREA
168.12	333.23
GARAGE AREA	33.56
PROPOSED SITE COVERAGE	48.55%
MAX SITE COVERAGE	50%

LANDSCAPE

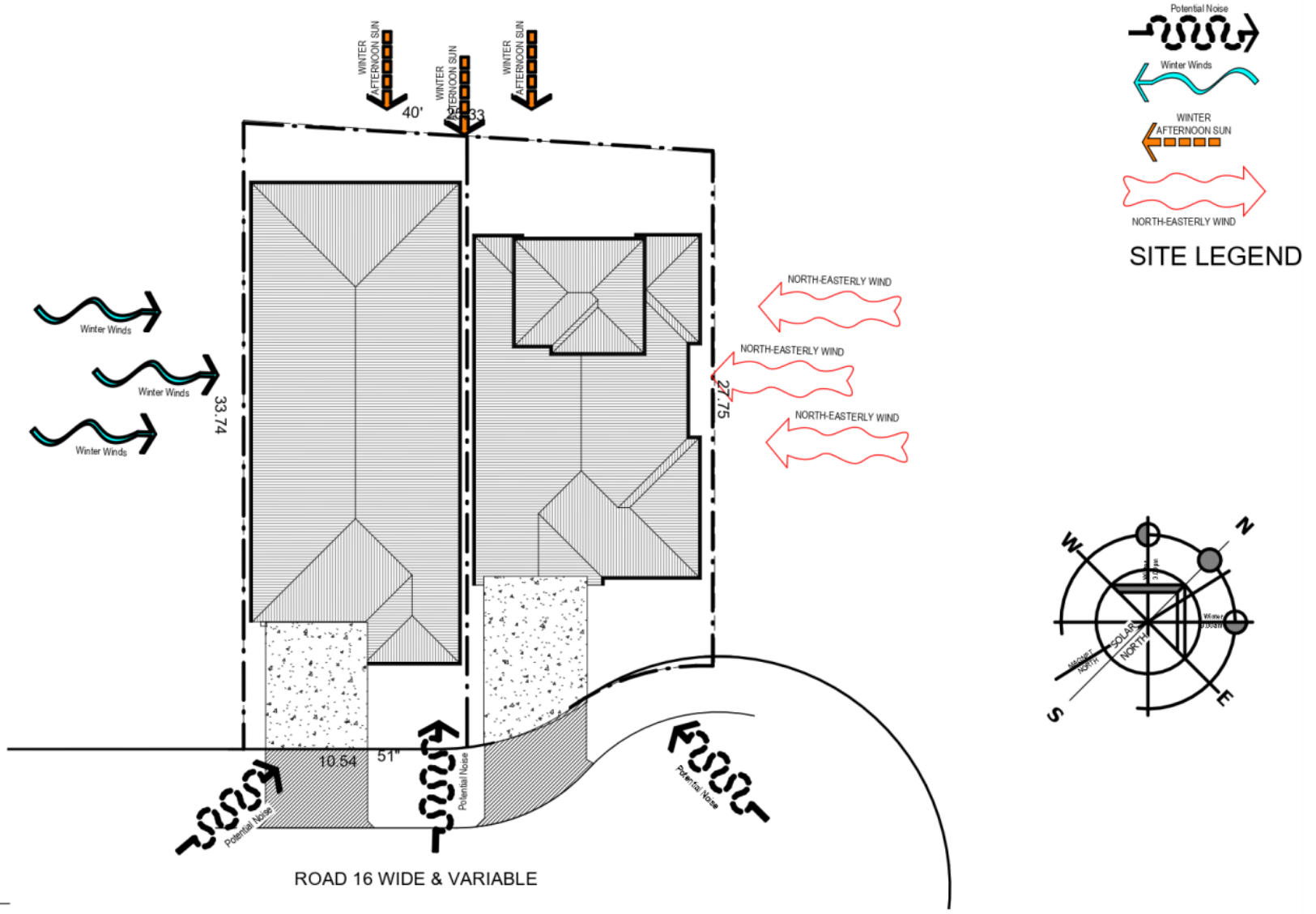
TOTAL HARDSHIP AREA	PERMITTED BUILDING AREA
---	---
DRIVEWAY AREA	168.12
LESS THAN 1m	0.00
FORSHYVANE AREA	2.28
ALFRESCO AREA	39.45
REMAINING SOFT LANDSCAPE AREA	---
PROPOSED LANDSCAPE AREA	---
MIN. REQUIRED BY COUNCIL	0%

PRIVATE OPEN SPACE

PRIVATE OPEN SPACE	PERMITTED BUILDING AREA
25.00	23.00
PRIVATE OPEN SPACE	49.37
MIN. ALLOWABLE BY COUNCIL	40.00
MIN. ALLOWABLE BY COUNCIL	0.00%



- Z - PROPOSED EASEMENT FOR ACCESS 4.5 WIDE
- A1 - EASEMENT FOR ACCESS VARIABLE WIDTH (DP 1143747)
- A3 - EASEMENT FOR ACCESS VARIABLE WIDTH, 8 AND 5 WIDE (DP 1165146)
- D1 - EASEMENT FOR ACCESS 8 WIDE (DP 1164977)
- D3 - EASEMENT FOR ACCESS VARIABLE WIDTH, 4.965, 5 AND 8 WIDE (DP 1165146)
- P1 - POSITIVE COVENANT (DP 1143747)
- R1 - RESTRICTIONS ON THE USE OF LAND (DP 1143747)



1 SITE ANALYSIS
 1:200

ROAD 16 WIDE & VARIABLE

DA PLANS

REV	REVISION	BY	DATE
A	PRELIMINARY PLANS	PG	18.10.2021
B	AMENDMENTS IN PLAN	PG	22.10.2021
C	AMENDMENTS FOR LOT 3A	PG	20.03.2022
D	AMENDMENT FOR FENCE	PG	11.11.2022
E	ISSUED FOR DA	RS	18.11.2022
F	AMENDMENT TO PLANS	DL	Date B

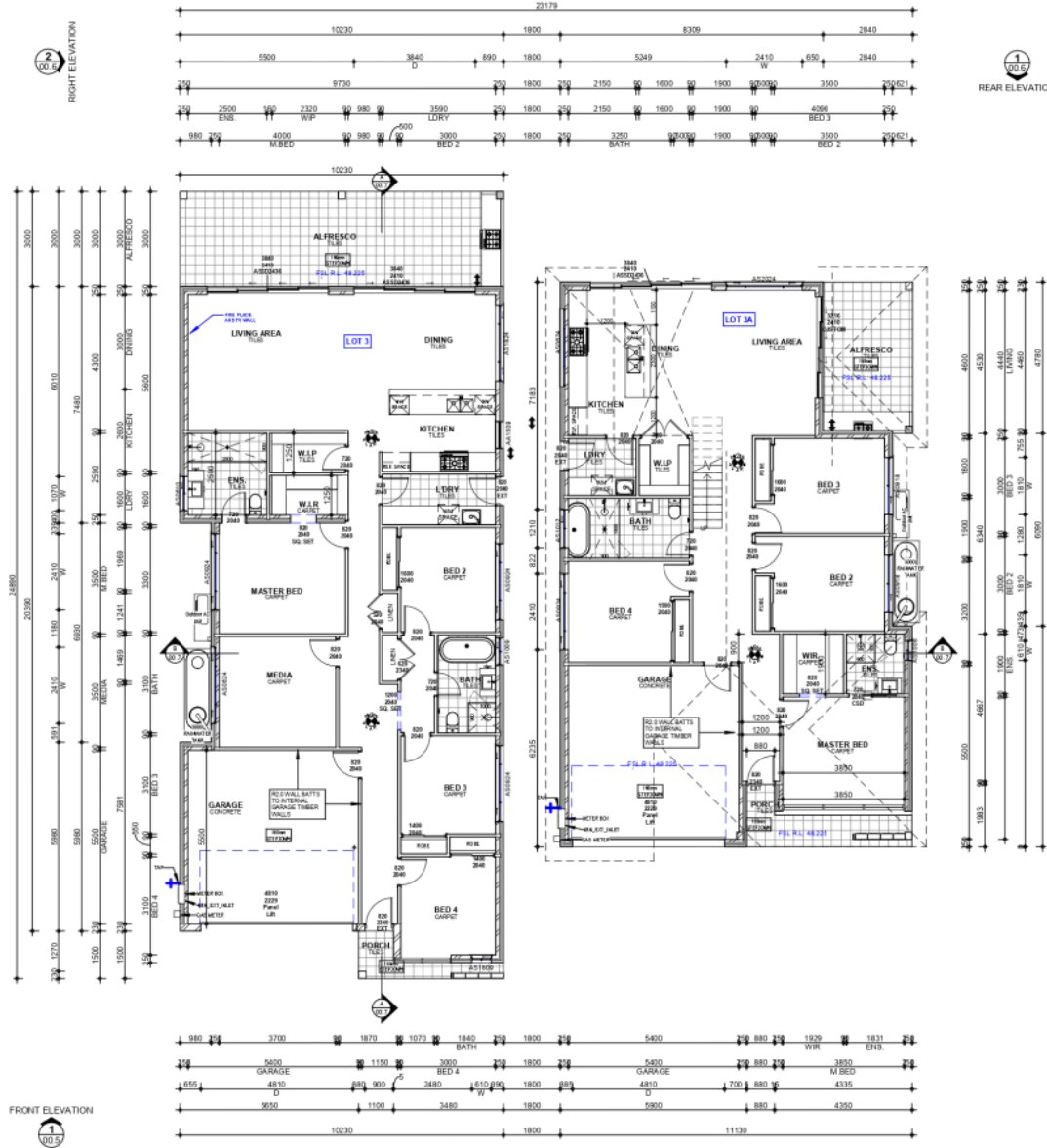
SCALE BAR: _____ NORTH:  DRAWINGS BY: **DUPLEX BUILDING DESIGN**
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 info@duplexbuildingdesign.com www.duplexbuildingdesign.com Office: 1300 310 007

CLIENT: **TORI PETER GROUP**
 ADDRESS: **LOT 3 & LOT 3A, MUDGEE DEVELOPMENT**

PROJECT: **CUSTOM DUPLEX**
 DRAWING: **SITE ANALYSIS**

DATE: 18.07.22
 SCALE: As indicated
 PROJECT No: 21302 DRAWING No: 00.2 ISSUE: F

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1 GROUND FLOOR PLAN
1:100

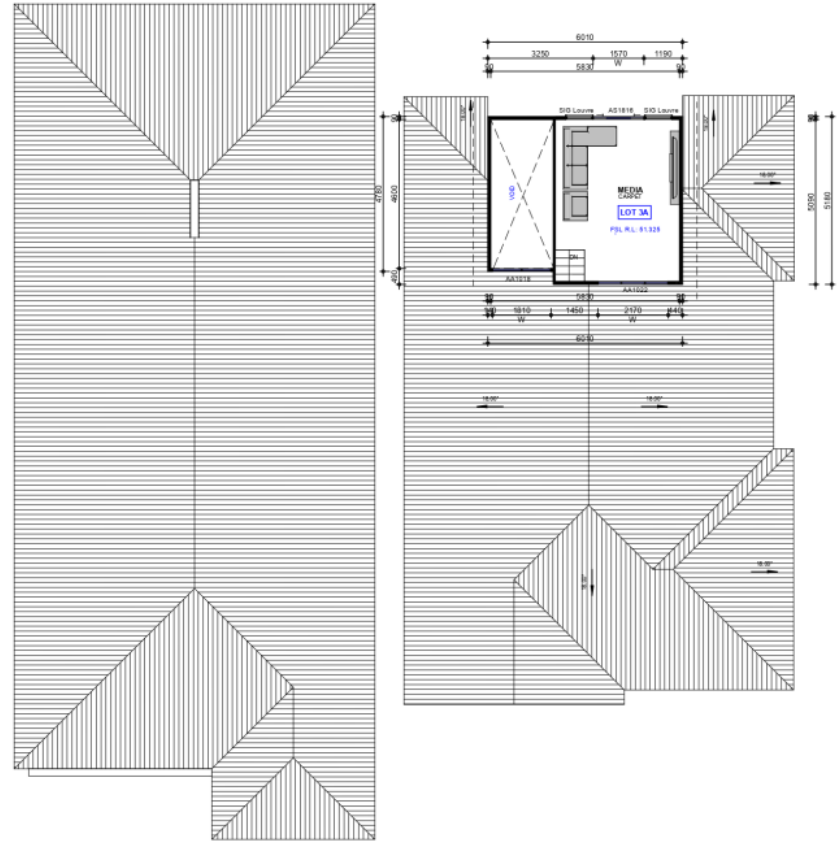
FIRST FLOOR PLAN

DA PLANS

Area Schedule (Gross Building)	
Name	Area
ALFRESCO	34.26 m ²
GROUND FLOOR	158.12 m ²
GARAGE	33.56 m ²
PORCH	3.39 m ²
LOT 3 - GROSS BUILDING AREA 4	239.33 m ²
GROUND FLOOR	142.55 m ²
ALFRESCO	13.32 m ²
GARAGE	32.39 m ²
PORCH	6.82 m ²
FIRST FLOOR	19.08 m ²
LOT 3A - GROSS BUILDING AREA 5	214.16 m ²

<table border="1"> <tr> <th>NO.</th> <th>REVISION</th> <th>DATE</th> </tr> <tr> <td>01</td> <td>PRELIMINARY DESIGN</td> <td>21.08.2022</td> </tr> <tr> <td>02</td> <td>REVISIONS TO PLAN</td> <td>21.08.2022</td> </tr> <tr> <td>03</td> <td>REVISIONS TO ELEVATIONS</td> <td>21.08.2022</td> </tr> <tr> <td>04</td> <td>REVISIONS TO SECTION</td> <td>21.08.2022</td> </tr> <tr> <td>05</td> <td>REVISIONS TO FINISHES</td> <td>21.08.2022</td> </tr> <tr> <td>06</td> <td>AMENDMENT TO PREPARE</td> <td>01.09.2022</td> </tr> </table>	NO.	REVISION	DATE	01	PRELIMINARY DESIGN	21.08.2022	02	REVISIONS TO PLAN	21.08.2022	03	REVISIONS TO ELEVATIONS	21.08.2022	04	REVISIONS TO SECTION	21.08.2022	05	REVISIONS TO FINISHES	21.08.2022	06	AMENDMENT TO PREPARE	01.09.2022	<p>SCALE BAR</p> <p>NORTH</p> <p>DRAWING BY: DUPLEX BUILDING DESIGN Office: 1/100 Mudgee, Klame & Clarke info@duplexbuildingdesign.com www.duplexbuildingdesign.com Office: 1/300 310 ST</p>	<p>CLIENT: TORI PETER GROUP</p> <p>PROJECT: CUSTOM DUPLEX</p> <p>ADDRESS: LOT 3 & LOT 3A, MUDGE DEVELOPMENT</p> <p>DRAWING: GROUND FLOOR PLAN</p>	<p>DATE: 18.07.22</p> <p>SCALE: 1:100</p> <p>PROJECT No: DRAWING No: 10552E</p> <p>21302 00.3 F</p>
NO.	REVISION	DATE																						
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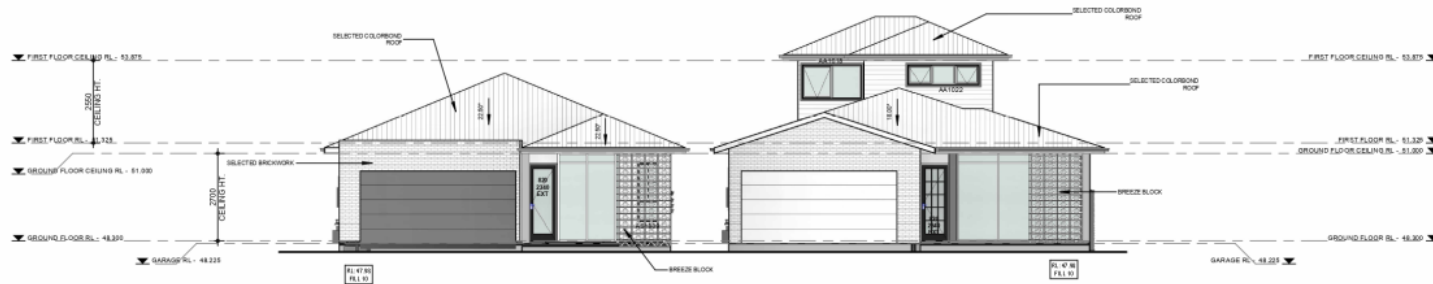
1 FIRST FLOOR PLAN
 1 - 100

Area Schedule (Gross Building)	
Name	Area
ALFRESCO	34.26 m ²
GROUND FLOOR	128.12 m ²
GARAGE	33.56 m ²
PORCH	3.39 m ²
LOT 3 - GROSS BUILDING AREA 4	239.33 m²
GROUND FLOOR	142.55 m ²
ALFRESCO	13.32 m ²
GARAGE	32.39 m ²
PORCH	6.82 m ²
FIRST FLOOR	19.08 m ²
LOT 3A - GROSS BUILDING AREA 5	214.16 m²

DA PLANS

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2	ASSESSMENT TO PERMITS	DL	18/07/22															

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FRONT ELEVATION



LEFT ELEVATION

DA PLANS

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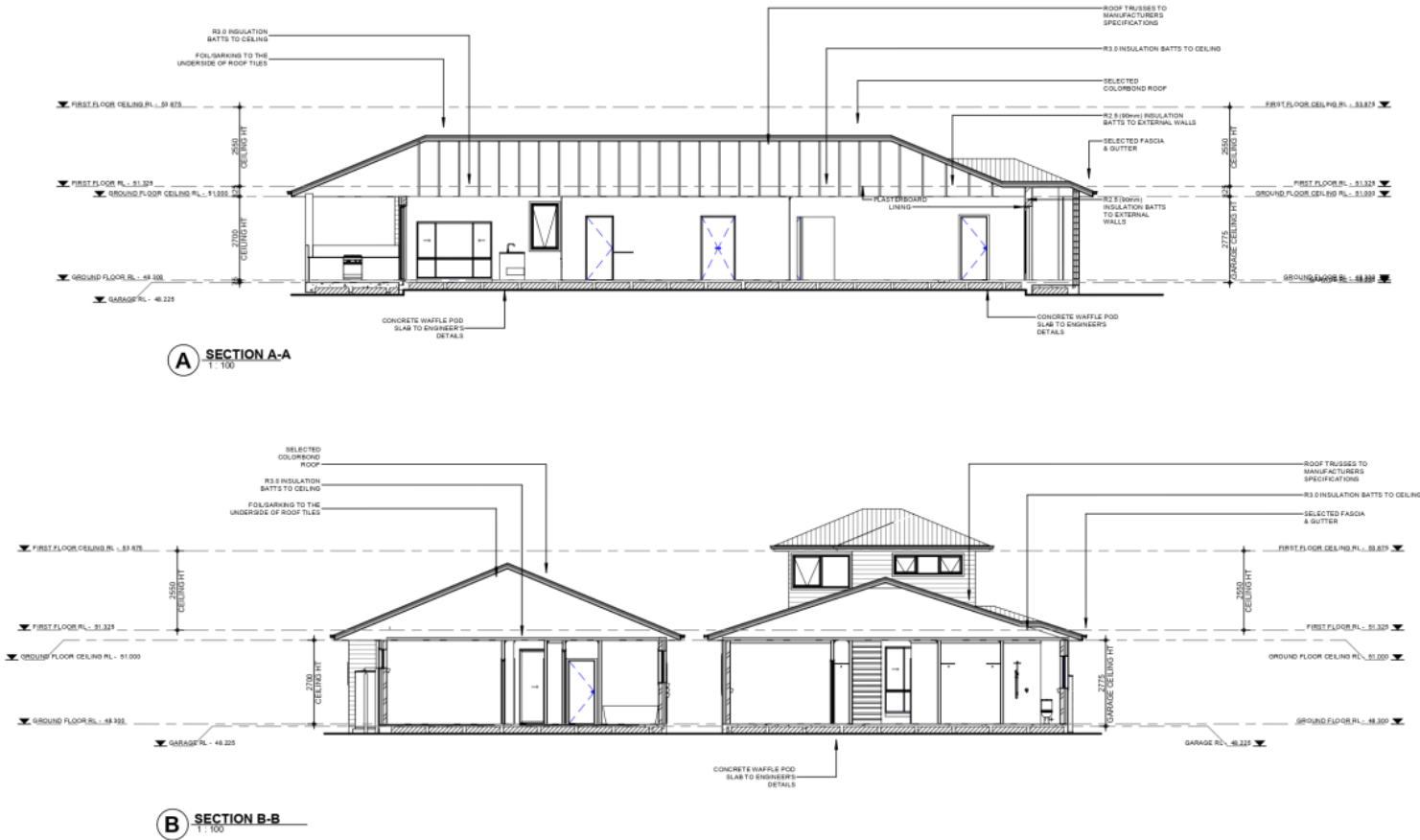
REAR ELEVATION



RIGHT ELEVATION

DA PLANS

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NO.	REVISION	DATE
01	PRELIMINARY DESIGN	21/08/2022
02	AMENDMENT TO PLAN	22/08/2022
03	DEFINITIVE DESIGN	22/08/2022
04	REVISION FOR SCHEME	11/09/2022
05	REVISION	06/10/2022
06	AMENDMENT TO PLAN	06/10/2022

SCALE BAR



DRAWN BY:



DUPLEX BUILDING DESIGN
Office: 47 Hologram, Kilmac 5, Clacka
info@duplexbuildingdesign.com
www.duplexbuildingdesign.com
Office: 1300 310 087

CLIENT:

TORI PETER GROUP

ADDRESS:
**LOT 3 & LOT 3A, MUDGE
DEVELOPMENT**

PROJECT:

CUSTOM DUPLEX

DRAWING:
SECTION-DETAILS

DA PLANS

DATE:

18/07/22

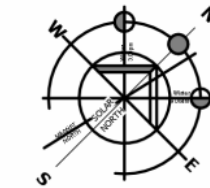
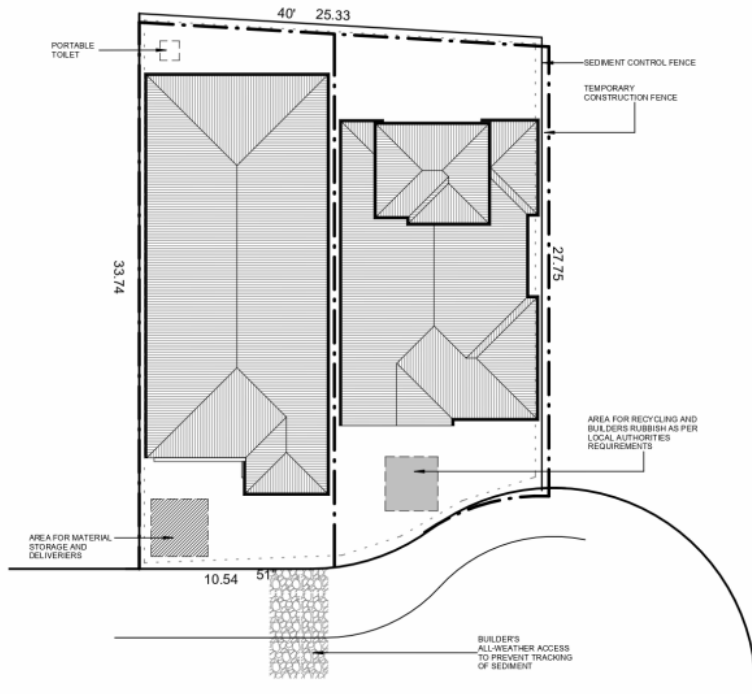
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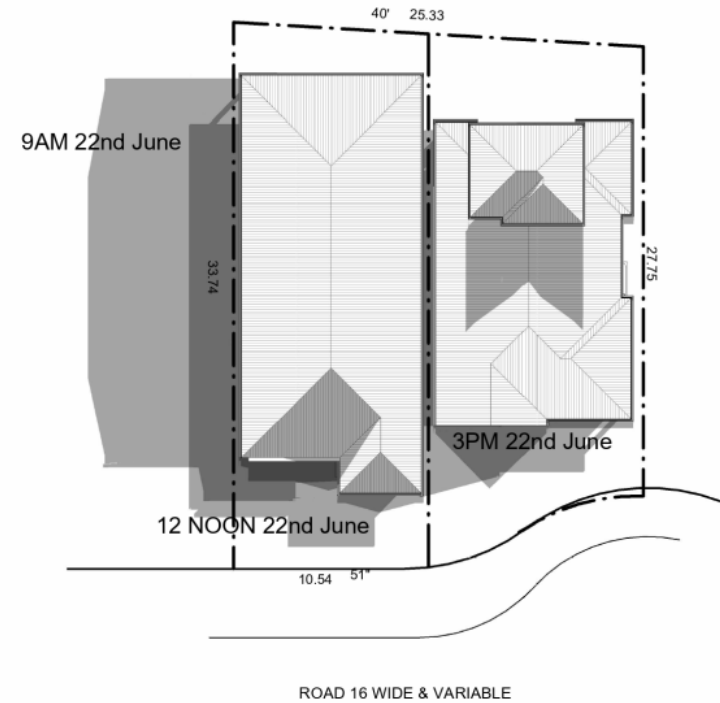
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SITE MANAGEMENT LEGEND	
	AREA FOR RECYCLING AND BUILDERS RUBBISH AS PER LOCAL AUTHORITIES REQUIREMENTS
	BUILDERS ALL-WEATHER ACCESS TO PREVENT TRACKING OF SEDIMENT
	PORTABLE TOILET
	AREA FOR MATERIAL STORAGE AND DELIVERERS
	TEMPORARY CONSTRUCTION FENCE
	SEDIMENT CONTROL FENCE



NO.	REVISION	BY	DATE
01	PRELIMINARY DESIGN	SA	18/07/22
02	DESIGN DEVELOPMENT	SA	18/07/22
03	FINAL DESIGN	SA	18/07/22
04	CONSTRUCTION	SA	18/07/22
05	AMENDMENT TO PLAN	SA	18/07/22

SCALE BAR



DUPLEX BUILDING DESIGN
 Offices in: Wollongong, Kiama & Shellharbour
 info@duplexbuildingdesign.com
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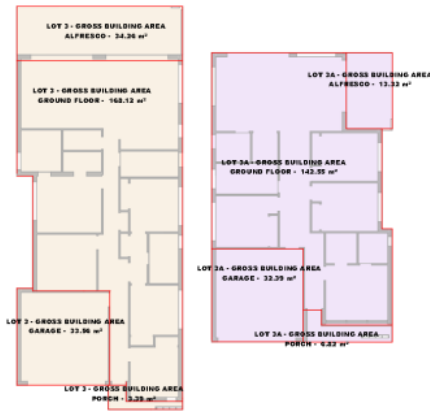
CLIENT: TORI PETER GROUP
 ADDRESS: LOT 3 & LOT 3A, MUDGEE DEVELOPMENT

PROJECT: CUSTOM DUPLEX
 DRAWING: SITE MANAGEMENT PLAN & SHADOW DIAGRAMS

DA PLANS

DATE: 18/07/22
 SCALE: As indicated
 PROJECT No: 21302
 DRAWING No: 00.8 F

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1 GROUND FLOOR - GROSS
1:200

Area Schedule (Gross Building)

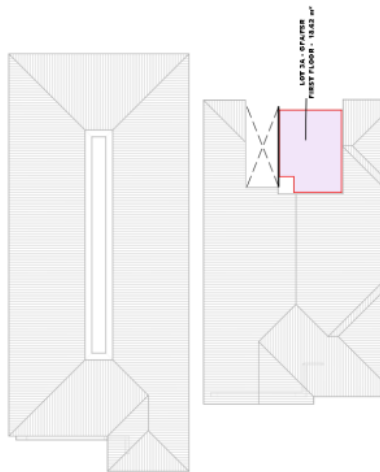
Name	Area
ALFRESCO	34.26 m ²
GROUND FLOOR	168.12 m ²
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LOT 3 - GROSS BUILDING AREA 4	239.33 m ²
GROUND FLOOR	142.56 m ²
ALFRESCO	13.32 m ²
GARAGE	32.39 m ²
PORCH	6.82 m ²
FIRST FLOOR	13.08 m ²
LOT 3A - GROSS BUILDING AREA 5	214.16 m ²



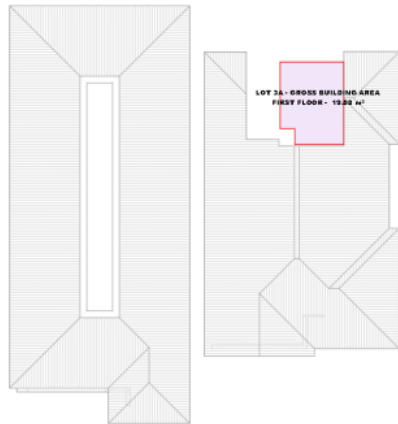
3 GROUND FLOOR - GFA/FSR
1:200

Area Schedule (GFA/FSR)

Name	Area
GROUND FLOOR	144.58 m ²
FIRST FLOOR	18.62 m ²
LOT 3A - GFA/FSR 2	163.19 m ²
GARAGE	17.10 m ²
LOT 3A - EXCLUDED AREA 1	17.10 m ²
GROUND FLOOR	170.61 m ²
LOT 3 - GFA/FSR 1	170.61 m ²
GARAGE	18.75 m ²
LOT 3 - EXCLUDED AREA 1	18.75 m ²
Grand total 5	369.66 m ²



4 FIRST FLOOR - GFA/FSR
1:200



2 FIRST FLOOR - GROSS
1:200



5 LANDSCAPING AREA
1:200

Area Schedule (Landscape Compliance)

Landscape Location	Area
Rear	49.78 m ²
Front	29.66 m ²
LOT 3 - LANDSCAPE 2	79.44 m ²
Rear	71.98 m ²
Front	33.63 m ²
LOT 3A - LANDSCAPE 2	105.61 m ²

NO.	REVISION	DATE	BY	CHKD
01	PRELIMINARY PLAN	20	18	2022
02	AMENDMENT TO PLAN	20	18	2022
03	DEVELOPER'S PRELIMINARY	20	18	2022
04	REVISION FOR SCHEME	20	18	2022
05	REVISION FOR SCHEME	20	18	2022
06	AMENDMENT TO PLAN	20	18	2022

SCALE BAR



DRAWN BY:



DUPLEX BUILDING DESIGN
Office: 111 Hologang, Karama 5, Blackie
info@duplexbuildingdesign.com
www.duplexbuildingdesign.com
Office: 1300 310 087

CLIENT:

TORI PETER GROUP
ADDRESS:
LOT 3 & LOT 3A, MUDGE
DEVELOPMENT

PROJECT:

CUSTOM DUPLEX
DRAWING:
GROSS BUILDING AREA PLAN

DA PLANS

DATE: 18.07.22

SCALE: 1:200

PROJECT No. DRAWING No. ISSUE:
21302 00.9 F

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Front_Notification



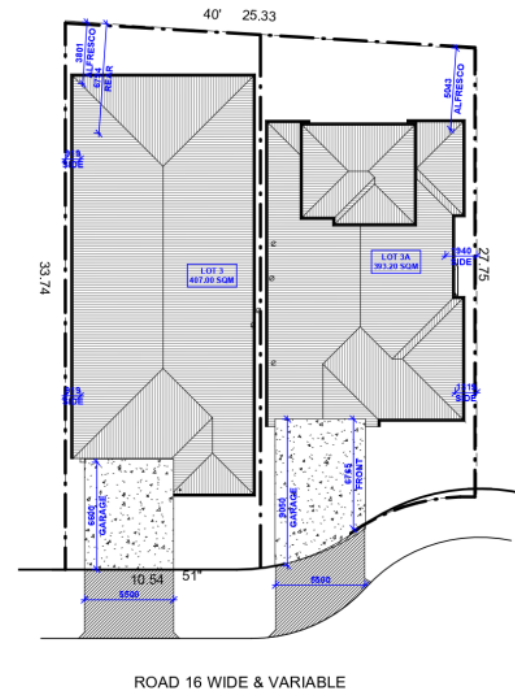
Rear_Notification



Left_Notification



Right_Notification



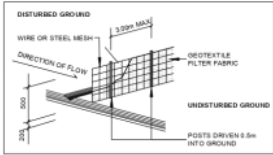
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DA PLANS

SEDIMENT NOTE

- 1. NO STOCKPILES OF MATERIALS (PERMITTED ON THE VERGE BETWEEN KERB & PROPERTY BOUNDARY).
- 2. NO VEHICLE CROSSING OR STOCKPILES OF MATERIAL ON VEGETATION BUFFER.
- 3. ALL SEDIMENT RETENTION STRUCTURES TO BE CLEANED ON REACHING 80% STORAGE CAPACITY.
- 4. ALL EXISTING VEGETATION SHALL BE RETAINED OUTSIDE THE CONSTRUCTION SITE.
- 5. ROCK DRAINAGE IS TO BE CONNECTED TO THE STORMWATER SYSTEM AS SOON AS PRACTICABLE.
- 6. DEPRESSIONS LEFT IN THE FOOTPATH BY HEAVY TRUCKS ARE TO BE FILLED AS SOON AS POSSIBLE.
- 7. ONLY ONE EXIT POINT SHOULD BE USED & SHOULD BE CONSTRUCTED SO AS TO PREVENT SOIL REACHING THE ROAD & TO STOP MOODING.
- 8. DRAINAGE DITCHES ABOVE & BELOW CUT & FILLED AREAS ARE TO REDUCE EROSION FROM DISTURBED GROUND.

SEDIMENT CONTROL FENCE



Area Schedule (Gross Building)

Name	Area
LOT 4 GROSS BUILDING AREA	
U1 GROUND FLOOR	112.14 m ²
U1 GARAGE	39.99 m ²
U1 ALFRESCO	13.77 m ²
U1 PORCH	1.83 m ²
U1 FIRST FLOOR	68.09 m ²
LOT 4 GROSS BUILDING AREA: 5	235.82 m²
LOT 4A GROSS BUILDING AREA	
U2 GROUND FLOOR	132.85 m ²
U2 ALFRESCO	12.46 m ²
U2 GARAGE	32.26 m ²
U2 PORCH	1.57 m ²
U2 FIRST FLOOR	49.52 m ²
LOT 4A GROSS BUILDING AREA: 5	228.66 m²

WIND CLASSIFICATION: SLAB CLASSIFICATION: **TM**

PROPERTY DESCRIPTION

LOT: **4**
D.P.: **1165146**
L.G.A.: **MID-WESTERN REGIONAL**

DA COUNCIL APPROVAL

OWNER: **MID-WESTERN REGIONAL COUNCIL**
REFER TO COUNCIL RESOLUTIONS FOR FURTHER DETAILS

FLOOR SPACE RATIO (FSR)

Take an appropriate level for the use of the site and the proposed use, and use the following table to determine the maximum FSR. The maximum FSR shall not exceed the maximum FSR for the site.

TOTAL SITE AREA	FSR	ALLOWED FSR
888.88	0.88	0.88

SITE COVERAGE AREA

GROUND FLOOR AREA	GROUND FLOOR AREA
112.14	132.85
39.99	49.52
13.77	12.46
1.83	1.57
PROPOSED SITE COVERAGE: 49.88%	39.88%
MAX SITE COVERAGE: 50%	50%

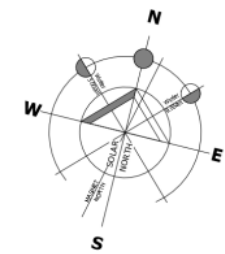
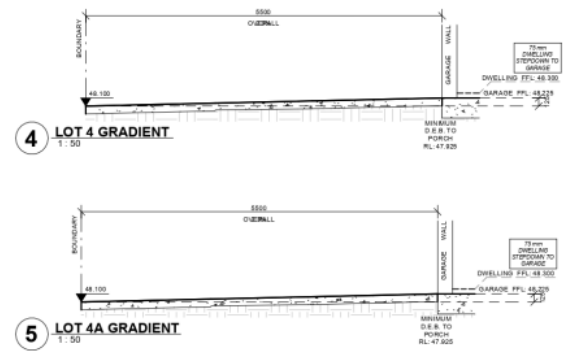
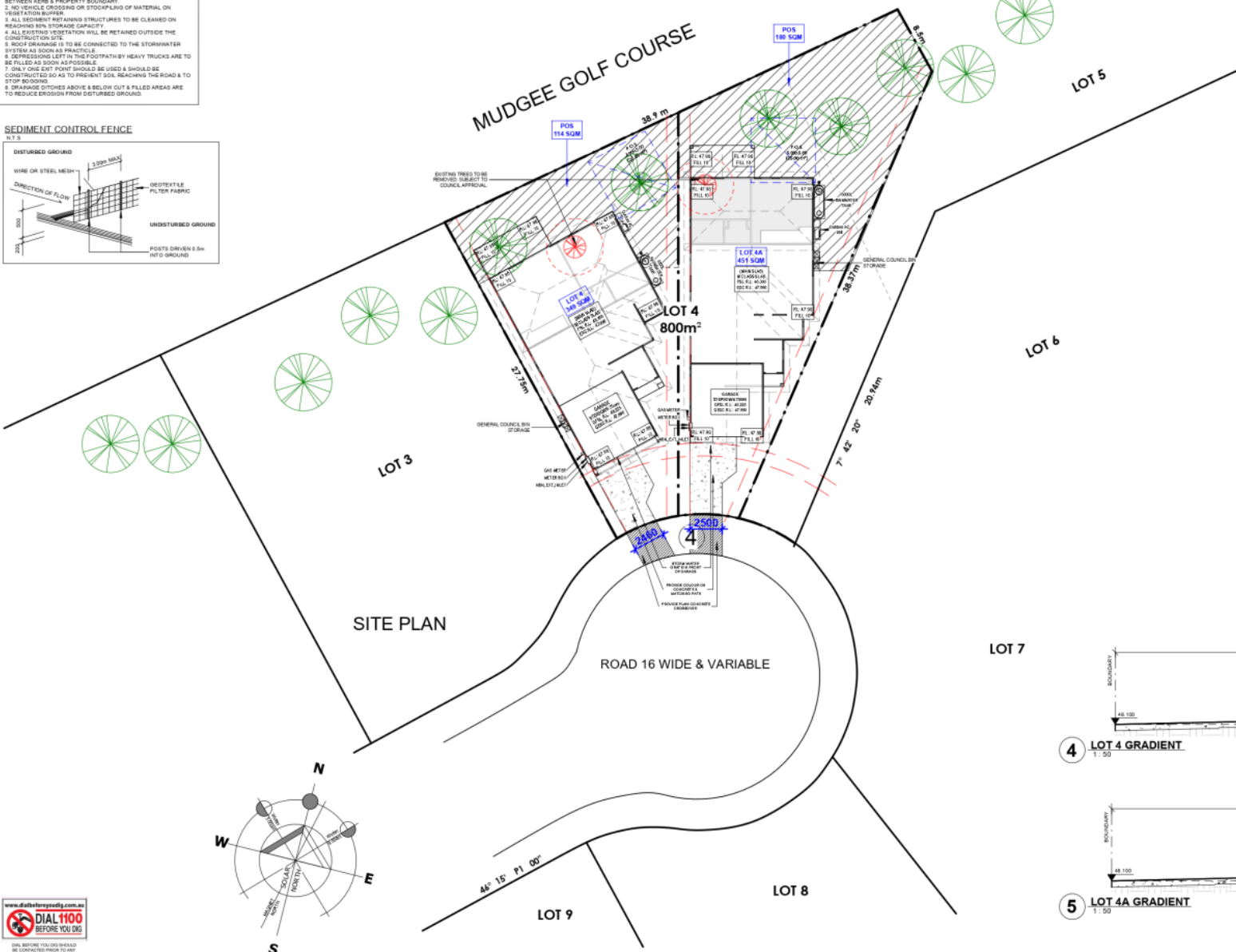
LANDSCAPE

TOTAL HARDSTAND AREA	MIN. REQUIRED BY COUNCIL
—	—
COURTYARD AREA	18.00
LESS THAN 1m	0.00
PORCH/VERANDAH AREA	1.82
ALFRESCO AREA	8.52
REARING SOFT LANDSCAPE AREA	—
PROPOSED LANDSCAPE AREA	0%
MIN. REQUIRED BY COUNCIL	0%

PRIVATE OPEN SPACE

PRINCIPAL PRIVATE OPEN SPACE	MIN. REQUIRED BY COUNCIL
25.00	25.00
PROPOSED PRIVATE OPEN SPACE	115.93
MIN. ALLOWABLE BY COUNCIL	85.00
MIN. ALLOWABLE BY COUNCIL	0.00%

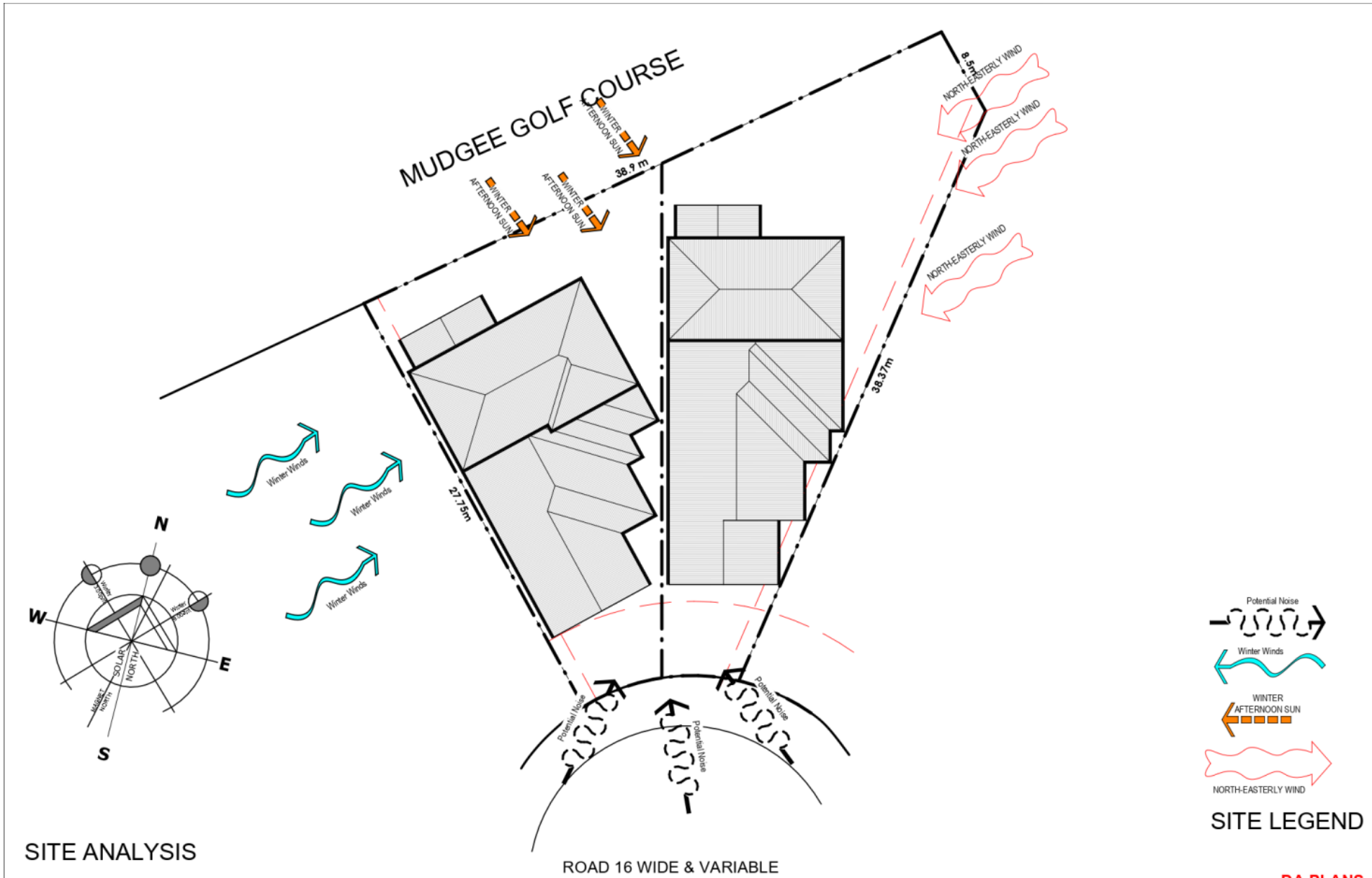
PRINCIPAL PRIVATE OPEN SPACE



<p>REVISIONS:</p> <table border="1"> <thead> <tr> <th>No.</th> <th>Description</th> <th>By</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>001</td> <td>PRELIMINARY PLANS</td> <td>PH</td> <td>06/10/2021</td> </tr> <tr> <td>002</td> <td>AMENDMENTS TO PLAN</td> <td>PH</td> <td>06/10/2021</td> </tr> <tr> <td>003</td> <td>ADDITION OF FIRST FLOOR</td> <td>PH</td> <td>02/03/2022</td> </tr> <tr> <td>004</td> <td>TRUCKS FOR GARAGE</td> <td>PH</td> <td>06/10/2021</td> </tr> <tr> <td>005</td> <td>GARAGE</td> <td>LH</td> <td>18/11/2021</td> </tr> <tr> <td>006</td> <td>AMENDMENT TO PLANS</td> <td>DL</td> <td>18/07/22</td> </tr> </tbody> </table>	No.	Description	By	Date	001	PRELIMINARY PLANS	PH	06/10/2021	002	AMENDMENTS TO PLAN	PH	06/10/2021	003	ADDITION OF FIRST FLOOR	PH	02/03/2022	004	TRUCKS FOR GARAGE	PH	06/10/2021	005	GARAGE	LH	18/11/2021	006	AMENDMENT TO PLANS	DL	18/07/22	<p>SCALE BAR</p> <p>NORTH</p> <p>DRAWING BY: DUPLEX BUILDING DESIGN Office: 11/10/Young, Klemm & Clark info@duplexbuildingdesign.com www.duplexbuildingdesign.com Office: 1300 310 087</p> <p>CLIENT: TORI PETER GROUP</p> <p>ADDRESS: LOT 4 & LOT 4A, MUDGEE DEVELOPMENT</p> <p>PROJECT: CUSTOM DUPLEX</p> <p>DRAWING: SITE PLAN</p> <p>DATE: 18/07/22 SCALE: As indicated PROJECT No: DRAWING No: 10556 21303 0001.1 P6</p>
No.	Description	By	Date																										
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006	AMENDMENT TO PLANS	DL	18/07/22																										

MID WESTERN COUNCIL DCP

DA PLANS



SITE ANALYSIS

SITE LEGEND

DA PLANS

No	Revision	By	Date
P1	PRELIMINARY PLANS	PG	08.10.2021
P2	AMENDMENTS IN PLAN	PG	15.10.2021
P3	ADDITION OF FIRST FLOOR	PG	27.10.2021
P4	ISSUED FOR FACADE	PG	04.11.2021
P5	DA PLANS	LM	18.11.2021
P6	AMENDMENT TO PLANS	DL	18.07.22

SCALE BAR:



DRAWINGS BY:
DUPLEX
 BUILDING DESIGN

DUPLEX BUILDING DESIGN
 Offices at: Wollongong, Kiama & Ulladulla
 info@duplexbuildingdesign.com
 www.duplexbuildingdesign.com
 Office: 1300 310 007

CLIENT:
TORI PETER GROUP
 ADDRESS:
LOT 4 & LOT 4A, MUDGEE DEVELOPMENT

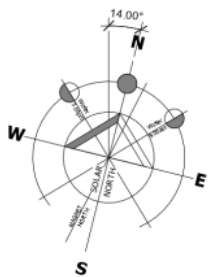
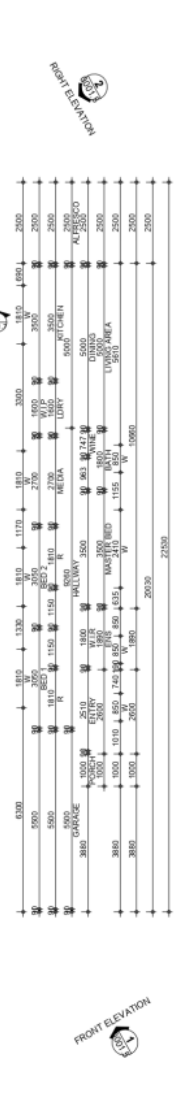
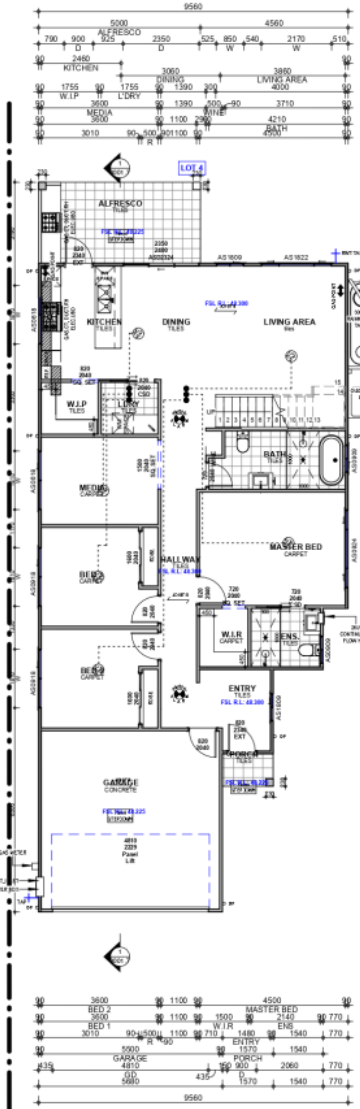
PROJECT:
CUSTOM DUPLEX
 DRAWING:
SITE ANALYSIS

DATE: 18.07.22
 SCALE: As indicated
 PROJECT No: DRAWING No: ISSUE:
 21303 0001.2 P6

THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE. DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES.

KEY SYMBOLS	
FFL	FINISHED SLAB LEVEL
FF	FINISHED FLOOR
FC	FINISHED CEILING
	MAN HOLE (ROOF ACCESS)
	PROPOSED JOIST (CONFORM WITH JOIST LAYOUT PLAN)
	HARDWIRED SMOKE ALARM
	DRAINAGE POINT
	AIR-CONDITIONING DROPPER
	AIR-CONDITIONING DUCT LINE
	AIR-CONDITIONING OUTLET
	KITCHEN WET AREA ELEVATIONS
	BULKHEADS
	OVERHEAD CABINET

NOTE: ALL STRUCTURAL BEAMS/POSTS ARE AN INDICATION ONLY. REFER TO ENGINEERING DETAILS FOR ALL LOCATIONS & CONNECTIONS.



1 GROUND FLOOR PLAN
1:100

Area Schedule (Gross Building)	
Name	Areas
LOT 4 GROSS BUILDING AREA	
U1 GROUND FLOOR	112.14 m ²
U1 GARAGE	39.99 m ²
U1 ALFRESCO	13.77 m ²
U1 PORCH	1.83 m ²
U1 FIRST FLOOR	68.09 m ²
LOT 4 GROSS BUILDING AREA 5	235.82 m²
LOT 4A GROSS BUILDING AREA	
U2 GROUND FLOOR	132.85 m ²
U2 ALFRESCO	12.46 m ²
U2 GARAGE	32.26 m ²
U2 PORCH	1.57 m ²
U2 FIRST FLOOR	49.52 m ²
LOT 4A GROSS BUILDING AREA 5	228.66 m²

DA PLANS

<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>BY</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>001</td> <td>PRELIMINARY PLANS</td> <td>PH</td> <td>06.10.2021</td> </tr> <tr> <td>002</td> <td>AMENDMENTS IN PLAN</td> <td>PH</td> <td>06.10.2021</td> </tr> <tr> <td>003</td> <td>ADDITION OF FIRST FLOOR</td> <td>PH</td> <td>02.12.2021</td> </tr> <tr> <td>004</td> <td>PROVIDE FOR GARAGE</td> <td>PH</td> <td>06.11.2021</td> </tr> <tr> <td>005</td> <td>REVISIONS</td> <td>PH</td> <td>06.11.2021</td> </tr> <tr> <td>006</td> <td>AMENDMENT TO PLANS</td> <td>DL</td> <td>14.07.22</td> </tr> </tbody> </table>	NO.	DESCRIPTION	BY	DATE	001	PRELIMINARY PLANS	PH	06.10.2021	002	AMENDMENTS IN PLAN	PH	06.10.2021	003	ADDITION OF FIRST FLOOR	PH	02.12.2021	004	PROVIDE FOR GARAGE	PH	06.11.2021	005	REVISIONS	PH	06.11.2021	006	AMENDMENT TO PLANS	DL	14.07.22	<p>SCALE BAR</p> <p>NORTH</p> <p>DRAWING BY: DUPLEX BUILDING DESIGN Office: 41 Hologang, Klemo & District info@duplexbuildingdesign.com www.duplexbuildingdesign.com Office: 1300 310 087</p>	<p>CLIENT: TORI PETER GROUP</p> <p>ADDRESS: LOT 4 & LOT 4A, MUDGE DEVELOPMENT</p>	<p>PROJECT: CUSTOM DUPLEX</p> <p>DRAWING: GROUND FLOOR PLAN</p>	<p>DATE: 14.07.22</p> <p>SCALE: 1:100</p> <p>PROJECT NO: DRAWING No: 1055E 21303 00013 PE</p>
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FSL	FINISHED SLAB LEVEL
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DRP	DRAINAGE POINT
ACD	AIR-CONDITIONING DROPPER
ACD	AIR-CONDITIONING DUCT ONE
ACD	AIR-CONDITIONING OUTLET
KITCHEN	KITCHEN / WET AREA ELEVATIONS
BULKHEAD	BULKHEADS
OVERHEAD	OVERHEAD CABINET

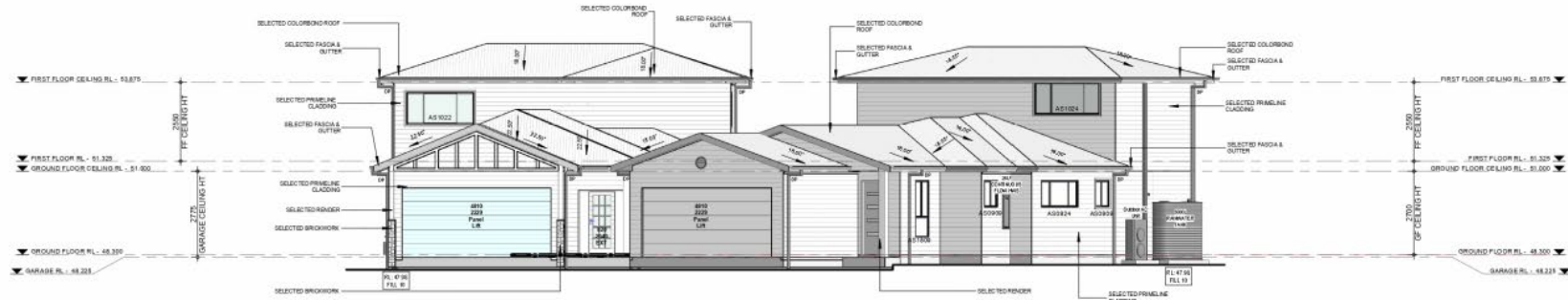
Area Schedule (Gross Building)

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U1 PORCH	1.53 m ²
U1 FIRST FLOOR	68.09 m ²
LOT 4 GROSS BUILDING AREA 5	
LOT 4A GROSS BUILDING AREA	
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LOT 4A GROSS BUILDING AREA 5	
	228.66 m ²

DA PLANS

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FRONT ELEVATION



RIGHT ELEVATION

NOTE: ALL EAVES AND DOWNPIPES ARE SET TO 450mm AWAY FROM BUILDING WALLS

DA PLANS

	<table border="1"> <tr><th>NO</th><th>REVISION</th><th>BY</th><th>DATE</th></tr> <tr><td>01</td><td>PRELIMINARY PLANS</td><td>PH</td><td>08.10.2021</td></tr> <tr><td>02</td><td>AMENDMENTS IN PLAN</td><td>PH</td><td>08.10.2021</td></tr> <tr><td>03</td><td>SECTION OF FIRST FLOOR</td><td>PH</td><td>22.04.2021</td></tr> <tr><td>04</td><td>TRUCKS FOR FACADE</td><td>PH</td><td>06.11.2021</td></tr> <tr><td>05</td><td>SEALING</td><td>PH</td><td>18.07.22</td></tr> <tr><td>06</td><td>AMENDMENT TO PLANS</td><td>PH</td><td>18.07.22</td></tr> </table>	NO	REVISION	BY	DATE	01	PRELIMINARY PLANS	PH	08.10.2021	02	AMENDMENTS IN PLAN	PH	08.10.2021	03	SECTION OF FIRST FLOOR	PH	22.04.2021	04	TRUCKS FOR FACADE	PH	06.11.2021	05	SEALING	PH	18.07.22	06	AMENDMENT TO PLANS	PH	18.07.22	<p>SCALE BAR</p> <p>NORTH</p> <p>DRAWING BY: DUPLEX BUILDING DESIGN Office at: 110/109 King, Klem & Clarke info@duplexbuildingdesign.com www.duplexbuildingdesign.com Office: 1300 310 087</p>	<p>CLIENT: TORI PETER GROUP</p> <p>ADDRESS: LOT 4 & LOT 4A, MUDGE DEVELOPMENT</p>	<p>PROJECT: CUSTOM DUPLEX</p> <p>DRAWING: ELEVATION</p>	<p>DATE: 18.07.22</p> <p>SCALE: 1:100</p> <p>PROJECT No. DRAWING No. ISSUE: 21303 0001.5 PE</p>
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LEFT ELEVATION



REAR ELEVATION

NOTE: ALL EAVES AND DOWNPIPES ARE SET TO 450mm AWAY FROM BUILDING WALLS

DA PLANS

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NOTE: ALL EAVES AND DOWNPIPES ARE SET TO 450mm AWAY FROM BUILDING WALLS

DA PLANS

NO	REVISION	BY	DATE
001	PRELIMINARY PLANS	PH	06.10.2021
002	AMENDMENTS IN PLAN	PH	06.10.2021
003	REVISION OF FIRST FLOOR	PH	22.03.2021
004	ISSUED FOR TENDER	PH	06.10.2021
005	REVISED	PH	18.10.2021
006	AMENDMENT TO PLANS	PH	18.07.22

SCALE BAR

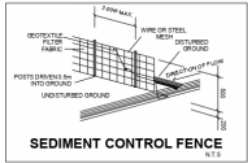


DRAWN BY: TORI PETER GROUP
 OFFICE: 1/100 HOLLINGWORTH AVENUE, KILMORRICHIE, VIC 3012
 ADDRESS: 1/100 HOLLINGWORTH AVENUE, KILMORRICHIE, VIC 3012
 PHONE: 03 9310 0107

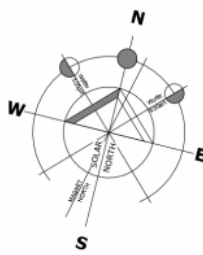
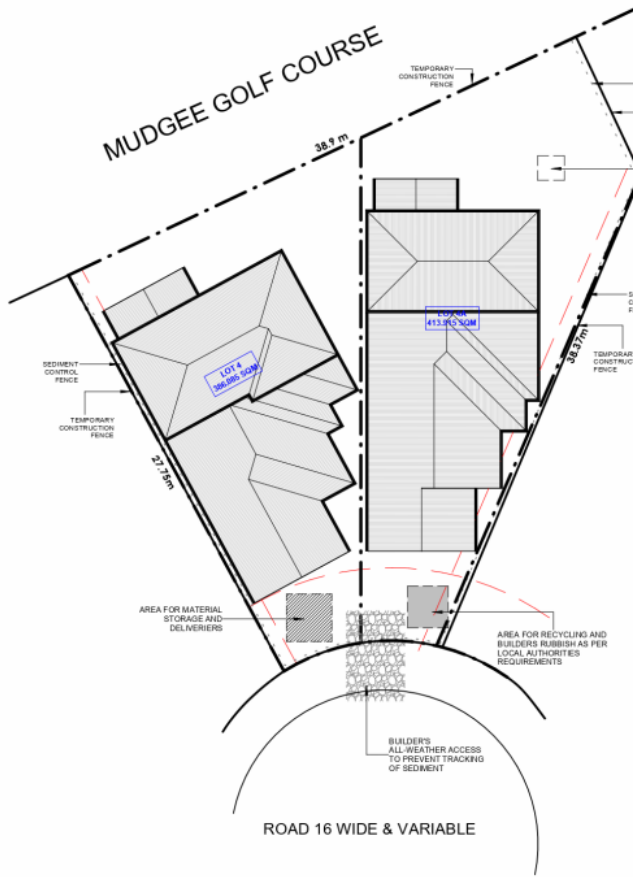
CLIENT: TORI PETER GROUP
 PROJECT: CUSTOM DUPLEX
 DRAWING: SECTION-DETAILS

DATE: 18.07.22
 SCALE: 1:100
 PROJECT No: DRAWING No: 1055/E
 21303 0001.7 P6

THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE. DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES.



SITE MANAGEMENT LEGEND	
	AREA FOR RECYCLING AND BUILDERS RUBBISH AS PER LOCAL AUTHORITIES REQUIREMENTS
	BUILDER'S ALL-WEATHER ACCESS TO PREVENT TRACKING OF SEDIMENT
	PORTABLE TOILET
	AREA FOR MATERIAL STORAGE AND DELIVERIES
	TEMPORARY CONSTRUCTION FENCE
	SEDIMENT CONTROL FENCE



SITE MANAGEMENT PLAN

REV	REVISION	BY	DATE
01	PRELIMINARY PLANS	TP	06.10.2021
02	AMENDMENT TO PLANS	TP	08.10.2021
03	REVISION OF SITE FENCE	TP	22.10.2021
04	TRUCKS FOR RAGS	TP	06.11.2021
05	SHADING	TP	18.11.2021
06	AMENDMENT TO PLANS	TP	18.07.22

SCALE BAR

NORTH

DRAWING BY:



DUPLEX BUILDING DESIGN
 Offices at: 110/109 King, Klemke & Clarke
 info@duplexbuildingdesign.com
 www.duplexbuildingdesign.com
 Office: 1300 310 087

CLIENT:

TORI PETER GROUP

PROJECT:

CUSTOM DUPLEX

DRAWING:
SITE MANAGEMENT PLAN & SHADOW DIAGRAM

DATE:

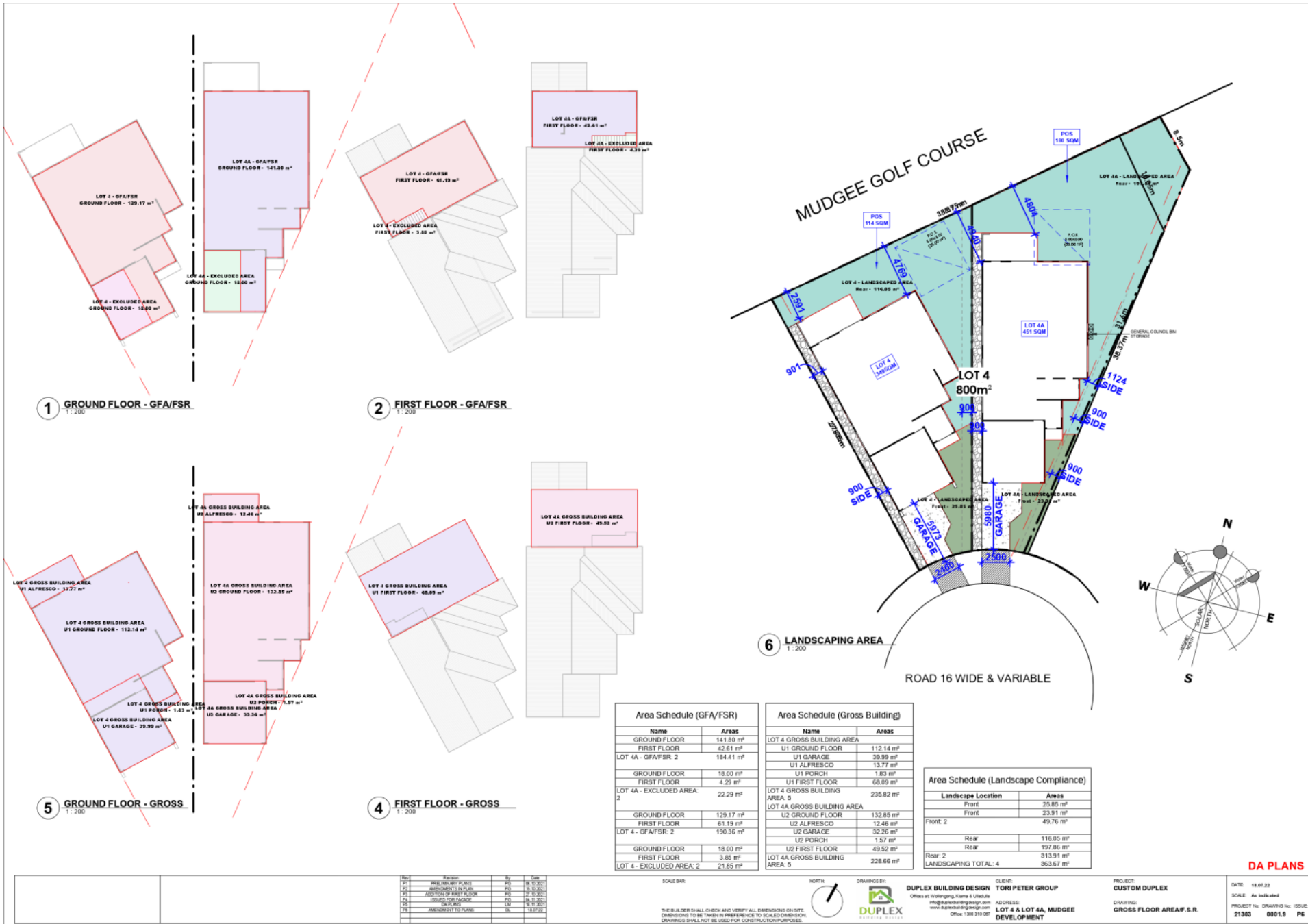
18.07.22

SCALE: As indicated

PROJECT No: DRAWING No: ISSUE:
 21303 0001.8 PE

DA PLANS

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1 GROUND FLOOR - GFA/FSR
1:200

2 FIRST FLOOR - GFA/FSR
1:200

5 GROUND FLOOR - GROSS
1:200

4 FIRST FLOOR - GROSS
1:200

6 LANDSCAPING AREA
1:200

Area Schedule (GFA/FSR)	
Name	Areas
GROUND FLOOR	141.80 m ²
FIRST FLOOR	42.61 m ²
LOT 4A - GFA/FSR 2	184.41 m ²
GROUND FLOOR	18.00 m ²
FIRST FLOOR	4.29 m ²
LOT 4A - EXCLUDED AREA 2	22.29 m ²
GROUND FLOOR	129.17 m ²
FIRST FLOOR	61.19 m ²
LOT 4 - GFA/FSR 2	190.36 m ²
GROUND FLOOR	18.00 m ²
FIRST FLOOR	3.85 m ²
LOT 4 - EXCLUDED AREA 2	21.85 m ²

Area Schedule (Gross Building)	
Name	Areas
LOT 4 GROSS BUILDING AREA	112.14 m ²
U1 GROUND FLOOR	39.99 m ²
U1 GARAGE	1.83 m ²
U1 PORCH	68.09 m ²
LOT 4 GROSS BUILDING AREA 2	235.82 m ²
LOT 4A GROSS BUILDING AREA	132.85 m ²
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U2 ALFRESCO	32.26 m ²
U2 GARAGE	1.57 m ²
U2 PORCH	49.52 m ²
LOT 4A GROSS BUILDING AREA 2	228.66 m ²

Area Schedule (Landscape Compliance)	
Landscape Location	Areas
Front	25.85 m ²
Front 2	23.91 m ²
	49.76 m ²
Rear	116.05 m ²
Rear 2	197.86 m ²
Rear 2	313.91 m ²
LANDSCAPING TOTAL: 4	363.67 m ²

SCALE BAR: NORTH

THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE. DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES.

CLIENT: TORI PETER GROUP
PROJECT: CUSTOM DUPLEX
DRAWING: GROSS FLOOR AREA/F.S.R.
DATE: 18.07.22
SCALE: As indicated
PROJECT No. DRAWING No. ISSUE: 21303 0001.9 PE

DUPLEX BUILDING DESIGN
Office: 111 Havelock Street, Brisbane
www.duplexbuildingdesign.com
Office: 1300 310 007

DA PLANS



Front_Notification



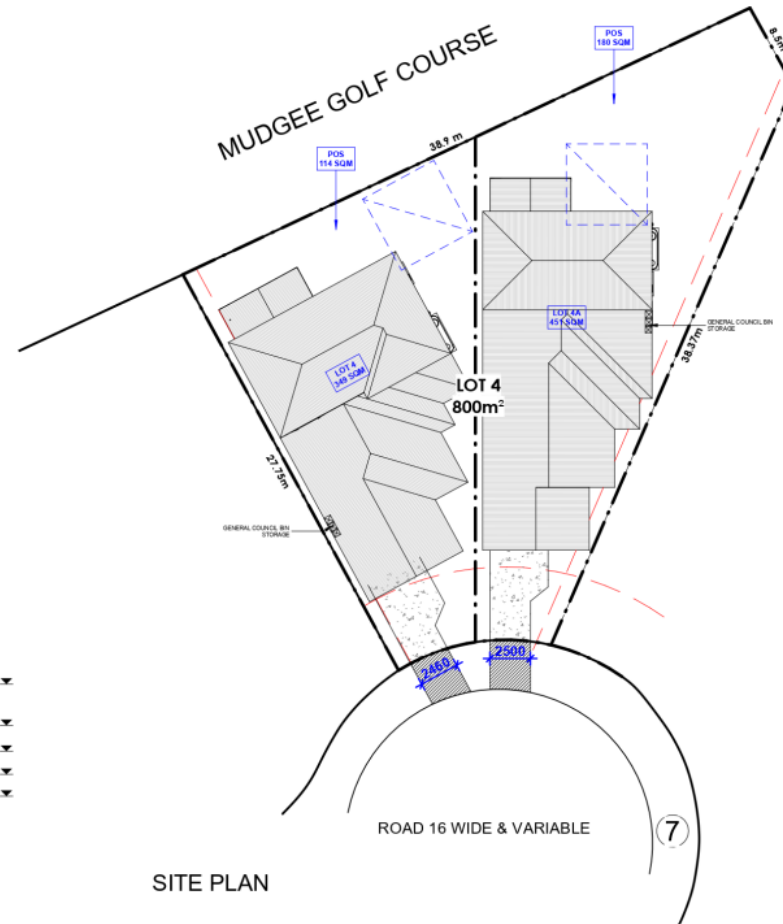
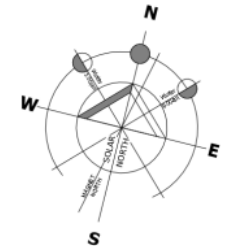
Rear_Notification



Right_Notification



Left_Notification



SITE PLAN

NO	REVISION	BY	DATE
001	PRELIMINARY PLANS	PH	08/10/2021
002	AMENDMENTS TO PLAN	PH	08/10/2021
003	ADDITION OF FIRST FLOOR	PH	02/10/2021
004	TRUCKING FOR GARAGE	PH	08/13/2021
005	REVISED	PH	18/11/2021
006	AMENDMENT TO PLANS	PH	18/07/22

SCALE BAR



CLIENT: TORI PETER GROUP
 PROJECT: CUSTOM DUPLEX
 DRAWING: NOTIFICATION PLAN

DATE: 18/07/22
 SCALE: As indicated
 PROJECT No: DRAWING No: 055/21
 21303 0001.999 P6

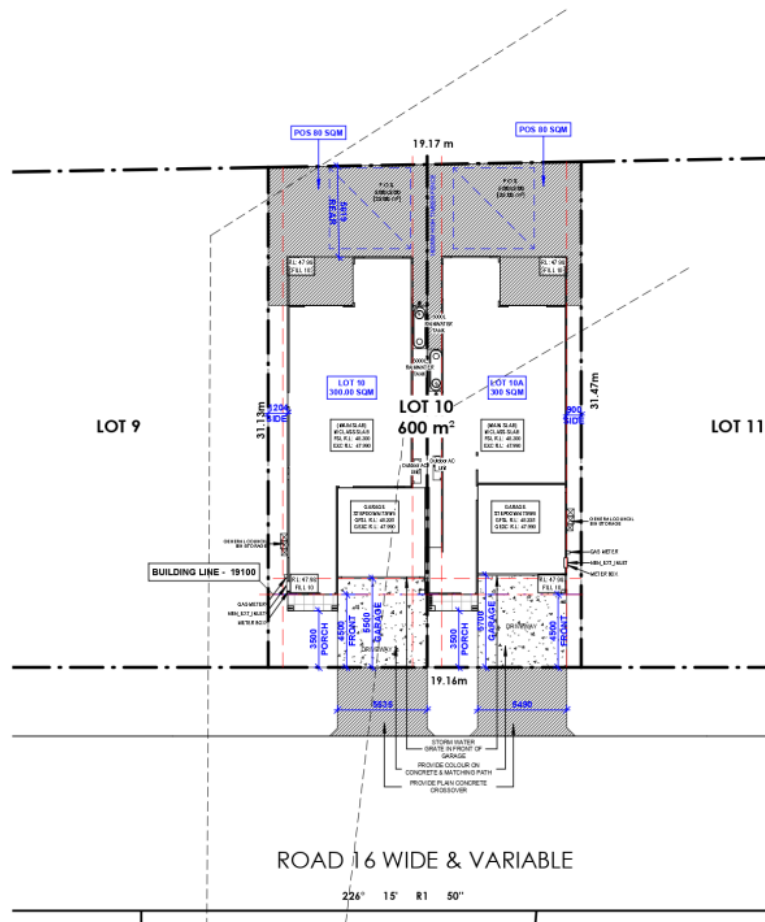
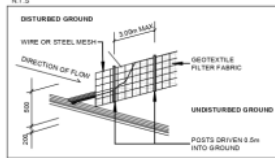
DA PLANS

THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE. DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES.

SEDIMENT NOTE

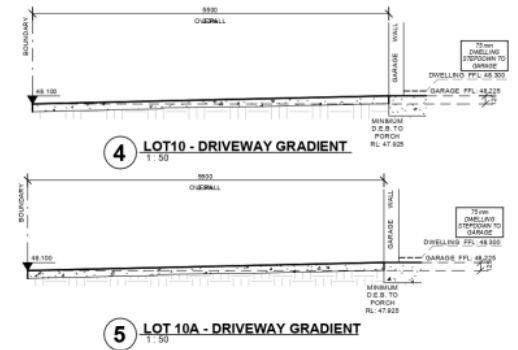
1. NO STOCKPILING OF MATERIALS IS PERMITTED ON THE VERGE BETWEEN KEYS & PROPERTY BOUNDARY.
2. NO VEHICLE CROSSING OR STOCKPILING OF MATERIAL ON VEGETATION BUFFER.
3. ALL SEDIMENT REMAINING STRUCTURES TO BE CLEANED ON READING 80% STORAGE CAPACITY.
4. ALL SEDIMENT REMAINING STRUCTURES TO BE RETAINED OUTSIDE THE CONSTRUCTION SITE.
5. ROOF GUTTERS TO BE CONNECTED TO THE STORMWATER SYSTEM AS SOON AS PRACTICABLE.
6. DEPRESSIONS LEFT IN THE FOOTPATH BY HEAVY TRUCKS ARE TO BE FILLED AS SOON AS POSSIBLE.
7. ONLY ONE EXIT POINT SHOULD BE USED & SHOULD BE CONSTRUCTED AS TO PREVENT SIDE REACHING THE ROAD & TO STOP BOGGING.
8. DRAINAGE DITCHES ABOVE & BELOW CUT & FILLED AREAS ARE TO REDUCE EROSION FROM DISTURBED GROUND.

SEDIMENT CONTROL FENCE



- Z - PROPOSED EASEMENT FOR ACCESS 4.5 WIDE
- A1 - EASEMENT FOR ACCESS VARIABLE WIDTH (DP 1143747)
- A3 - EASEMENT FOR ACCESS VARIABLE WIDTH, 8 AND 5 WIDE (DP 1165146)
- D1 - EASEMENT FOR ACCESS 8 WIDE (DP 1164977)
- D3 - EASEMENT FOR ACCESS VARIABLE WIDTH, 4,965, 5 AND 8 WIDE (DP 1165146)
- P1 - POSITIVE COVENANT (DP 1143747)
- R1 - RESTRICTIONS ON THE USE OF LAND (DP1143747)

SITE PLAN



WIND CLASSIFICATION		BLANK CLASSIFICATION		TM	
PROPERTY DESCRIPTION					
LOT:	10	D.P.:	1165146		
L.G.A.:	MID-WESTERN REGIONAL				
DA COUNCIL APPROVAL					
COMB. (ECONOMIC, ENVIRONMENTAL, SOCIAL, CULTURAL, HERITAGE, EDUCATIONAL, RECREATIONAL, REGULATORY OR FINANCIAL BENEFIT)					
FLOOR SPACE RATIO (FSR)					
* Values are based on the existing use of the site and do not include the area of the site, including any open space. Additional Details, located with this plan that comply with the relevant FSR ratios.					
TOTAL SITE AREA:	600.38	TOTAL GROSS FLOOR AREA:	107.84		
SITE AREA:	300.89	GROUND FLOOR:	113.48		
GROUND FLOOR:	113.48	FIRST FLOOR:	79.97		
TOTAL GROSS FLOOR AREA:	9.06	PROPOSED FSR:	0.02%		
PROPOSED FSR:	0.02%	ALLOWED FSR:	0%		
SITE COVERAGE AREA					
GROUND FLOOR AREA:	113.48	MAX SITE COVERAGE:	60%		
GARAGE AREA:	30.60	PROPOSED SITE COVERAGE:	47.85%		
PROPOSED SITE COVERAGE:	47.85%	LANDSCAPE			
MAX SITE COVERAGE:	60%	TOTAL HARDSTAND AREA:	---		
LANDSCAPE					
TOTAL HARDSTAND AREA:	---	DRIVEWAY AREA:	18.50		
DRIVEWAY AREA:	18.50	PORCH VERANDAH AREA:	3.65		
PORCH VERANDAH AREA:	3.65	ALFRESCO AREA:	2.57		
ALFRESCO AREA:	2.57	REMAINING SOFT LANDSCAPE AREA:	26.78		
REMAINING SOFT LANDSCAPE AREA:	26.78	PROPOSED LANDSCAPE AREA:	26.78		
PROPOSED LANDSCAPE AREA:	26.78	MIN. REQUIRED BY COUNCIL:	0%		
MIN. REQUIRED BY COUNCIL:	0%	PRIVATE OPEN SPACE			
PRIVATE OPEN SPACE:	25.00	MIN. ALLOWABLE BY COUNCIL:	85.00		
MIN. ALLOWABLE BY COUNCIL:	85.00	PROPOSED PRIVATE OPEN SPACE:	25.00		
PROPOSED PRIVATE OPEN SPACE:	25.00	PRINCIPAL PRIVATE OPEN SPACE:	25.00		
PRINCIPAL PRIVATE OPEN SPACE:	25.00				

Area Schedule (Gross Building)	
Name	Area
LOT 10 - GROSS BUILDING AREA	
ALFRESCO	12.09 m ²
GARAGE	30.94 m ²
FIRST FLOOR	78.85 m ²
BALCONY	8.74 m ²
PORCH	3.07 m ²
GROUND FLOOR	115.12 m ²
LOT 10 - GROSS BUILDING AREA: 6	
GARAGE	30.69 m ²
PORCH	3.12 m ²
GROUND FLOOR	113.73 m ²
ALFRESCO	12.36 m ²
FIRST FLOOR	79.37 m ²
BALCONY	8.21 m ²
LOT 10A - GROSS BUILDING AREA: 6	247.48 m ²

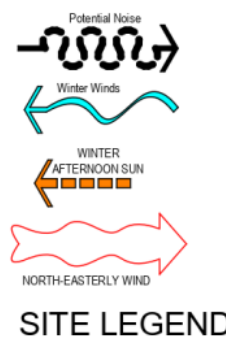
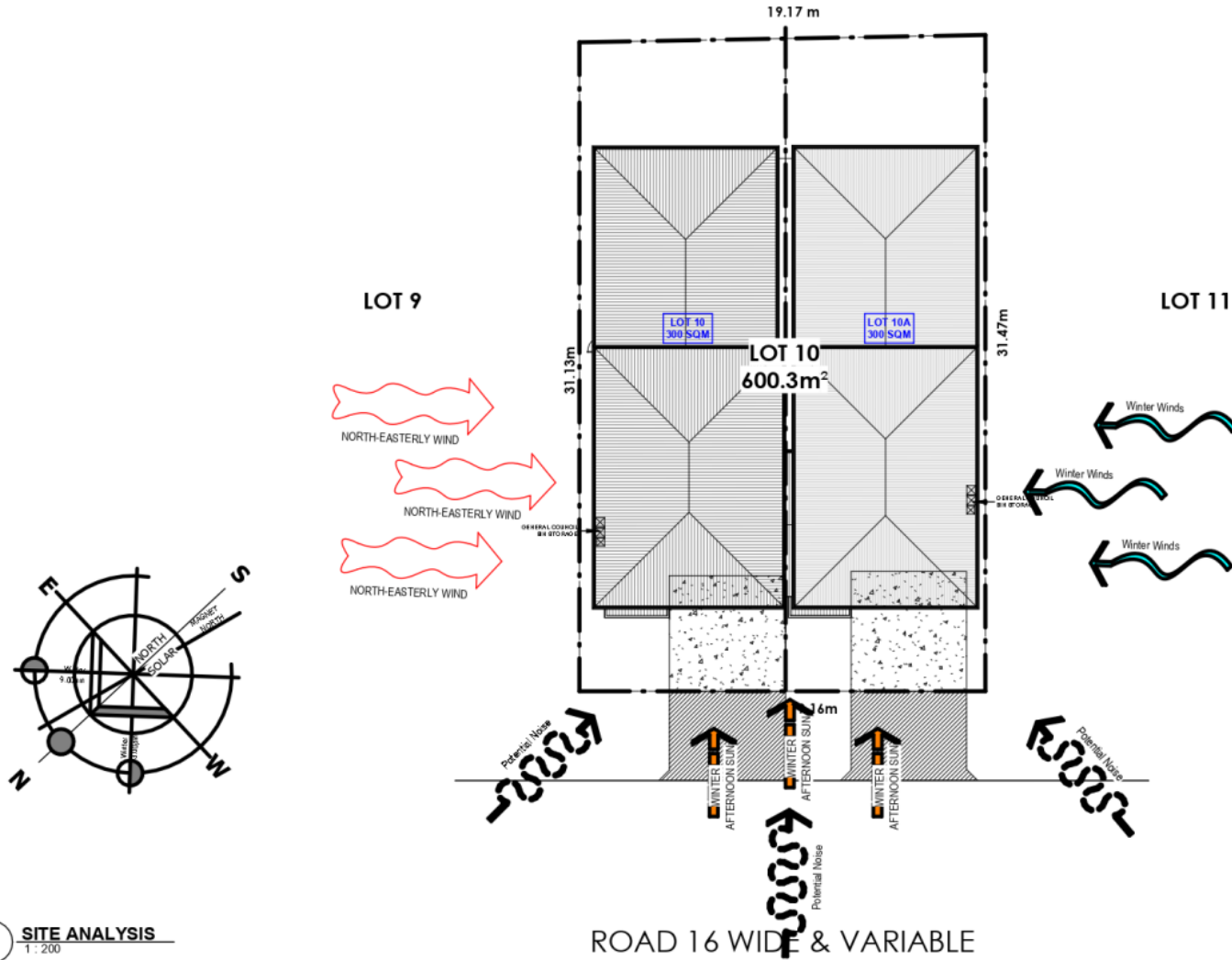
MID WESTERN COUNCIL DCP

DA PLANS



NO.	DESCRIPTION	DATE	BY
001	PRELIMINARY PLAN	21/08/2022	DP
002	APPROVED	21/08/2022	DP
003	REVISIONS	21/08/2022	DP
004	REVISIONS	21/08/2022	DP
005	REVISIONS	21/08/2022	DP
006	REVISIONS	21/08/2022	DP
007	REVISIONS	21/08/2022	DP
008	REVISIONS	21/08/2022	DP
009	REVISIONS	21/08/2022	DP
010	REVISIONS	21/08/2022	DP
011	AMENDMENTS TO PLAN	01/09/2022	DP

SCALE BAR: NORTH, DRAWING BY: DUPLEX BUILDING DESIGN, CLIENT: TORI PETER GROUP, PROJECT: CUSTOM DUPLEX, DATE: 18/07/2022, SCALE: As indicated, PROJECT NO: DRWING NO: 1055E, DRAWING: SITE PLAN, 21308 001.0 P7



1 SITE ANALYSIS
1 : 200

ROAD 16 WIDE & VARIABLE

DA PLANS

NO	REVISION	BY	DATE
P1	PRELIMINARY PLANS	PG	13.10.2021
P2	AMENDMENTS	PG	21.10.2021
P3	AMENDMENTS IN PLAN	PG	26.10.2021
P4	ISSUED FOR FACADE	PG	02.11.2021
P5	REVERT TO ORIGINAL FACADE	PG	10.11.2021
P6	DA PLANS	LM	18.07.2022
P7	AMENDMENTS TO PLAN	DL	18.07.2022

SCALE BAR:
 THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE. DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES.

NORTH:

DRAWINGS BY:

 DUPLEX BUILDING DESIGN

OFFICES at: Wollongong, Kiama & Ulladulla
 info@duplexbuildingdesign.com
 www.duplexbuildingdesign.com
 Office: 1300 310 007

CLIENT:
TORI PETER GROUP
 ADDRESS:
LOT 10 & LOT 10A, MUDGEJE DEVELOPMENT

PROJECT:
CUSTOM DUPLEX
 DRAWING:
SITE ANALYSIS

DATE: 18.07.2022
 SCALE: As indicated
 PROJECT No: DRAWING No: ISSUE:
21308 001.2 P7

KEY SYMBOLS

FSL	FINISHED SLAB LEVEL	
FF	FINISHED FLOOR	
FC	FINISHED CEILING	
SMH	SMALL HOLE (ROOF ACCESS)	BULKHEADS
PROPOSED JOIST	PROPOSED JOIST DIRECTION (CONFORM WITH ADJUST LAYOUT PLAN)	OVERHEAD CABINET
HARDWARE	HARDWARE (SMOKE ALARMS)	
+	DRAINAGE POINT	
•	AIR-CONDITIONING DROPPER	
---	AIR-CONDITIONING DUCT LINE	
○	AIR-CONDITIONING OUTLET	
⊕	KITCHEN/ WET AREA ELEVATIONS	

NOTE: ALL STRUCTURAL BEAMS/POSTS ARE AN INDICATION ONLY. REFER TO ENGINEERING DETAILS FOR ALL LOCATIONS & CONNECTIONS.



Area Schedule (Gross Building)	
Name	Areas
LOT 10 - GROSS BUILDING AREA	
ALFRESCO	12.09 m ²
GARAGE	30.94 m ²
FIRST FLOOR	78.85 m ²
BALCONY	8.74 m ²
PORCH	3.07 m ²
GROUND FLOOR	118.12 m ²
LOT 10 - GROSS BUILDING AREA 6	
251.81 m ²	
LOT 10A - GROSS BUILDING AREA	
GARAGE	30.69 m ²
PORCH	3.12 m ²
GROUND FLOOR	113.73 m ²
ALFRESCO	12.36 m ²
FIRST FLOOR	79.37 m ²
BALCONY	8.21 m ²
LOT 10A - GROSS BUILDING AREA 6	
247.48 m ²	

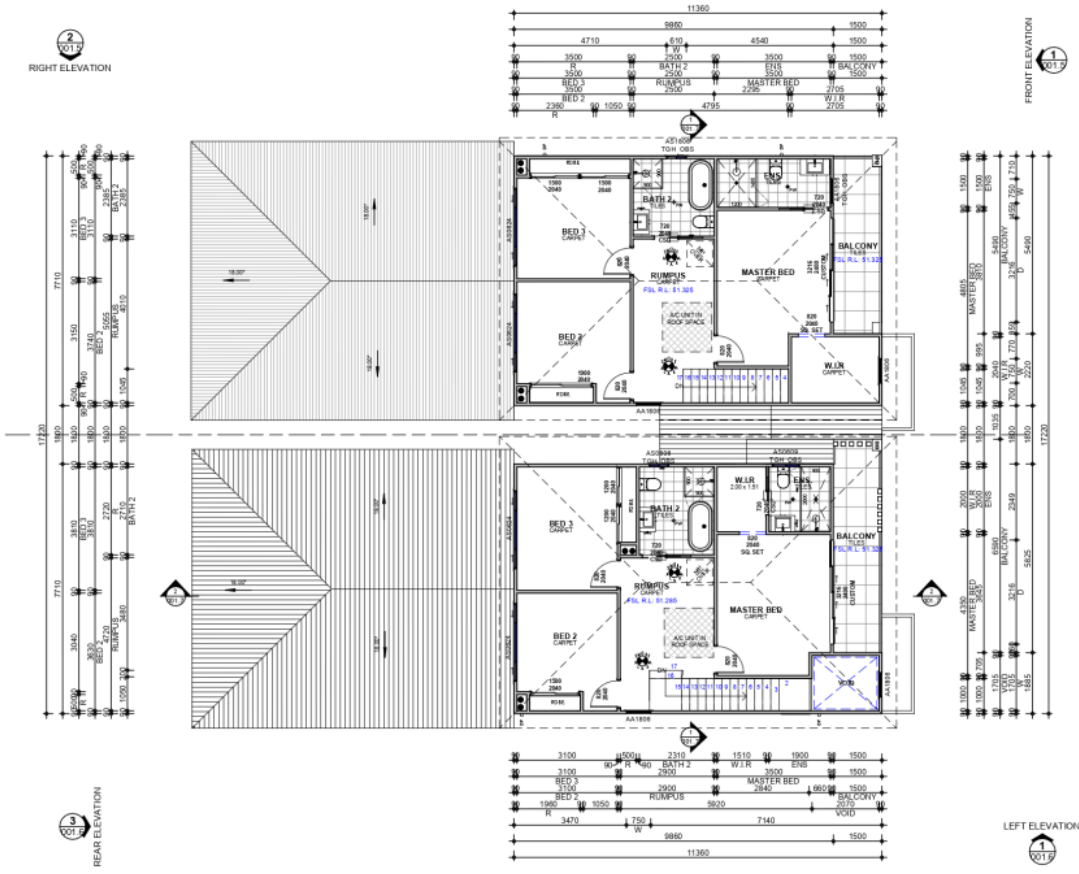
DA PLANS

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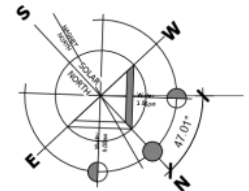
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FFL	FINISHED SUB LEVEL	
FF	FINISHED FLOOR	
FC	FINISHED CEILING	
	MAN HOLE (POOF ACCESS)	BULKHEADS
	PROPOSED JOIST DIRECTION (CONFORM WITH JOIST LAYOUT PLAN)	OVERHEAD CABINET
	HARDWIRED SMOKE ALARM	
	DRAINAGE POINT	
	AIR-CONDITIONING DROPPER	
	AIR-CONDITIONING DUCT LINE	
	AIR-CONDITIONING OUTLET	
	KITCHEN / WET AREA ELEVATIONS	

KEY SYMBOLS



1 FIRST FLOOR PLAN
1:100

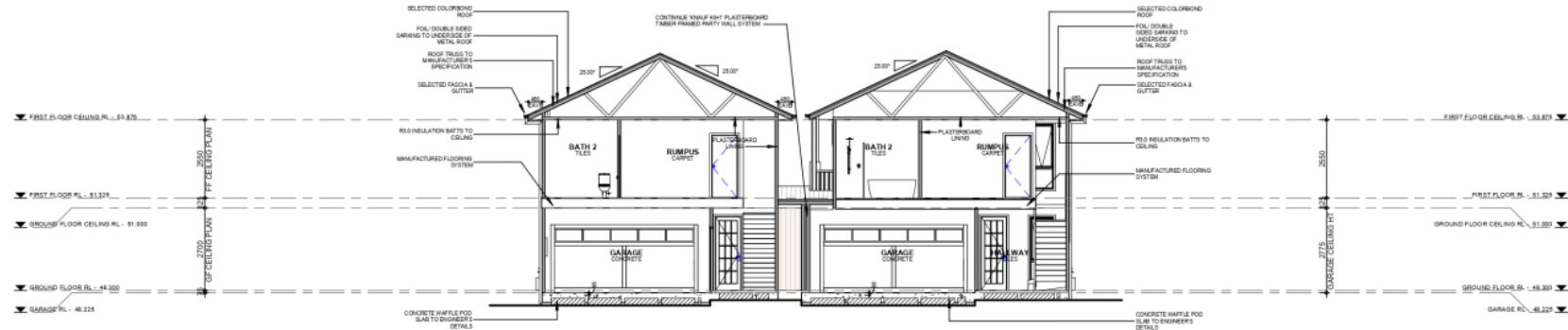


Area Schedule (Gross Building)	
Name	Area
LOT 10 - GROSS BUILDING AREA	
ALFRESCO	12.09 m ²
GARAGE	30.94 m ²
FIRST FLOOR	78.85 m ²
BALCONY	8.74 m ²
PORCH	3.67 m ²
GROUND FLOOR	118.12 m ²
LOT 10 - GROSS BUILDING AREA: 6	251.81 m ²
LOT 10A - GROSS BUILDING AREA	
GARAGE	30.69 m ²
PORCH	3.12 m ²
GROUND FLOOR	113.73 m ²
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LOT 10A - GROSS BUILDING AREA: 6	247.48 m ²

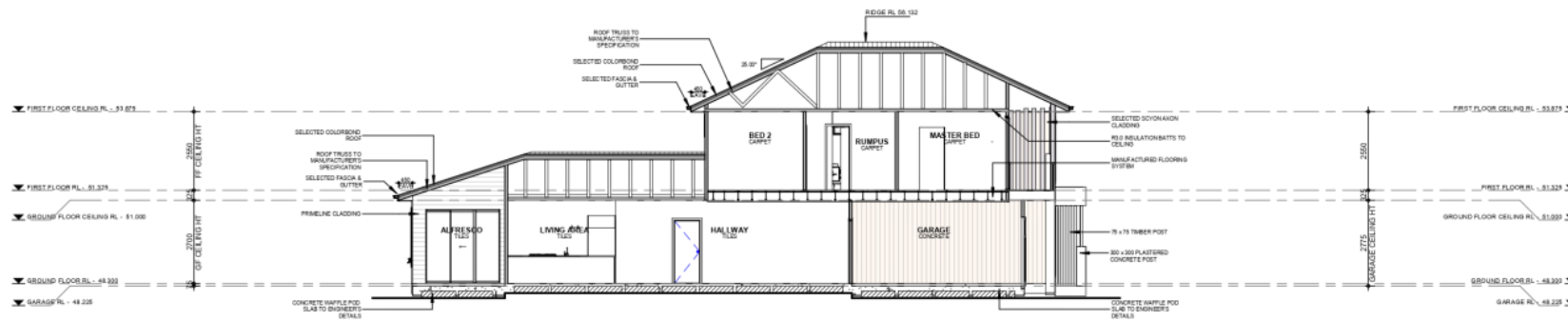
DA PLANS

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1 LOT 10 - LOT 10A
1 - 100

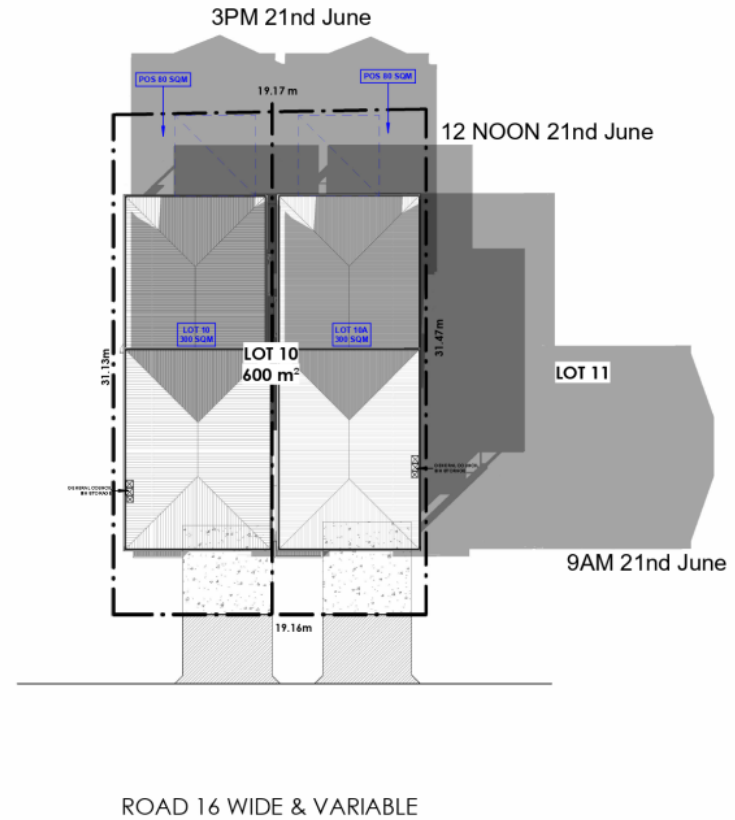
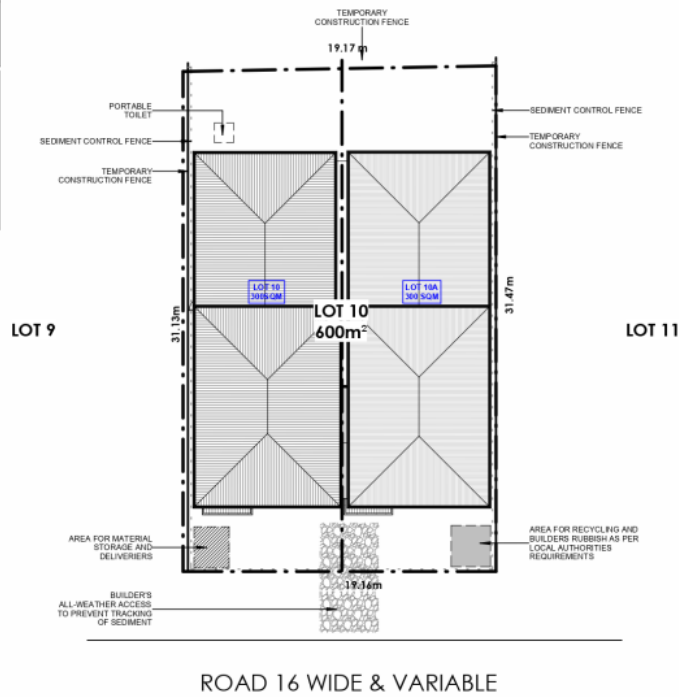
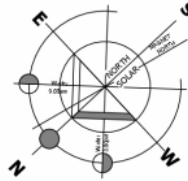


2 LOT 10 - LOT 10A 2
1 - 100

DA PLANS

<table border="1"> <tr> <td>NO</td> <td>REVISION</td> <td>BY</td> <td>DATE</td> </tr> <tr> <td>001</td> <td>PRELIMINARY PLAN</td> <td>SL</td> <td>18/08/2022</td> </tr> <tr> <td>002</td> <td>AMENDMENTS</td> <td>SL</td> <td>18/08/2022</td> </tr> <tr> <td>003</td> <td>REVISIONS FOR PERMITS</td> <td>SL</td> <td>18/08/2022</td> </tr> <tr> <td>004</td> <td>REVISIONS FOR PERMITS</td> <td>SL</td> <td>18/08/2022</td> </tr> <tr> <td>005</td> <td>REVISIONS FOR PERMITS</td> <td>SL</td> <td>18/08/2022</td> </tr> <tr> <td>006</td> <td>REVISIONS FOR PERMITS</td> <td>SL</td> <td>18/08/2022</td> </tr> <tr> <td>007</td> <td>AMENDMENTS TO PLAN</td> <td>SL</td> <td>18/08/2022</td> </tr> </table>	NO	REVISION	BY	DATE	001	PRELIMINARY PLAN	SL	18/08/2022	002	AMENDMENTS	SL	18/08/2022	003	REVISIONS FOR PERMITS	SL	18/08/2022	004	REVISIONS FOR PERMITS	SL	18/08/2022	005	REVISIONS FOR PERMITS	SL	18/08/2022	006	REVISIONS FOR PERMITS	SL	18/08/2022	007	AMENDMENTS TO PLAN	SL	18/08/2022	<p>SCALE BAR</p> <p>NORTH</p> <p>DRAWING BY: DUPLEX BUILDING DESIGN <small>Office: 41 Ivimeyong, Klemke & Clarke info@duplexbuildingdesign.com www.duplexbuildingdesign.com Office: 1300 310 087</small></p>	<p>CLIENT: TORI PETER GROUP</p> <p>ADDRESS: LOT 10 & LOT 10A, MUDGEE DEVELOPMENT</p>	<p>PROJECT: CUSTOM DUPLEX</p> <p>DRAWING: SECTION-DETAILS</p>	<p>DATE: 18/07/2022</p> <p>SCALE: 1:100</p> <p>PROJECT No. DRAWING No. ISSUE: 21308 001.7 P7</p>
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SITE MANAGEMENT LEGEND	
	AREA FOR RECYCLING AND BUILDERS RUBBISH AS PER LOCAL AUTHORITIES REQUIREMENTS
	BUILDER'S ALL-WEATHER ACCESS TO PREVENT TRACKING OF SEDIMENT
	PORTABLE TOILET
	AREA FOR MATERIAL STORAGE AND DELIVERIES
----- TEMPORARY CONSTRUCTION FENCE	
- - - - - SEDIMENT CONTROL FENCE	
<p>SEDIMENT CONTROL FENCE N.T.S.</p>	



SITE MANAGEMENT PLAN

NO.	REVISION	DATE	BY
001	PRELIMINARY PLAN	21/06/2022	MB
002	APPROVED	21/06/2022	MB
003	REVISION TO PLAN	21/06/2022	MB
004	REVISION TO PLAN	21/06/2022	MB
005	REVISION TO PLAN	21/06/2022	MB
006	REVISION TO PLAN	21/06/2022	MB
007	REVISION TO PLAN	21/06/2022	MB
008	REVISION TO PLAN	21/06/2022	MB
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SCALE BAR

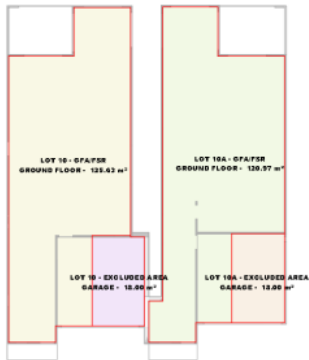


DUPLEX BUILDING DESIGN
 Offices in: Wollongong, Kiama & Shellharbour
 info@duplexbuildingdesign.com
 www.duplexbuildingdesign.com
 Office 1300 310 087

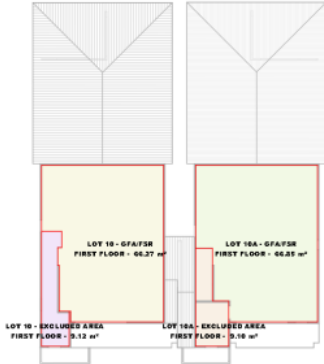
CLIENT: TORI PETER GROUP
 PROJECT: CUSTOM DUPLEX
 DRAWING: SITE MANAGEMENT PLAN & SHADOW DIAGRAM

DATE: 18/07/2022
 SCALE: As indicated
 PROJECT No: DRAWING No: ISSUE:
 21308 001.8 P7

DA PLANS



1 GROUND FLOOR - GFA/FSR
1:200

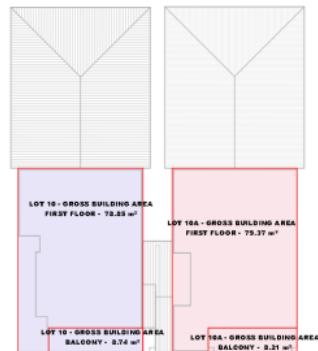


2 FIRST FLOOR - GFA/FSR
1:200

Area Schedule (GFA/FSR)	
Name	Area
GROUND FLOOR	120.97 m ²
FIRST FLOOR	66.85 m ²
LOT 10A - GFA/FSR 2	187.82 m ²
GARAGE	18.00 m ²
FIRST FLOOR	9.10 m ²
LOT 10A - EXCLUDED AREA 2	27.10 m ²
GROUND FLOOR	125.63 m ²
FIRST FLOOR	66.27 m ²
LOT 10 - GFA/FSR 2	191.90 m ²
GARAGE	18.00 m ²
FIRST FLOOR	9.12 m ²
LOT 10 - EXCLUDED AREA 2	27.12 m ²

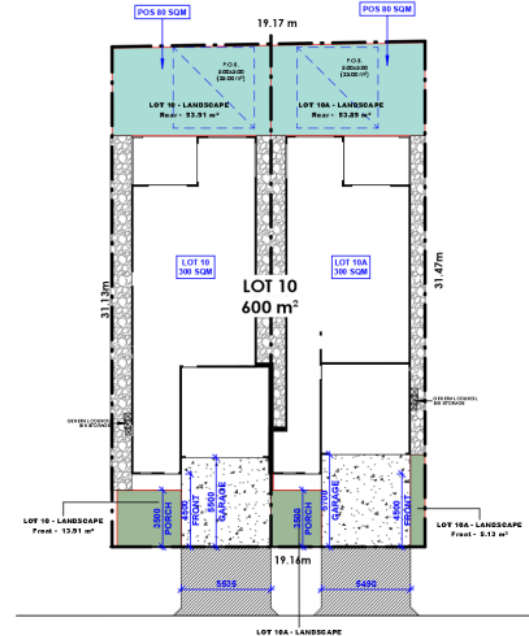


5 GROUND FLOOR - GROSS
1:200



4 FIRST FLOOR - GROSS
1:200

Area Schedule (Gross Building)	
Name	Area
LOT 10 - GROSS BUILDING AREA	
ALFRESCO	12.09 m ²
GARAGE	30.94 m ²
FIRST FLOOR	78.85 m ²
BALCONY	8.74 m ²
PORCH	3.07 m ²
GROUND FLOOR	118.12 m ²
LOT 10 - GROSS BUILDING AREA 6	251.81 m ²
LOT 10A - GROSS BUILDING AREA	
GARAGE	30.69 m ²
PORCH	3.12 m ²
GROUND FLOOR	113.73 m ²
ALFRESCO	12.36 m ²
FIRST FLOOR	79.37 m ²
BALCONY	8.21 m ²
LOT 10A - GROSS BUILDING AREA 6	247.48 m ²



3 LANDSCAPING AREA
1:200

Area Schedule (Landscape Compliance)	
Landscape Location	Area
Front	13.91 m ²
Rear	53.91 m ²
LOT 10 - LANDSCAPE 2	67.82 m ²
Front	11.06 m ²
Rear	53.89 m ²
LOT 10A - LANDSCAPE 3	70.08 m ²

NO.	REVISION	BY	DATE
01	PRELIMINARY PLAN	DL	18.07.2022
02	AMENDMENTS TO PLAN	DL	18.07.2022

SCALE BAR: NORTH

CLIENT: TORI PETER GROUP
PROJECT: CUSTOM DUPLEX
DRAWING: GROSS FLOOR AREA/F.S.R.

DATE: 18.07.2022
SCALE: 1:200
PROJECT No. DRAWING No. ISSUE: 21308 001.0 P2

DESIGNED BY: DUPLEX BUILDING DESIGN
Office: 1/100 Hocking, Klem 5, Berala
info@duplexbuildingdesign.com
www.duplexbuildingdesign.com
Office: 1300 310 087

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DA PLANS



Front_Notification



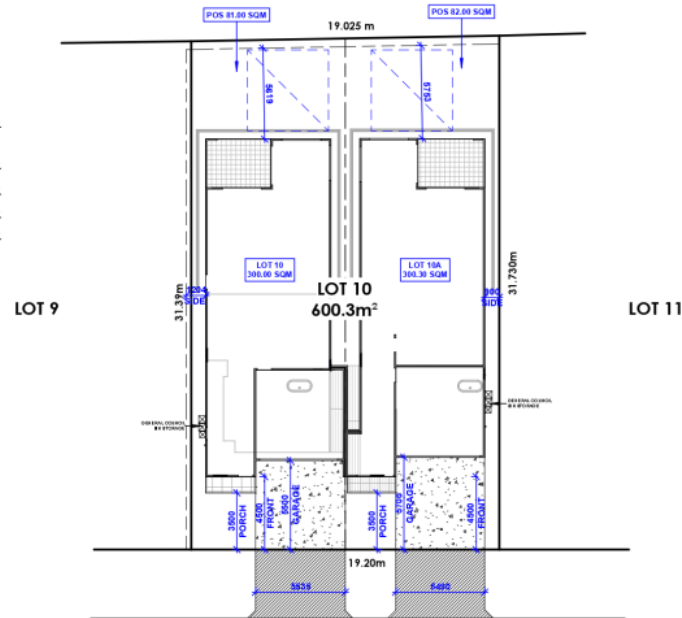
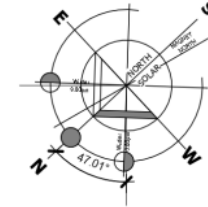
Left_Notification



Rear_Notification



Right_Notification



DA PLANS

001	REVISION	BY	DATE
002	PRELIMINARY PLAN	TP	18.07.2022
003	APPROVED	TP	18.07.2022
004	REVISION	TP	18.07.2022
005	REVISION	TP	18.07.2022
006	REVISION	TP	18.07.2022
007	REVISION	TP	18.07.2022
008	REVISION	TP	18.07.2022
009	REVISION	TP	18.07.2022
010	AMENDMENTS TO PLAN	OL	17.08.2022

SCALE BAR



DRAWN BY:



DUPLEX BUILDING DESIGN

Office: 110 Hargrave, Klemo & Clarke
 info@duplexbuildingdesign.com
 www.duplexbuildingdesign.com
 Office: 1300 310 087

CLIENT:

TORI PETER GROUP

ADDRESS:
 LOT 10 & LOT 10A, MUDGE
 DEVELOPMENT

PROJECT:

CUSTOM DUPLEX

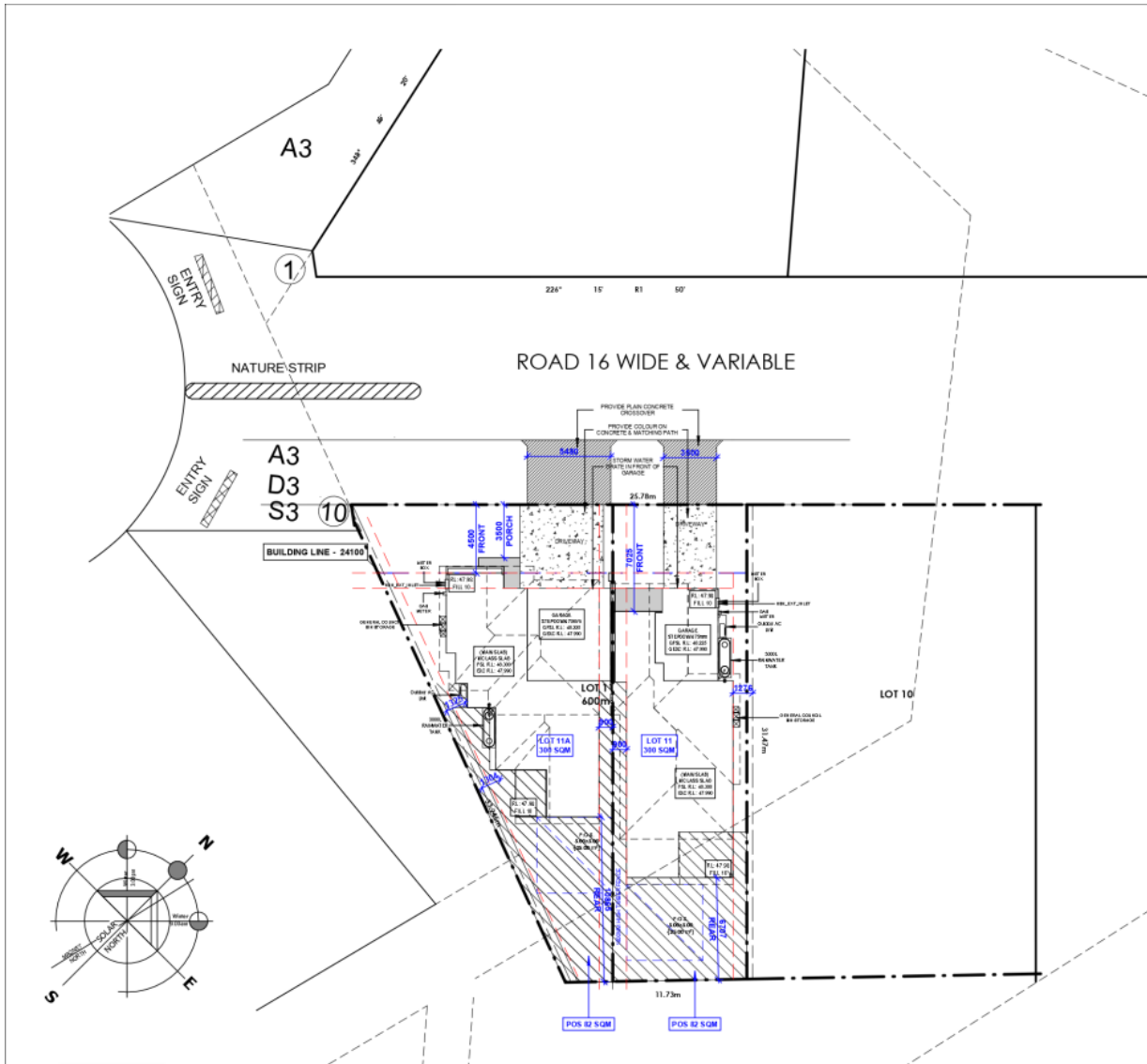
DRAWING:
 NOTIFICATION PLAN

DATE: 18.07.2022

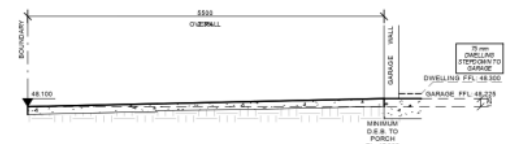
SCALE: As indicated

PROJECT No: DRAWING No: ISSUE:
 21308 001.10 P7

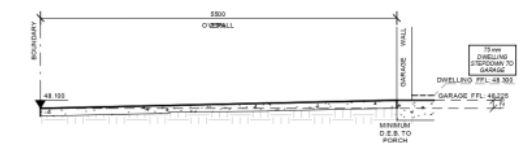
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4 LOT 11 - DRIVEWAY GRADIENT
1:50



5 LOT 11A - DRIVEWAY GRADIENT
1:50



WIND CLASSIFICATION: "M"
SLAB CLASSIFICATION: "M"

PROPERTY DESCRIPTION

LOT: 11
D.P.: 1165146
L.G.A.: MID-WESTERN REGIONAL

DA COUNCIL APPROVAL
CONTRIBUTION TO OVERALL FLOOR AREA
D.E.M.P. TO CONSIDERATION OF FUTURE DEVELOPMENT

FLOOR SPACE RATIO (FSR)
Total of proposed residential floor area divided by the gross building area on the lot.

TOTAL SITE AREA	669.20
LOT 11	107.114
LOT 11A	562.086
SITE AREA	339.08
GROUND FLOOR	83.63
FIRST FLOOR	132.00
TOTAL GROSS FLOOR AREA	215.63
PROPOSED FSR	6.37%
ALLOWED FSR	5%

SITE COVERAGE AREA

GROUND FLOOR AREA	22.50	36.32
GARAGE AREA	25.14	36.32
PROPOSED SITE COVERAGE	38.16%	41.61%
MAX SITE COVERAGE	55%	50%

LANDSCAPE

TOTAL HARDSHIP AREA	---	---
DRIVEWAY AREA	16.00	31.00
LESS THAN 1m	0.00	0.00
PORCH/VERANDAH AREA	2.28	3.50
ALFRESCO AREA	23.76	29.88
REMAINING SOFT LANDSCAPE AREA	---	---
PROPOSED LANDSCAPE AREA	---	---
MIN. REQUIRED BY COUNCIL	5%	0%

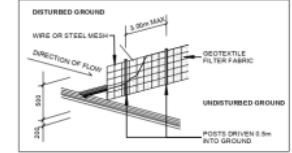
PRIVATE OPEN SPACE

PRINCIPLE PRIVATE OPEN SPACE	28.00	25.00
PRIVATE OPEN SPACE	65.71	60.69
MIN. ALLOWABLE BY COUNCIL	60.00	60.00
MIN. ALLOWABLE BY COUNCIL	3.00%	6.00%
PRINCIPAL PRIVATE OPEN SPACE	---	---

SEDIMENT NOTE

- 1. NO STOCKPILES OF MATERIALS IS PERMITTED ON THE VERGE BETWEEN KERB & PROPERTY BOUNDARY.
- 2. NO VEHICLE CROSSING OR STOCKPILES OF MATERIAL ON VEGETATION BUFFER.
- 3. ALL SEWERING RETAINING STRUCTURES TO BE CLEANED ON REACHING SOIL STORAGE CAPACITY.
- 4. ALL EXISTING VEGETATION WILL BE RETAINED OUTSIDE THE CONSTRUCTION SITE.
- 5. ROOF DRAINAGE IS TO BE CONNECTED TO THE STORMWATER SYSTEM AS SOON AS PRACTICABLE.
- 6. DEPRESSIONS LEFT IN THE FOOTPATH BY HEAVY TRUCKS ARE TO BE FILLED AS SOON AS POSSIBLE.
- 7. ONLY ONE EXIT POINT SHOULD BE USED & SHOULD BE CONSTRUCTED SO AS TO PREVENT SOIL BEING HEAVED THE ROAD & TO STOP ROADWAYS.
- 8. DRAINAGE DITCHES ABOVE & BELOW CUT & FILLED AREAS ARE TO REDUCE EROSION FROM DISTURBED GROUND.

SEDIMENT CONTROL FENCE



MID WESTERN COUNCIL DCP

Area Schedule (Gross Building)

Name	Area
GROUND FLOOR	33.82 m ²
ALFRESCO	10.55 m ²
GARAGE	23.74 m ²
PORCH	5.09 m ²
FIRST FLOOR	92.26 m ²
BALCONY	12.70 m ²
LOT 11 - GROSS BLDG AREA: 6	238.47 m²
GARAGE	34.82 m ²
GROUND FLOOR	50.31 m ²
ALFRESCO	7.52 m ²
PORCH	3.21 m ²
FIRST FLOOR	74.35 m ²
BALCONY	9.35 m ²
LOT 11A - GROSS BLDG AREA: 6	219.74 m²

DA PLANS



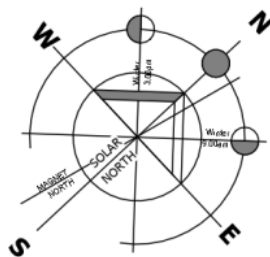
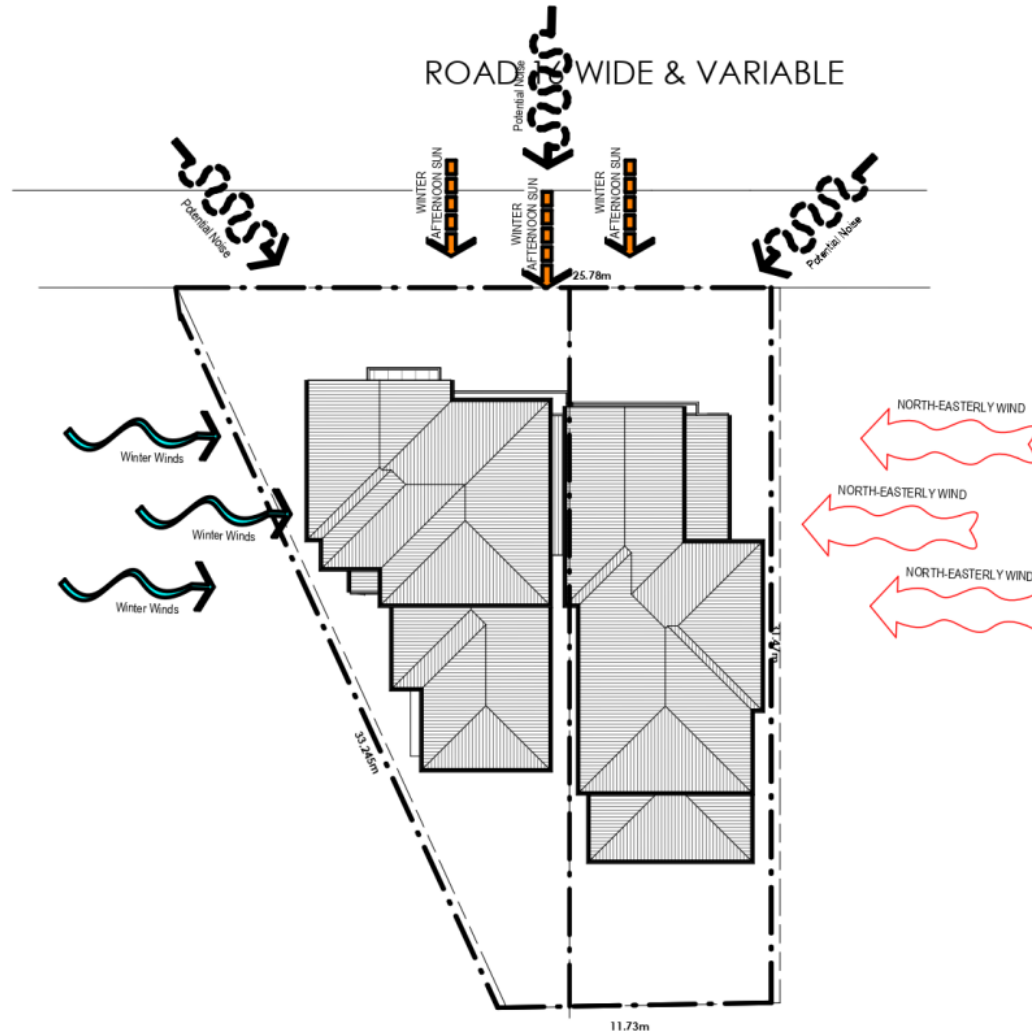
SITE PLAN

- Z - PROPOSED EASEMENT FOR ACCESS 4.5 WIDE (DP 1143747)
- A1 - EASEMENT FOR ACCESS VARIABLE WIDTH (DP 1143747)
- A3 - EASEMENT FOR ACCESS VARIABLE WIDTH, 8 AND 5 WIDE (DP 1165146)
- D1 - EASEMENT FOR ACCESS 8 WIDE (DP 1164977)
- D3 - EASEMENT FOR ACCESS VARIABLE WIDTH, 4, 965, 5 AND 8 WIDE (DP 1165146)
- P1 - POSITIVE COVENANT (DP 1143747)
- R1 - RESTRICTIONS ON THE USE OF LAND (DP 1143747)

<p>REVISIONS</p> <table border="1"> <thead> <tr><th>No.</th><th>Description</th><th>Date</th></tr> </thead> <tbody> <tr><td>1</td><td>ISSUED FOR PERMIT</td><td>18/07/2022</td></tr> <tr><td>2</td><td>AMENDMENT TO WALL</td><td>18/07/2022</td></tr> <tr><td>3</td><td>AMENDMENT TO WALL</td><td>18/07/2022</td></tr> <tr><td>4</td><td>AMENDMENT TO WALL</td><td>18/07/2022</td></tr> <tr><td>5</td><td>AMENDMENT TO WALL</td><td>18/07/2022</td></tr> <tr><td>6</td><td>AMENDMENT TO WALL</td><td>18/07/2022</td></tr> <tr><td>7</td><td>AMENDMENT TO WALL</td><td>18/07/2022</td></tr> <tr><td>8</td><td>AMENDMENT TO WALL</td><td>18/07/2022</td></tr> <tr><td>9</td><td>AMENDMENT TO WALL</td><td>18/07/2022</td></tr> <tr><td>10</td><td>AMENDMENT TO WALL</td><td>18/07/2022</td></tr> </tbody> </table>		No.	Description	Date	1	ISSUED FOR PERMIT	18/07/2022	2	AMENDMENT TO WALL	18/07/2022	3	AMENDMENT TO WALL	18/07/2022	4	AMENDMENT TO WALL	18/07/2022	5	AMENDMENT TO WALL	18/07/2022	6	AMENDMENT TO WALL	18/07/2022	7	AMENDMENT TO WALL	18/07/2022	8	AMENDMENT TO WALL	18/07/2022	9	AMENDMENT TO WALL	18/07/2022	10	AMENDMENT TO WALL	18/07/2022	<p>SCALE BAR</p> <p>NORTH</p> <p>DRAWN BY: TORI PETER GROUP</p> <p>CLIENT: TORI PETER GROUP</p> <p>PROJECT: CUSTOM DUPLEX</p> <p>DATE: 18/07/2022</p> <p>SCALE: As Indicated</p> <p>DRAWING: SITE PLAN</p> <p>PROJECT No. DRAWING No. ISSUE: 21310 00.1 D</p>	<p>DUPLEX BUILDING DESIGN</p> <p>Office: 1/100 King Street, Melbourne</p> <p>Phone: 03 9593 3107</p> <p>www.duplicatebuildingdesign.com.au</p> <p>Office: 1/100 King Street</p>
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SITE LEGEND



SITE ANALYSIS

DA PLANS

REV	REVISION	BY	DATE
A	PRELIMINARY PLANS	RS	14.09.2021
B	AMENDED FACADE	PG	02.11.2021
C	DA PLANS	LM	18.11.2021
D	AMENDMENTS TO PLAN	DL	11.07.2022

SCALE BAR:



DRAWINGS BY:



DUPLEX BUILDING DESIGN
 Offices at: Wollongong, Kiama & Ulladulla
 info@duplexbuildingdesign.com
 www.duplexbuildingdesign.com
 Office: 1300 310 007

CLIENT:
TORI PETER GROUP

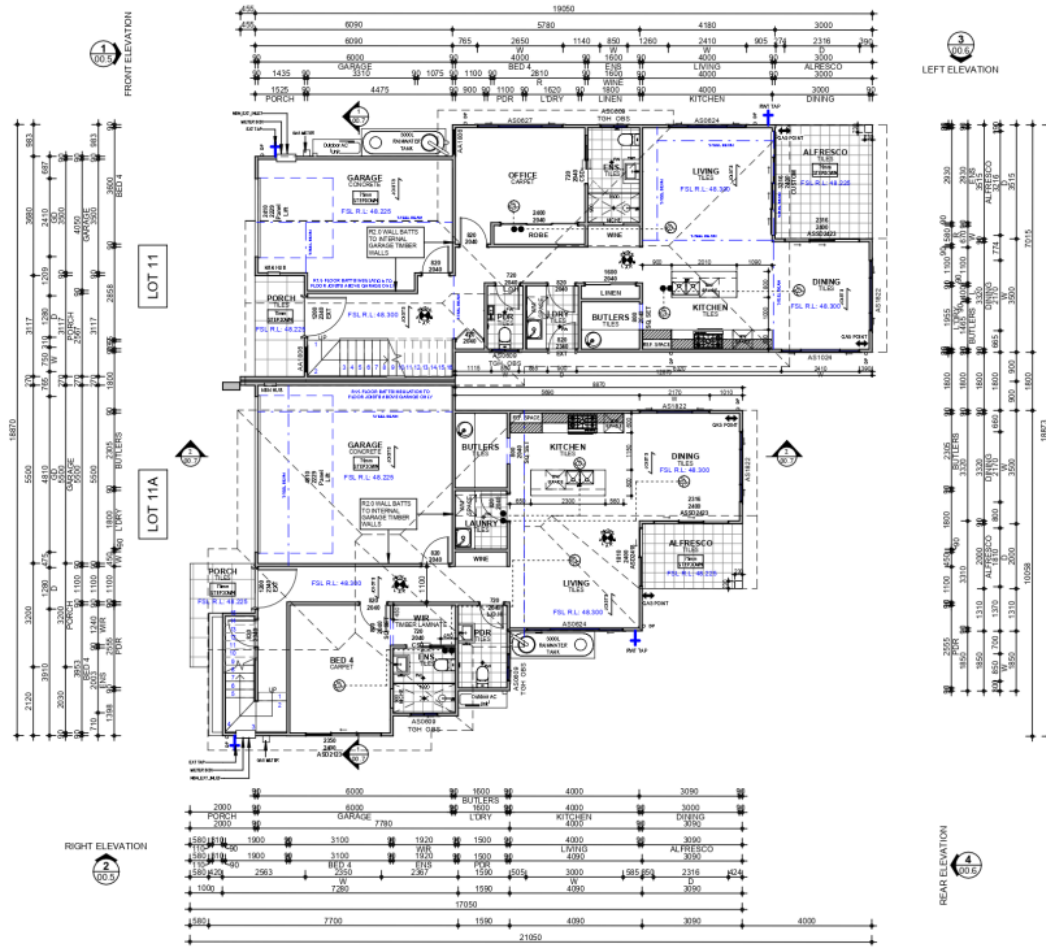
ADDRESS:
LOT 11 & LOT 11A, MUDGEE DEVELOPMENT

PROJECT:
CUSTOM DUPLEX

DRAWING:
SITE ANALYSIS

DATE: 18.07.2022
 SCALE: As indicated
 PROJECT No: 21310 DRAWING No: 00.2 ISSUE: D

THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE. DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES.



KEY SYMBOLS

FSL	FINISHED SLAB LEVEL
FF	FINISHED FLOOR
FC	FINISHED CEILING
	MAN HOLE (ROOF ACCESS)
	PROPOSED JOIST DIRECTION (CONFIRM WITH JOIST LAYOUT PLAN)
	HARDWIRED SMOKE ALARM
	DRAINAGE POINT
	AIR-CONDITIONING DROPPER
	AIR-CONDITIONING DUCT LINE
	AIR-CONDITIONING OUTLET
	KITCHEN WET AREA ELEVATIONS
	BULKHEADS
	OVERHEAD CABINET

NOTE: ALL STRUCTURAL BEAMS/POSTS ARE AN INDICATION ONLY. REFER TO ENGINEERING DETAILS FOR ALL LOCATIONS & CONNECTIONS.

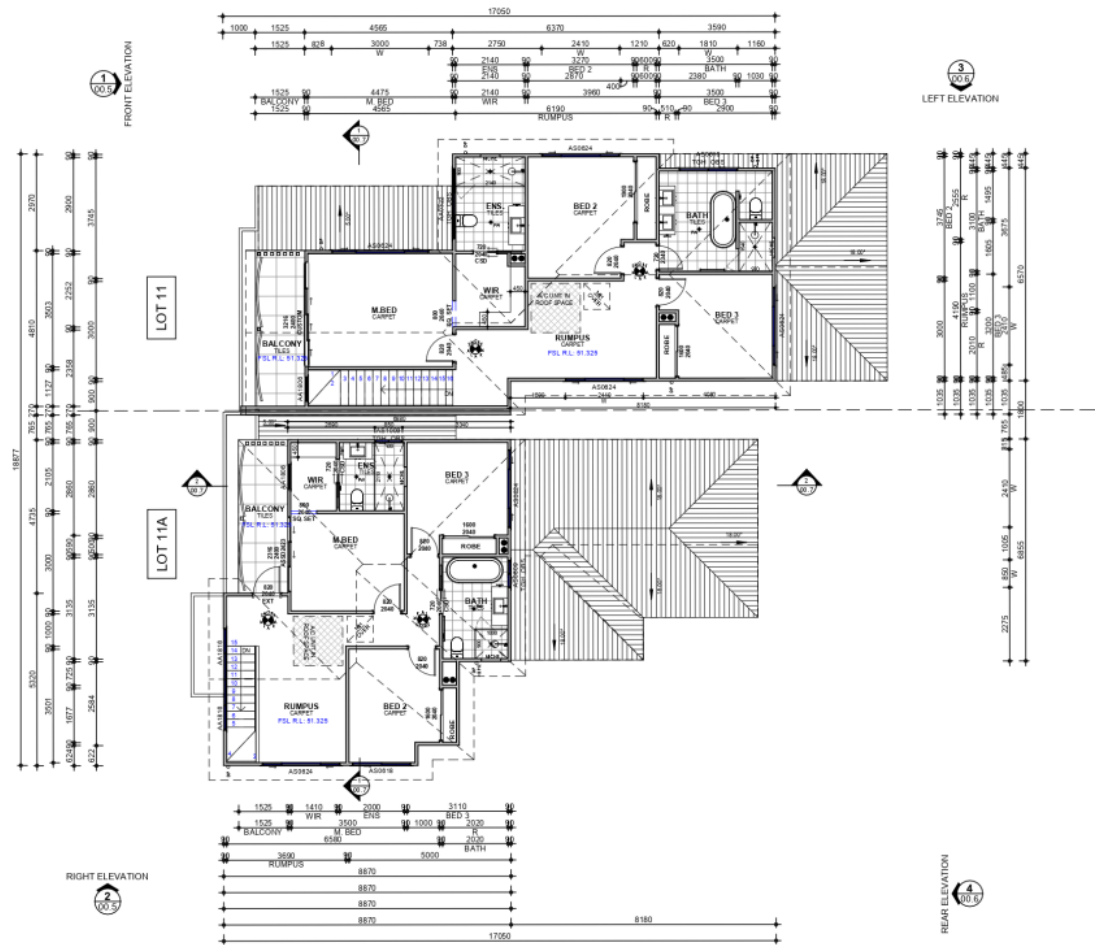
Area Schedule (Gross Building)

Name	Areas
GROUND FLOOR	53.83 m ²
ALFRESCO	10.55 m ²
GARAGE	23.74 m ²
PORCH	5.09 m ²
FIRST FLOOR	92.56 m ²
BALCONY	12.70 m ²
LOT 11 - GROSS BLDG AREA: 6	238.47 m²
GARAGE	34.82 m ²
GROUND FLOOR	90.31 m ²
ALFRESCO	7.52 m ²
PORCH	3.21 m ²
FIRST FLOOR	74.53 m ²
BALCONY	9.35 m ²
LOT 11A - GROSS BLDG AREA: 6	219.74 m²

1 GROUND FLOOR PLAN
1:100

<p>REVISIONS</p> <table border="1"> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> <tr> <td>1</td> <td>PRELIMINARY DESIGN</td> <td>18.08.2022</td> </tr> <tr> <td>2</td> <td>REVISIONS TO PLAN</td> <td>18.08.2022</td> </tr> <tr> <td>3</td> <td>REVISIONS TO PLAN</td> <td>18.08.2022</td> </tr> <tr> <td>4</td> <td>REVISIONS TO PLAN</td> <td>18.08.2022</td> </tr> </table>	NO.	DESCRIPTION	DATE	1	PRELIMINARY DESIGN	18.08.2022	2	REVISIONS TO PLAN	18.08.2022	3	REVISIONS TO PLAN	18.08.2022	4	REVISIONS TO PLAN	18.08.2022	<p>SCALE BAR</p> <p>NORTH</p> <p>DRAWING BY: DUPLEX BUILDING DESIGN <small>Office: 41 Ivindong, Klem 5, Clackville info@duplexbuildingdesign.com www.duplexbuildingdesign.com Office: 1300 310 07</small></p>	<p>CLIENT: TORI PETER GROUP</p> <p>ADDRESS: LOT 11 & LOT 11A, MUDGEE DEVELOPMENT</p>	<p>PROJECT: CUSTOM DUPLEX</p> <p>DRAWING: GROUND FLOOR PLAN</p>	<p>DATE: 18.07.2022</p> <p>SCALE: 1:100</p> <p>PROJECT No. DRAWING No. ISSUE: 21310 00.3 D</p>
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KEY SYMBOLS	
FFL	FINISHED SLAB LEVEL
FF	FINISHED FLOOR
FC	FINISHED CEILING
	MAN HOLE (ROOF ACCESS)
	PROPOSED JOIST DIRECTION (CORRESPOND WITH JOIST LAYOUT PLAN)
	HARDWIRED SMOKE ALARM
	DRAINAGE POINT
	AIR-CONDITIONING DROPPER
	AIR-CONDITIONING DUCT LINE
	AIR-CONDITIONING OUTLET
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Area Schedule (Gross Building)	
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LOT 11A - GROSS BLDG AREA: 6	219.74 m ²

DA PLANS

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FRONT ELEVATION



RIGHT ELEVATION

DA PLANS

		<table border="1"> <tr> <td>NO.</td> <td>REVISION</td> <td>BY</td> <td>DATE</td> </tr> <tr> <td>1</td> <td>PRELIMINARY DESIGN</td> <td>...</td> <td>...</td> </tr> <tr> <td>2</td> <td>...</td> <td>...</td> <td>...</td> </tr> <tr> <td>3</td> <td>...</td> <td>...</td> <td>...</td> </tr> <tr> <td>4</td> <td>...</td> <td>...</td> <td>...</td> </tr> <tr> <td>5</td> <td>...</td> <td>...</td> <td>...</td> </tr> </table>	NO.	REVISION	BY	DATE	1	PRELIMINARY DESIGN	2	3	4	5	<p>SCALE BAR</p> <p>NORTH</p> <p>DRAWN BY: DUPLEX BUILDING DESIGN Office at: Moorang, Koroit & District info@duplexbuildingdesign.com www.duplexbuildingdesign.com Office 1300 310 067</p>	<p>CLIENT: TORI PETER GROUP</p> <p>PROJECT: CUSTOM DUPLEX</p> <p>ADDRESS: LOT 11 & LOT 11A, MUDGEE DEVELOPMENT</p>	<p>DATE: 18.07.2022</p> <p>SCALE: 1:100</p> <p>PROJECT No. DRAWING No. DISC: 21310 00.5 D</p>
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REAR ELEVATION



LEFT ELEVATION

DA PLANS

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DUPLEX BUILDING DESIGN																				
TORI PETER GROUP																				



1 Section 1
1:100

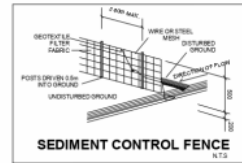


2 Section 2
1:100

	<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <th>NO.</th> <th>REVISION</th> <th>DATE</th> </tr> <tr> <td>1</td> <td>PRELIMINARY SET</td> <td>20.08.2022</td> </tr> <tr> <td>2</td> <td>ADDITIONAL FINISHES</td> <td>20.08.2022</td> </tr> <tr> <td>3</td> <td>REVISED</td> <td>20.08.2022</td> </tr> <tr> <td>4</td> <td>AMENDMENTS TO PLAN</td> <td>20.08.2022</td> </tr> </table>	NO.	REVISION	DATE	1	PRELIMINARY SET	20.08.2022	2	ADDITIONAL FINISHES	20.08.2022	3	REVISED	20.08.2022	4	AMENDMENTS TO PLAN	20.08.2022	SCALE BAR	NORTH	DRAWING BY: DUPLEX BUILDING DESIGN <small>Office: 11 Ivimeyong, Kinnear & Clarke info@duplexbuildingdesign.com www.duplexbuildingdesign.com Office: 1300 310 087</small>	CLIENT: TORI PETER GROUP ADDRESS: LOT 11 & LOT 11A, MUDGEE DEVELOPMENT	PROJECT: CUSTOM DUPLEX DRAWING: SECTION-DETAILS	DATE: 18.07.2022 SCALE: 1:100 PROJECT No. DRAWING No. ISSUE: 21310 00.7 D
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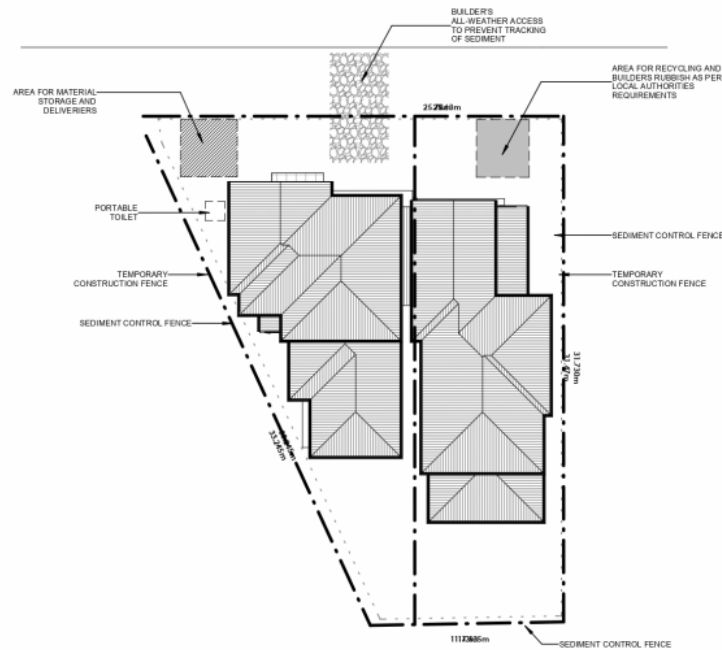
DA PLANS

THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE. DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES.

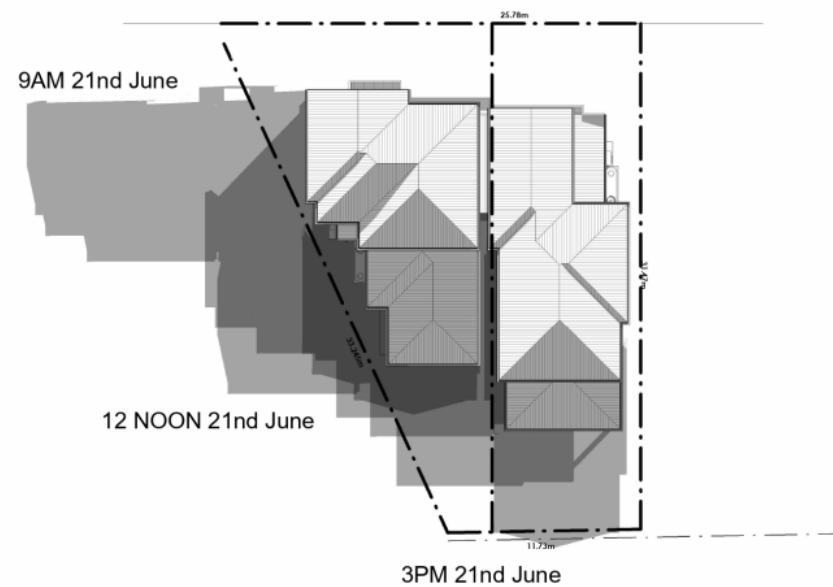


ROAD 16 WIDE & VARIABLE

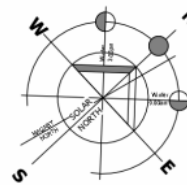
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SITE MANAGEMENT PLAN



SHADOW DIAGRAMS



DA PLANS

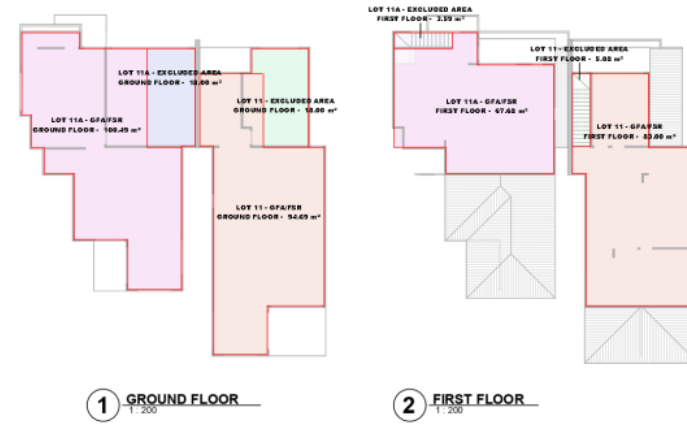
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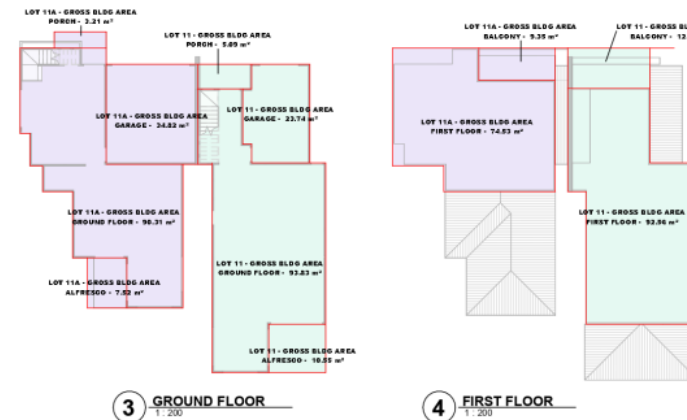


5 LANDSCAPE COMPLIANCE
1:200

Area Schedule (Landscape Compliance)	
Landscape Location	Areas
Front	18.96 m ²
Front	27.57 m ²
Rear	65.61 m ²
LOT - 11 LANDSCAPED AREA: 3	112.14 m ²
Front	60.74 m ²
Rear	56.48 m ²
LOT - 11A LANDSCAPED AREA: 2	117.22 m ²
LANDSCAPING TOTAL: 5	229.36 m ²



Area Schedule (GFA/FSR)	
Name	Areas
GROUND FLOOR	100.49 m ²
FIRST FLOOR	67.68 m ²
LOT 11A - GFA/FSR: 2	168.17 m ²
GROUND FLOOR	18.00 m ²
FIRST FLOOR	3.59 m ²
LOT 11A - EXCLUDED AREA: 2	21.59 m ²
GROUND FLOOR	94.69 m ²
FIRST FLOOR	83.00 m ²
LOT 11 - GFA/FSR: 2	177.69 m ²
GROUND FLOOR	18.00 m ²
FIRST FLOOR	5.08 m ²
LOT 11 - EXCLUDED AREA: 2	23.08 m ²



Area Schedule (Gross Building)	
Name	Areas
GROUND FLOOR	53.83 m ²
ALFRESCO	10.55 m ²
GARAGE	23.74 m ²
PORCH	3.21 m ²
FIRST FLOOR	32.56 m ²
BALCONY	12.70 m ²
LOT 11 - GROSS BLDG AREA: 6	238.47 m ²
GARAGE	34.82 m ²
GROUND FLOOR	50.31 m ²
ALFRESCO	7.52 m ²
PORCH	3.21 m ²
FIRST FLOOR	32.53 m ²
BALCONY	9.35 m ²
LOT 11A - GROSS BLDG AREA: 6	219.74 m ²

DA PLANS

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1 FRONT ELEVATION NOTIFICATION
 1:200



2 LEFT ELEVATION NOTIFICATION
 1:200

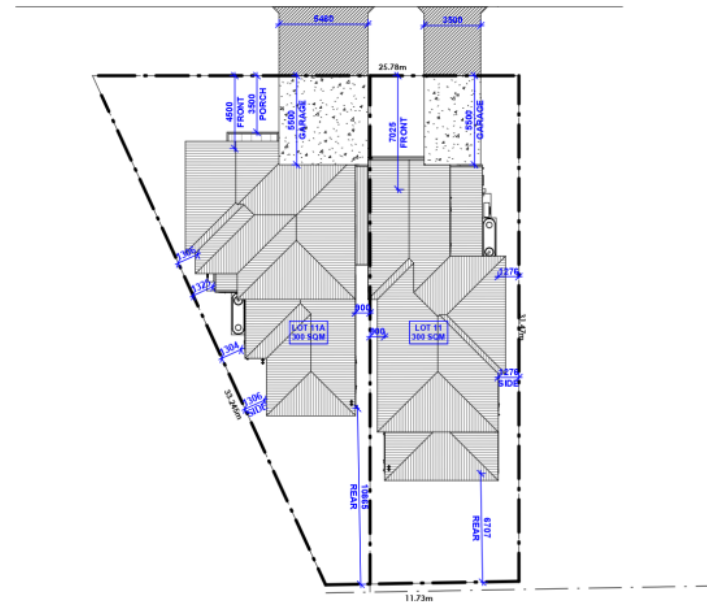
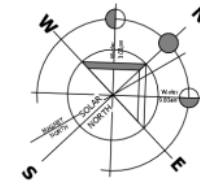


3 REAR ELEVATION NOTIFICATION
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4 RIGHT ELEVATION NOTIFICATION
 1:200

ROAD 16 WIDE & VARIABLE



6 SITE PLAN
 1:200

NO.	REVISION	BY	DATE
01	PRELIMINARY PLAN	TP	18.07.2022
02	FOR PRELIMINARY PURPOSES	TP	18.11.2022
03	REVISED	TP	12.08.2022
04	AMENDMENTS TO PLAN	TP	08.07.2022

SCALE BAR



DRAWING BY:
DUPLEX BUILDING DESIGN
 Offices in: Wollongong, Kiama & Shellharbour
 info@duplexbuildingdesign.com
 www.duplexbuildingdesign.com
 Office: 1300 310 087

CLIENT:
TORI PETER GROUP
 ADDRESS:
LOT 11 & LOT 11A, MUDGEE DEVELOPMENT

PROJECT:
CUSTOM DUPLEX NOTIFICATION PLAN

DA PLANS

DATE: 18.07.2022
 SCALE: As indicated
 PROJECT No: DRAWING No: 0555E
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MUDGEE GOLF CLUB SUBDIVISION - DA0102/2021

LOT 27 DP 1165146

21 ROBERTSON, MUDGEE NSW

CIVIL DRAWINGS

DRAWINGS LIST

- C1.00 COVER SHEET
- C2.00 EXISTING SITE PLAN
- C3.00 SUBDIVISION PLAN 1
- C4.00 INVERNESS AVE EXTENSION PLAN AND LONGITUDINAL SECTION
- C5.00 INVERNESS AVE EXTENSION CROSS SECTIONS
- C6.00 DRAINAGE PLAN
- C7.00 SEWER PLAN SHEET 1
- C7.01 SEWER PLAN SHEET 2
- C8.00 WATER PLAN



LOCATION PLAN
SCALE 1:2000 AT A1

NOTE:
THIS IS A PLANNING DRAWING ONLY, FOR THE PURPOSE OF CONCEPTUAL DESIGN AND/OR PLANNING. FURTHER DETAILED ENGINEERING DESIGN INCLUDING SPECIFICATIONS, SIZING AND STORAGE/WATER INVERTS TO BE PROVIDED PRIOR TO BUILDING RULES ASSESSMENT AND CONSTRUCTION.

SCALE 1:2000 AT A1 SHEET | 1:8000 AT A3 SHEET

ISSUED FOR INFORMATION	DATE	BY	FOR
ISSUED FOR INFORMATION	13/04/22	C	AD
ISSUED FOR INFORMATION	22/02/19	K	AD
ISSUED FOR INFORMATION	22/07/14	E	AD
AMENDMENTS	DATE	ISSUE	BY



ARCHITECT

CLIENT
MUDGEE GOLF CLUB

PROJECT
MUDGEE GOLF CLUB SUBDIVISION
21 ROBERTSON, MUDGEE
NSW 2850



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CONSULTING
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RESOLVED SIMPLY

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PO BOX 1075, MUDGEE NSW 2850
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DRAWING TITLE
COVER SHEET

PROJECT No. TX15318.02 -
DRAWING No. C1.00
ISSUE E

NOT FOR CONSTRUCTION

<p>GENERAL</p> <p>C01 THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANT DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ANY DISCREPANCY SHALL BE REFERRED TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.</p> <p>C02 ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE RELEVANT AND CURRENT STANDARDS AUSTRALIA CODES AND WITH THE BY-LAWS AND ORDINANCES OF THE RELEVANT BUILDING AUTHORITIES EXCEPT WHERE VARRIED BY THE PROJECT SPECIFICATION.</p> <p>C03 ALL DIMENSIONS SHOWN SHALL BE VERIFIED BY THE BUILDING CONTRACTOR ON SITE. ENGINEER'S DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS. ENGINEERS DRAWINGS ISSUED BY ANY ELECTRONIC FORMAT MUST NOT BE USED FOR DIMENSIONAL SETOUT.</p> <p>C04 UNLESS NOTED OTHERWISE ALL LEVELS ARE IN METRES AND ALL DIMENSIONS ARE IN MILLIMETRES.</p> <p>C05 ALL WORKS SHALL BE UNDERTAKEN IN ACCORDANCE WITH ACCEPTABLE SAFETY STANDARDS & APPROPRIATE SAFETY SIGNS SHALL BE INSTALLED AT ALL TIMES DURING THE PROGRESS OF THE JOB.</p> <p>SURVEY</p> <p>S01 THE EXISTING SITE CONDITIONS SHOWN ON THE DRAWINGS HAVE BEEN INVESTIGATED BY OTHERS. THE INFORMATION IS SHOWN TO PROVIDE A BASIS FOR DESIGN.</p> <p>S02 THE FOLLOWING ENGINEERING SURVEY SHALL NOT BE TAKEN AS A CADASTRAL OR BOUNDARY IDENTIFICATION SURVEY. BOUNDARY DATA SHALL BE TAKEN AS A GUIDE ONLY UNLESS NOTED OTHERWISE.</p> <p>S03 SHOULD DISCREPANCIES BE FOUND BETWEEN THE SURVEY DATA AND ACTUAL FIELD DATA THE CONTRACTOR SHALL NOTIFY TRIAXIAL CONSULTING PRIOR TO COMMENCEMENT OF THE WORKS. THE CONTRACTOR SHALL ACCEPT ALL RESPONSIBILITY FOR ERRORS MADE DURING CONSTRUCTION WHERE SURVEY DISCREPANCIES WERE NOT RELATED AND NOTED BY TRIAXIAL CONSULTING PRIOR TO COMMENCEMENT OF THE WORKS.</p> <p>EXCAVATION</p> <p>E01 REFER TO REPORT ON GEOTECHNICAL STABILITY ASSESSMENT FOR INFORMATION PERTAINING TO EXISTING SITE STABILITY, EXCAVATION AND GEOTECHNICAL ISSUES.</p> <p>E02 ALL SITE EXCAVATION TO BE PERFORMED IN ACCORDANCE WITH REAS NOTED IN THE ABOVE LISTED REPORT.</p> <p>E03 THE EARTHWORKS CONTRACTOR IS TO CONTACT OR MEET WITH THE GEOTECHNICAL ENGINEER PRIOR TO COMMENCEMENT OF ANY EXCAVATION TO DETERMINE APPROPRIATE TECHNIQUES AND HOLD POINTS.</p> <p>E04 TEMPORARY BATTER CUT TO ROCK TO BE FORMED AT A0 STEEPER THAN 1 V : 1 H. PERMANENT BATTER TO BE CONFORMED ON SITE IN CONSULTATION WITH THE GEOTECHNICAL ENGINEER.</p> <p>EXISTING UNDERGROUND SERVICES</p> <p>E01 THE EXISTING UNDERGROUND SERVICES INDICATED ON THESE DRAWINGS HAVE BEEN OBTAINED FROM SURVEY AND SERVICE AUTHORITY INFORMATION. THE SERVICES INFORMATION SHOWN ARE THOSE OF KNOWN SERVICES ONLY. THE LOCATIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE ONLY AND MAY NOT BE AS CONSTRUCTED OR ACCURATE. THE PRESENCE OR ABSENCE OF SERVICES SHALL BE CONFIRMED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION.</p> <p>E02 THE CONTRACTOR SHALL TAKE ALL DUE CARE WHEN EXCAVATING ON SITE INCLUDING HAND EXCAVATION WHERE NECESSARY.</p> <p>E03 THE CONTRACTOR SHALL CONTACT ALL RELEVANT SERVICE AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION WORKS.</p> <p>E04 THE CONTRACTOR SHALL UNDERTAKE A THOROUGH SERVICES SEARCH PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION WORKS. THE RESULTS OF SERVICES SEARCHES SHALL BE RECORDED AND KEPT ON SITE AT ALL TIMES.</p> <p>E05 THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING POTHOLES TO ESTABLISH AND CONFIRM LOCATIONS AND DEPTHS OF EXISTING UNDERGROUND SERVICES UTILITIES PRIOR TO COMMENCEMENT OF WORK ON SITE.</p>	<p>SITE PREPARATION</p> <p>GENERAL</p> <p>SP1 ALL EARTHWORKS, SITE PREPARATION AND MATERIALS TO BE IN ACCORDANCE WITH AS1378 AND THE GEOTECHNICAL ENGINEERS REPORT U1.0.</p> <p>SP2 SEDIMENT AND EROSION CONTROL MEASURES AS DOCUMENTED MUST BE IN PLACE PRIOR TO THE COMMENCEMENT OF WORK.</p> <p>SUBGRADE</p> <p>SP3 STRIP EXISTING AREA AS REQUIRED TO CONSTRUCT NEW WORKS. REMOVE ANY TOP SOIL, ALL ORGANIC & DELETERIOUS MATERIAL FROM SITE WORKS AREA.</p> <p>SP4 THE CUT AND FILL SURFACE SHALL BE PROOF ROLLED TO ENSURE THAT THE FILL AND NATURAL GROUND SUBGRADE TO SUB-BASE IS AT A SUITABLE DENSITY AND MOISTURE CONTENT.</p> <p>SP5 PRIOR TO THE COMMENCEMENT OF ANY CIVIL OR STRUCTURAL CONSTRUCTION THE RELEVANT SITE AREA IS TO BE COMPACTED AND TESTED IN ACCORDANCE WITH AS1399.3.1.1 OR 5.1.2 - 1993 TO PRODUCE THE FOLLOWING - 98.0% STANDARD COMPACTION AT THE SURFACE AND AT 200MM BELOW SURFACE LEVEL. FREQUENCY OF FIELD DENSITY TESTS SHALL BE CARRIED OUT IN ACCORDANCE WITH AS1378 - 2007 TABLE B.1. TESTING SHALL BE EVENLY SPACED OVER THE BUILDING SITE, AND AT RANDOM LOCATIONS. TEST RESULTS SHALL BE FORWARDED TO THE ENGINEER FOR APPROVAL PRIOR TO COMMENCEMENT OF WORKS.</p> <p>SP6 PROOF ROLLING SHALL BE CARRIED OUT UNDER THE DIRECTION OF THE CONTRACTOR. A MINIMUM 10 TONNE STATIC MASS SHOOTS DRUMMED ROLLER SHALL BE USED, WHERE THERE IS HOPEWELL UNDER THE ROLLER INDICATING SOFT OR DISTURBED SUBGRADE, THE AREA OF MOVEMENT SHALL BE IDENTIFIED AND THE FLOOR SUBGRADE MATERIAL REPLACED. ANY REPLACEMENT MATERIAL SHALL BE COMPACTED WITH APPROVED ROLL PLACED IN LAYERS NOT EXCEEDING 200mm LOOSE MEASUREMENT AND IN ACCORDANCE WITH FIELDS NOTE SP9 TO 98% OF SD0 AND WITHIN 42% OF STANDARD OPTIMUM MOISTURE CONTENT.</p> <p>SP7 WHERE THERE HAS BEEN AN EXTENDED DRY PERIOD THE SUBGRADE SURFACE MAY EXHIBIT CRACKING CONSISTENT WITH NEAR SURFACE DRYING OUT. IF SIGNIFICANT DRYING OUT HAS OCCURRED, MOISTURE CONDITION THE UPPER 200mm OF THE SUBGRADE, THE MATERIAL SHOULD THEN BE COMPACTED IN ACCORDANCE WITH THE ABOVE REQUIREMENTS FOR DENSITY AND MOISTURE CONTENT.</p> <p>FILL/SUB-BASE</p> <p>SP8 COMPACTION TESTING IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE ALLOWED FOR IN THE TENDER FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW FOR SOLE COMPACTION TESTING TO ALL FILL FORMATIONS WHICH SUPPORT CONCRETE SLAB ON GROUND, THE FLOORING AND EXTERNAL PAVEMENTS. TESTS SHALL BE CARRIED OUT BY AN INDEPENDENT NATA REGISTERED LABORATORY IN ACCORDANCE WITH THE REQUIREMENTS OF AS1399. SUBMIT TEST REPORTS TO THE ENGINEER FOR REVIEW.</p> <p>SP9 IMPORTED FILL IS TO BE WELL GRADED CRUSHED SANDSTONE, RIPPED SHALE OR APPROVED ALTERNATIVE, WITH A MINIMUM CBR OF 30%, F18R AND A MAX PARTICLE SIZE OF 75mm.</p> <p>SP10 ALL FILL MATERIAL SHALL BE UNIFORMLY PLACED IN LAYERS NOT EXCEEDING 200mm LOOSE MEASUREMENT.</p> <p>SP11 ALL FILL SHALL BE COMPACTED TO 98% STANDARD DRY DENSITY DETERMINED BY METHODS IN ACCORDANCE WITH AS1399. THE MOISTURE CONTENT OF THE FILL MATERIAL SHALL BE ADJUSTED TO WITHIN 2% OF THE OPTIMUM MOISTURE CONTENT DURING COMPACTION TO ENSURE THAT THE SPECIFIED COMPACTION IS OBTAINED.</p>	<p>STORMWATER DRAINAGE</p> <p>GENERAL</p> <p>SD1 PIPES UP TO 300mm DIAFTER SHALL BE SEWER GRADE UPVC WITH SLOTTED WELDED JOINTS.</p> <p>SD2 ALL "TERRIAL WORKS" WITHIN PROPERTY BOUNDARIES SHALL COMPLY WITH THE REQUIREMENTS OF AS/NZS 3500.3 (CURRENT EDITION).</p> <p>SD3 ALL STORMWATER PIPES SHALL BE PROVIDED WITH MINIMUM PIPE COVER TO COMPLY WITH THE REQUIREMENTS OF AS/NZS 3500.3 (CURRENT EDITION).</p> <p>SD4 INSTALLATION OF ALL BURIED CONCRETE STORMWATER PIPES SHALL COMPLY WITH THE REQUIREMENTS OF AS/NZS 3500.3 (CURRENT EDITION) DESIGN FOR INSTALLATION OF BURIED CONCRETE PIPES.</p> <p>SD5 ENLARGERS, CONNECTORS AND JUNCTIONS SHALL BE PREFABRICATED FITTINGS WHERE PIPES ARE LESS THAN 300mm DIAMETER.</p> <p>SD6 ALL STORMWATER DRAINAGE LINES SHALL HAVE A MINIMUM FALL OF 1% UNLESS NOTED OTHERWISE ON THE DRAWINGS. CARE SHALL BE TAKEN WITH SETTING LEVELS OF STORMWATER DRAINAGE LINES. GRACES SHOWN ON THE DRAWINGS SHALL NOT BE REDUCED WITHOUT THE WRITTEN CONSENT OF TRIAXIAL CONSULTING.</p> <p>SD7 GRATES AND COVERS SHALL COMPLY WITH THE REQUIREMENTS OF AS 3946 (CURRENT EDITION).</p> <p>SD8 AT ALL TIMES DURING THE CONSTRUCTION OF STORMWATER PITS, ADEQUATE SAFETY PROCEDURES SHALL BE DOCUMENTED AND SECURED TO MITIGATE THE RISK OF PERSONAL INJURY AS A RESULT OF FALLS INTO PITS.</p> <p>SD9 ALL EXISTING STORMWATER LOCATIONS, INCLUDING INVERTS, TO BE CONFIRMED BY THE BUILDING CONTRACTOR PRIOR TO THE COMMENCEMENT OF CIVIL WORKS ON SITE.</p> <p>SD10 ALL EXISTING STORMWATER DRAINAGE LINES AND PITS THAT ARE TO REMAIN SHALL BE INSPECTED AND CLEANED. DURING THIS PROCESS ANY PART OF THE STORMWATER DRAINAGE SYSTEM THAT WARRANTS REPAIR SHALL BE REPORTED TO THE SUPERINTENDENT/ENGINEER FOR FURTHER DIRECTIONS.</p> <p>SITEWORKS</p> <p>SW1 ALL CONNECTIONS WITH EXISTING WORKS SHALL BE MADE SMOOTH.</p> <p>SW2 ALL TRENCH BACKFILL MATERIAL SHALL BE COMPACTED TO ACHIEVE A DENSITY EQUIVALENT TO THE ADJACENT MATERIAL.</p> <p>SW3 ALL SERVICE TRENCHES SHALL BE BACKFILLED WITH SAND TO A LEVEL 300mm ABOVE THE PIPE. WHERE SERVICE TRENCHES ARE CONSTRUCTED UNDER VEHICULAR PAVEMENTS, BACKFILL THE REMAINDER OF THE TRENCH (TO UNDERSIDE OF PAVEMENT) WITH SAND OR APPROVED GRANULAR MATERIAL. COMPACTED IN LAYERS NOT EXCEEDING 150mm DEPTH. BACKFILL MATERIAL SHALL BE COMPACTED TO A MINIMUM 98% ADJUSTED HANDBOOK DRY DENSITY IN ACCORDANCE WITH AS 1399.5.2.1 (CURRENT EDITION) OR A DENSITY INDEX OF NOT LESS THAN 7.5.</p> <p>SW4 PROVIDE A 10mm WIDE EXPANSION JOINT BETWEEN ALL BUILDINGS AND CONCRETE OR UNIT PAVEMENTS.</p> <p>SEDIMENT AND EROSION CONTROL</p> <p>SE1 CONTROLS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUAL TRANSMISSION URBAN STORMWATER, SOILS AND CONSTRUCTION" (2004) (THE BLUE BOOK).</p> <p>SE2 DISTURBANCE SHALL BE KEPT TO A MINIMUM AND WITHIN THE LIMITS OF THE CONSTRUCTION SITE.</p> <p>SE3 ADDITIONAL CONTROLS SHALL BE INSTALLED AS REQUIRED AND IN ACCORDANCE WITH THE BLUE BOOK.</p> <p>SE4 ALL INSTALLED CONTROLS SHALL BE INSPECTED AT LEAST WEEKLY AND IMMEDIATELY FOLLOWING A RAIN EVENT. MAINTENANCE SHALL BE UNDERTAKEN AS REQUIRED.</p> <p>SE5 COMPLETED AREAS SHALL BE PROGRESSIVELY VEGETATED.</p> <p>SE6 CONTROL DEVICES, AS DETAILED, SHALL BE INSTALLED TO STORMWATER PITS IMMEDIATELY FOLLOWING THEIR CONSTRUCTION.</p>	<p>CONCRETE</p> <p>C1 ALL WORKMANSHIP AND MATERIAL SHALL BE IN ACCORDANCE WITH AS3600 CURRENT EDITION WITH AMENDMENTS, EXCEPT WHERE VARRIED BY THE CONTRACT DOCUMENTS.</p> <p>C2 READY-MIX CONCRETE SUPPLY SHALL COMPLY WITH AS1379.</p> <p>C3 CONCRETE QUALITY, ALL THE REQUIREMENTS OF THE ACSE SPECIFICATION DOCUMENT 1 (EDITION 6), SHALL APPLY TO THE FORMWORK, REINFORCEMENT AND CONCRETE UNLESS NOTED OTHERWISE. CONCRETE QUALITY SPECIFICATIONS AS SHOWN ON PLAN.</p> <p>C4 PROJECT CONTROL TESTING SHALL BE CARRIED OUT IN ACCORDANCE WITH AS1379.</p> <p>C5 NO ADJUSTERS SHALL BE USED IN CONCRETE UNLESS APPROVED IN WRITING.</p> <p>C6 CLEAR CONCRETE COVER TO ALL REINFORCEMENT FOR DURABILITY SHALL BE AS PER CONCRETE COVER SCHEDULE UNLESS SHOWN OTHERWISE.</p> <p>C7 DURABILITY REQUIREMENTS FOR CONCRETE:</p> <table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td>EXPOSURE CLASS:</td> <td>MINIMUM COVER:</td> <td>MAXIMUM COVER:</td> </tr> <tr> <td>A1 & A2</td> <td>50</td> <td>56</td> </tr> <tr> <td>B1</td> <td>30</td> <td>36</td> </tr> <tr> <td>B2</td> <td>38</td> <td>44</td> </tr> <tr> <td>C</td> <td>40</td> <td>46</td> </tr> </table> <p>C8 ALL REINFORCEMENT SHALL BE FIRMLY SUPPORTED ON HILD STEEL, PLASTIC CHAIRS, PLASTIC CHAIRS OR CONCRETE CHAIRS AT 100mm MAX. CENTRES BOTH WAYS U.L.O. BARS SHALL BE TIED AT ALTERNATE INTERSECTIONAL PLASTIC CHAIRS IN EXPOSURE CONDITIONS GREATER THAN 81. MINIMUM BAR CHAIR SPACING FOR HIGH REINFORCEMENT SHALL BE:</p> <p>SLR2, SLR2, SLR1, R191R: 100 CTS. SL72, SLR2, RL18R: 600 CTS.</p> <p>C9 NO HOLES, CHASES OR EMBEDMENTS OF PIPES OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE MADE IN CONCRETE MEMBERS WITHOUT THE PRIOR WRITTEN APPROVAL OF THE ENGINEER.</p> <p>C10 CONSTRUCTION JOBS WHERE NOT SHOWN SHALL BE LOCATED TO THE APPROVAL OF THE ENGINEER.</p> <p>C11 ALL CONCRETE SHALL BE COMPACTED WITH MECHANICAL VIBRATORS.</p> <p>C12 THE ENGINEER SHALL BE GIVEN 24 HOURS NOTICE FOR REINFORCEMENT INSPECTIONS AND CONCRETE SHALL NOT BE DELIVERED UNTIL ENGINEERS APPROVAL IS OBTAINED.</p> <p>C13 WELDING OF REINFORCEMENT SHALL NOT BE PERMITTED UNLESS SHOWN ON THE STRUCTURAL DRAWINGS OR APPROVED BY THE ENGINEER.</p> <p>C14 REINFORCEMENT BARS AND SIGATURES:</p> <p>R: HOT ROLLED DEFORMED BAR, GRADE 500 HORIZONTAL DUCTILITY AS4671-D500H</p> <p>RL: HOT ROLLED ROUND BAR, GRADE 250 HORIZONTAL DUCTILITY AS4671-R250H</p> <p>VL: COLD DRAWN ROUND WIRE, GRADE 500 LOW DUCTILITY AS4671-R500L</p> <p>S: POOL STEEL</p> <p>SL: HOT ROLLED DEFORMED BAR, GRADE 250 HORIZONTAL DUCTILITY AS4671-D250H</p> <p>NOTE: THE UNDERSCORE REPRESENTS HORIZONTAL BAR DIAFTER IN ACCORDANCE WITH AS4671</p> <p>REINFORCEMENT FABRIC:</p> <p>SL: SQUARE MESH, COLD DRAWN RIBBED WIRE GRADE 500, LOW DUCTILITY AS4671-D500L</p> <p>RL: RECTANGULAR MESH, COLD DRAWN RIBBED WIRE GRADE 500, LOW DUCTILITY AS4671-D500L</p> <p>JLTH: TRENCH MESH, COLD DRAWN RIBBED WIRE GRADE 500, LOW DUCTILITY AS4671-D500L</p> <p>NOTE: THE UNDERSCORE REPRESENTS VARYING SPECIFICATIONS IN ACCORDANCE WITH AS4671.</p> <p>C15 REINFORCEMENT IS REPRESENTED DIAGRAMMATICALLY AND NOT NECESSARILY IN TRUE PROJECTION.</p> <p>C16 SPLICES IN REINFORCEMENT SHALL BE MADE ONLY IN POSITIONS SHOWN OR OTHERWISE APPROVED IN WRITING BY THE ENGINEER. LAPS SHALL BE IN ACCORDANCE WITH AS3600 AND NOT LESS THAN THE DEVELOPMENT LENGTH FOR EACH BAR.</p> <p>C17 STANDARD LAP AND COG LENGTHS UNLESS NOTED OTHERWISE ON DRAWINGS:</p> <table border="1" style="width:100%; border-collapse: collapse;"> <thead> <tr> <th>BAR DIA.</th> <th>MIN LAP LENGTH (mm)</th> <th>MIN COG LENGTH (mm)</th> </tr> </thead> <tbody> <tr> <td>112</td> <td>500</td> <td>180</td> </tr> <tr> <td>116</td> <td>750</td> <td>210</td> </tr> <tr> <td>120</td> <td>1000</td> <td>240</td> </tr> <tr> <td>124</td> <td>1375</td> <td>310</td> </tr> <tr> <td>128</td> <td>1540</td> <td>340</td> </tr> <tr> <td>132</td> <td>1810</td> <td>400</td> </tr> </tbody> </table>	EXPOSURE CLASS:	MINIMUM COVER:	MAXIMUM COVER:	A1 & A2	50	56	B1	30	36	B2	38	44	C	40	46	BAR DIA.	MIN LAP LENGTH (mm)	MIN COG LENGTH (mm)	112	500	180	116	750	210	120	1000	240	124	1375	310	128	1540	340	132	1810	400	<p>CONCRETE (CONTINUED)</p> <p>C18 CONCRETE SIZES DO NOT INCLUDE THICKNESSES OF APPLIED FINISHES.</p> <p>C19 DEPTHS OF BEAMS ARE GIVEN FIRST AND INCLUDE SLAB THICKNESS.</p> <p>C20 REFER TO ARCHITECT'S DETAILS FOR CHAMFERS, DRIP GROOVES, REGLES, ETC., MAINTAIN COVER TO REINFORCEMENT AT THESE DETAILS.</p> <p>C21 USE ALIPHATIC ALCOHOLS SPRAYED OVER THE SURFACE PRIOR TO AND AFTER FINISHING TO REDUCE RATE OF EVAPORATION FROM THE SURFACE AND HELP CONTROL PLASTIC SHRINKAGE CRACKING. NOTE THAT THE USE OF ALIPHATIC ALCOHOLS IS NOT A SUBSTITUTE FOR CURING.</p> <p>C22 CONVAHENCE CURING OPERATIONS PROMPTLY AFTER SURFACE FINISHING IS COMPLETE. CURING COMPOUNDS ARE TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS AND ARE TO BE CHECKED FOR COMPATIBILITY WITH PROPOSED FLOOR FINISHES. SOME COMPOUNDS MAY REQUIRE REMOVAL FOR GULLED DOWN FLOOR COVERINGS OR WET CURING AS DESCRIBED BELOW.</p> <p>CONCRETE IS TO BE CURED BY KEEPING THE SURFACES CONTINUOUSLY WET FOR A PERIOD OF 3 DAYS, AND PREVENTING THE LOSS OF MOISTURE FOR A FURTHER 7 DAYS FOLLOWED BY A GRADUAL DRYING OUT.</p> <p>C23 PROPPING WHICH SUPPORTS CONSTRUCTION OVERS IS TO BE LEFT IN PLACE AS REQUIRED TO AVOID OVER STRESSING THE STRUCTURE DUE TO CONSTRUCTION LOADING.</p> <p>C24 CONDENS. PIPES ETC. SHALL ONLY BE LOCATED IN THE MIDDLE ONE THIRD OF SLAB DEPTH AND SPACED AT NOT LESS THAN 3 DIAMETERS OF THE CONDENS. PIPES ETC. PIPES OR CONDENS. SHALL NOT BE PLACED WITHIN THE COVER TO REINFORCEMENT.</p> <p>C25 MINIMUM MESH LAPS:</p>  <p>C26 A 0.2mm POLYETHYLENE MEMBRANE SHALL BE CONTINUOUS UNDER SLAB LAPPED 200mm MIN. WHERE REQUIRED AND TAPE AT ALL SERVICE PENETRATIONS, LAPS AND JUNCTIONS. THE MEMBRANE IS TO EXTEND UNDER AND TO THE SIDES OF SLABS, BEAMS AND THICKENINGS.</p>
EXPOSURE CLASS:	MINIMUM COVER:	MAXIMUM COVER:																																						
A1 & A2	50	56																																						
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132	1810	400																																						


NOTE:
 THIS IS A PLANNING DRAWING ONLY. FOR THE PURPOSE OF CONCEPTUAL DESIGN AND/OR PLANNING. FURTHER DETAILED ENGINEERING DESIGN INCLUDING SPECIFICATIONS, SIZING AND STORMWATER INVERTS TO BE PROVIDED PRIOR TO BUILDING RULES ASSESSMENT AND CONSTRUCTION.



SCALE: 1:500 AT A1 SHEET | 1:400 AT A3 SHEET

ISSUED FOR INFORMATION	13.03.22	D	J.D.	NORTH POINT U.I.D.	ARCHITECT	CLIENT	PROJECT	DRAWING TITLE
ISSUED FOR INFORMATION	13.04.22	C	J.D.			MUDGEE GOLF CLUB	MUDGEE GOLF CLUB SUBDIVISION	GENERAL NOTES
ISSUED FOR INFORMATION	22.02.19	B	J.D.				21 ROBERTSON, MUDGEE NSW 2850	
ISSUED FOR INFORMATION	29.02.04	A	J.D.					
AMENDMENTS	DATE	BY	BY					

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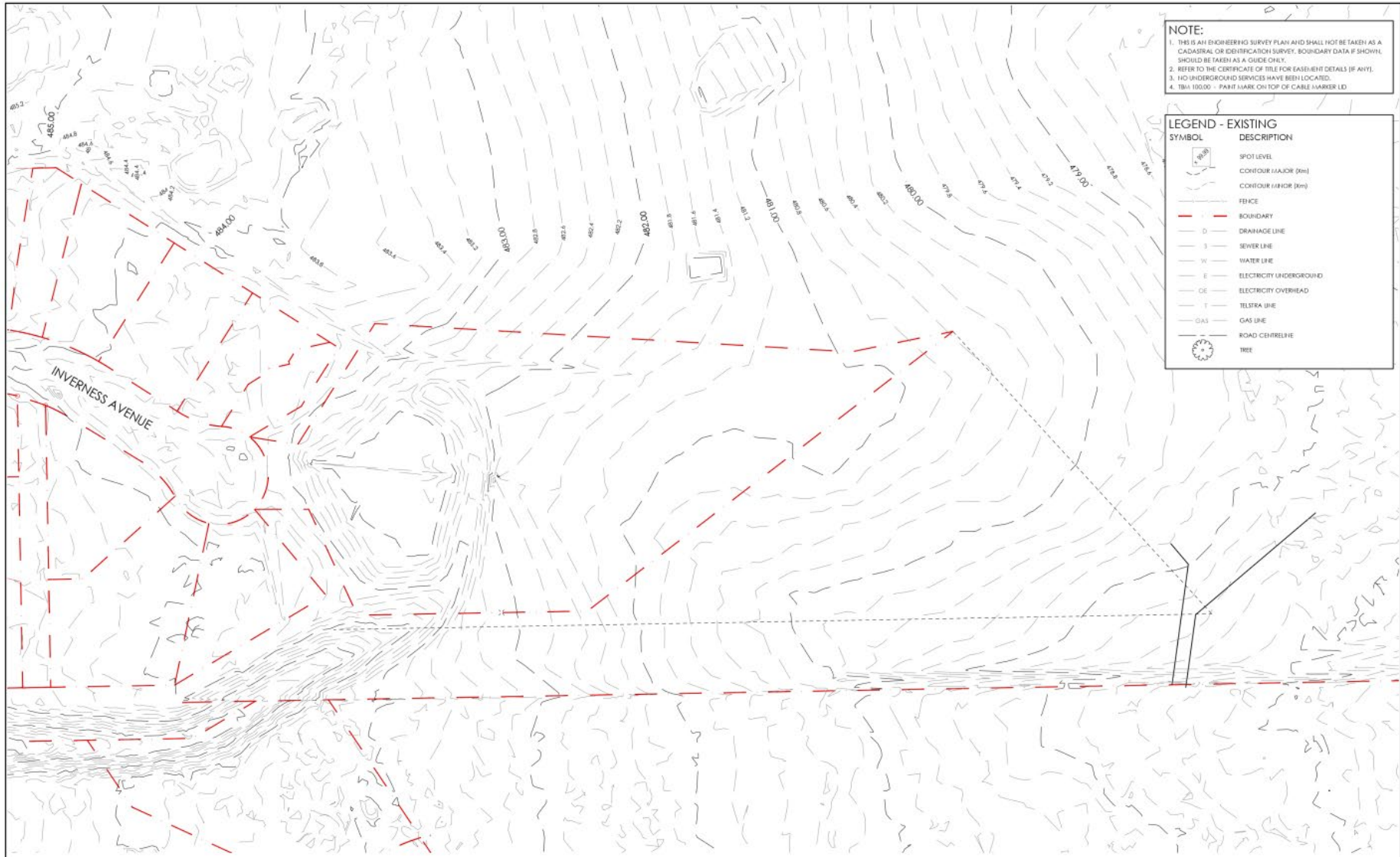
COMPLEX PROBLEMS
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 2. REFER TO THE CERTIFICATE OF TITLE FOR EASEMENT DETAILS (IF ANY).
 3. NO UNDERGROUND SERVICES HAVE BEEN LOCATED.
 4. TBM 100.00 - PAVEMENT ON TOP OF CABLE MARKER LID

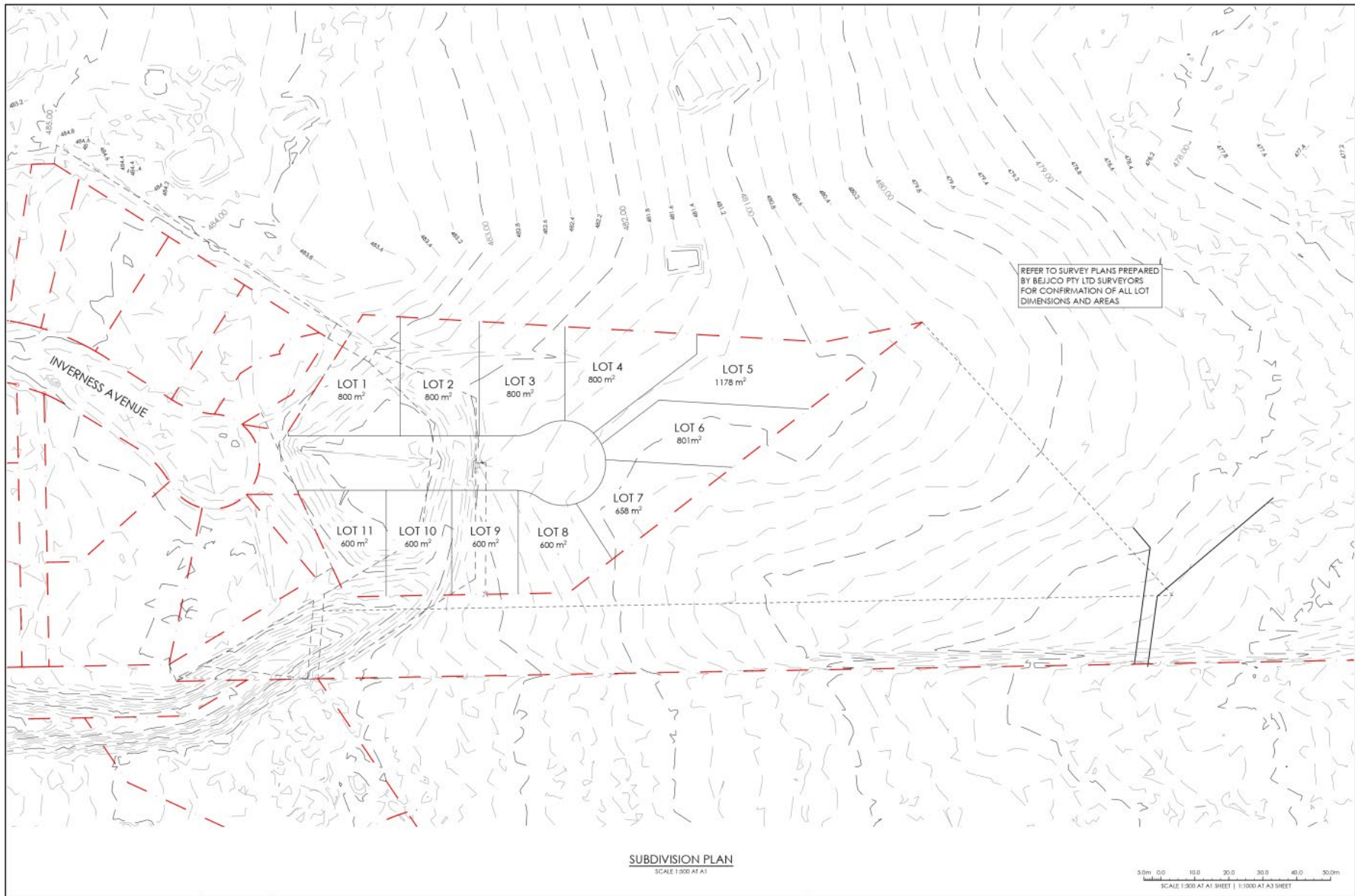
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	CONTOUR MINOR (1m)
	FENCE
	BOUNDARY
	DRAINAGE LINE
	SEWER LINE
	WATER LINE
	ELECTRICITY UNDERGROUND
	ELECTRICITY OVERHEAD
	TELSTRA LINE
	GAS LINE
	ROAD CENTRELINE
	TREE

EXISTING PLAN
SCALE 1:500 AT A1



ISSUED FOR INFORMATION 130422 C AD ISSUED FOR INFORMATION 220219 B AD ISSUED FOR INFORMATION 220714 E AD AMENDMENTS DATE ISSUE BY	NORTH POINT UTM 	ARCHITECT CLIENT MUDGEE GOLF CLUB	PROJECT MUDGEE GOLF CLUB SUBDIVISION 21 ROBERTSON, MUDGEE NSW 2850	 TRIAxIAL CONSULTING COMPLEX PROBLEMS RESOLVED SIMPLY	1300 874 294 TRIAxIAL.COM.AU 44 MARKET STREET, MUDGEE NSW 2850 PO BOX 1075, MUDGEE NSW 2850 TO BE PRINTED IN COLOUR	DRAWING TITLE EXISTING PLAN PROJECT No. TX15318.02 - C2.00 DRAWING No. ISSUE E
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SUBDIVISION PLAN
 SCALE 1:500 AT A1



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ISSUED FOR INFORMATION	13.04.22	C	JD
ISSUED FOR INFORMATION	22.02.19	S	JD
ISSUED FOR INFORMATION	22.07.14	E	JD
AMENDMENTS	DATE	ISSUE	BY



CLIENT
MUDGE GOLF CLUB

PROJECT
MUDGE GOLF CLUB SUBDIVISION
 21 ROBERTSON, MUDGE
 NSW 2850

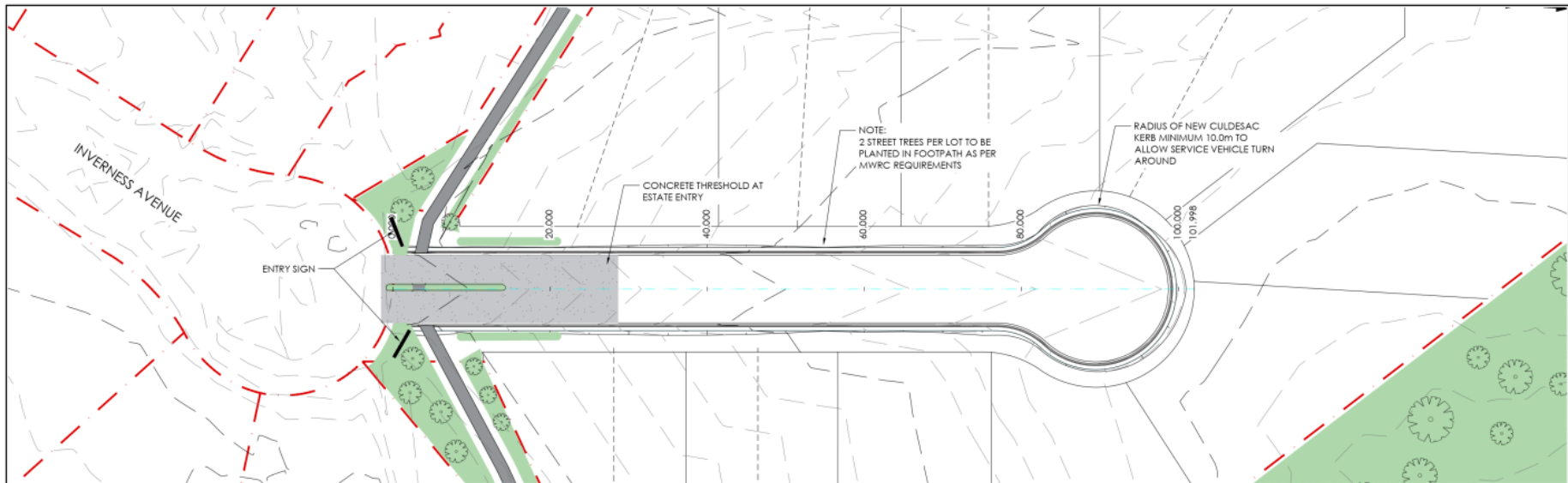


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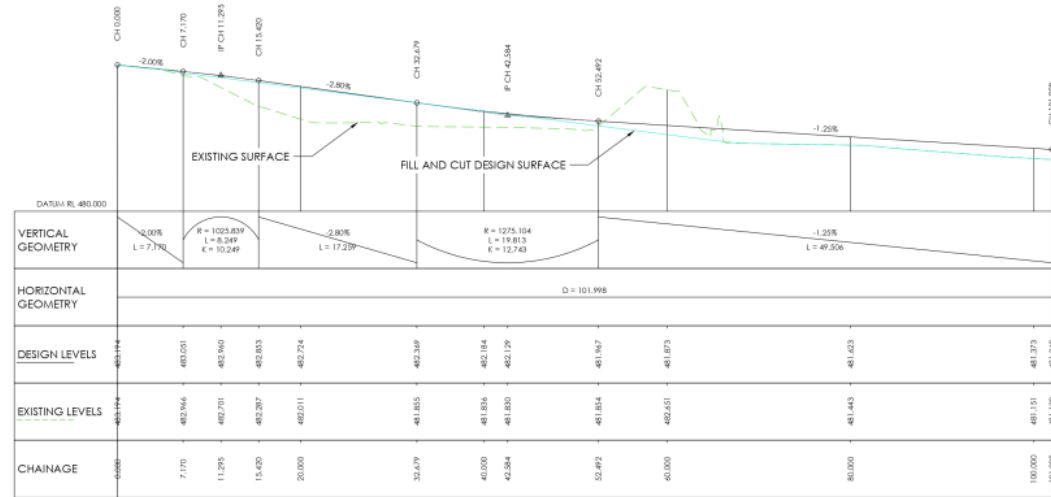
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SUBDIVISION PLAN 1

PROJECT No. **TX15318.02** DRAWING No. **C3.00** ISSUE **E**

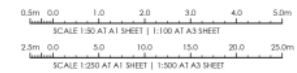
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INVERNESS AVE EXTENSION PLAN
SCALE 1:250 AT A1



INVERNESS AVE EXTENSION LONGITUDINAL SECTION
VERTICAL SCALE 1:50 AT A1
HORIZONTAL SCALE 1:250 AT A1



ISSUED FOR INFORMATION	12.02.22	D	JD
ISSUED FOR INFORMATION	13.04.22	C	JD
ISSUED FOR INFORMATION	22.02.19	B	JD
ISSUED FOR INFORMATION	22.07.14	E	JD
AMENDMENTS	DATE	ISSUE	BY

NOT FOR CONSTRUCTION



CLIENT
MUDGE GOLF CLUB

PROJECT
**MUDGE GOLF CLUB SUBDIVISION
21 ROBERTSON, MUDGE
NSW 2850**

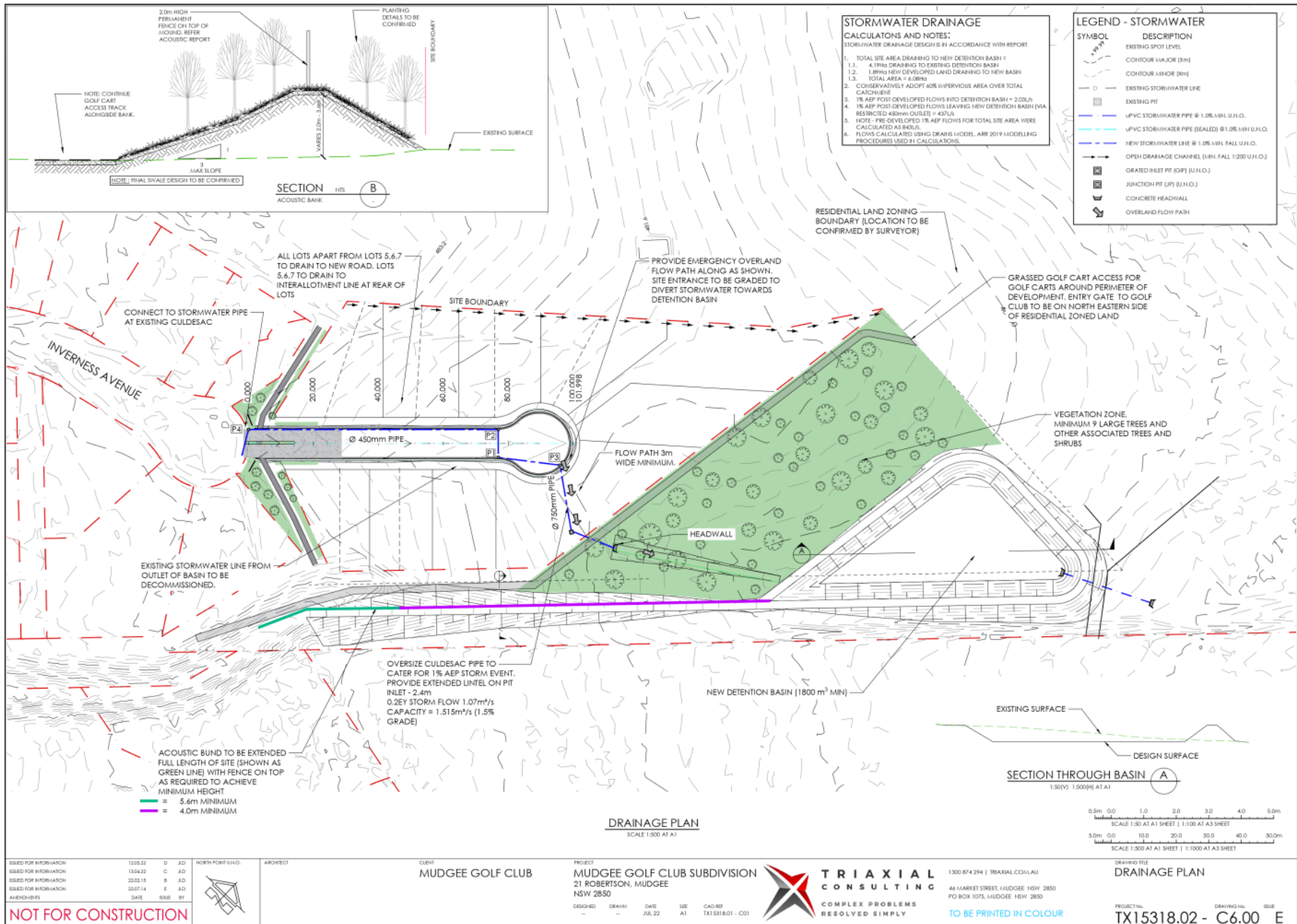


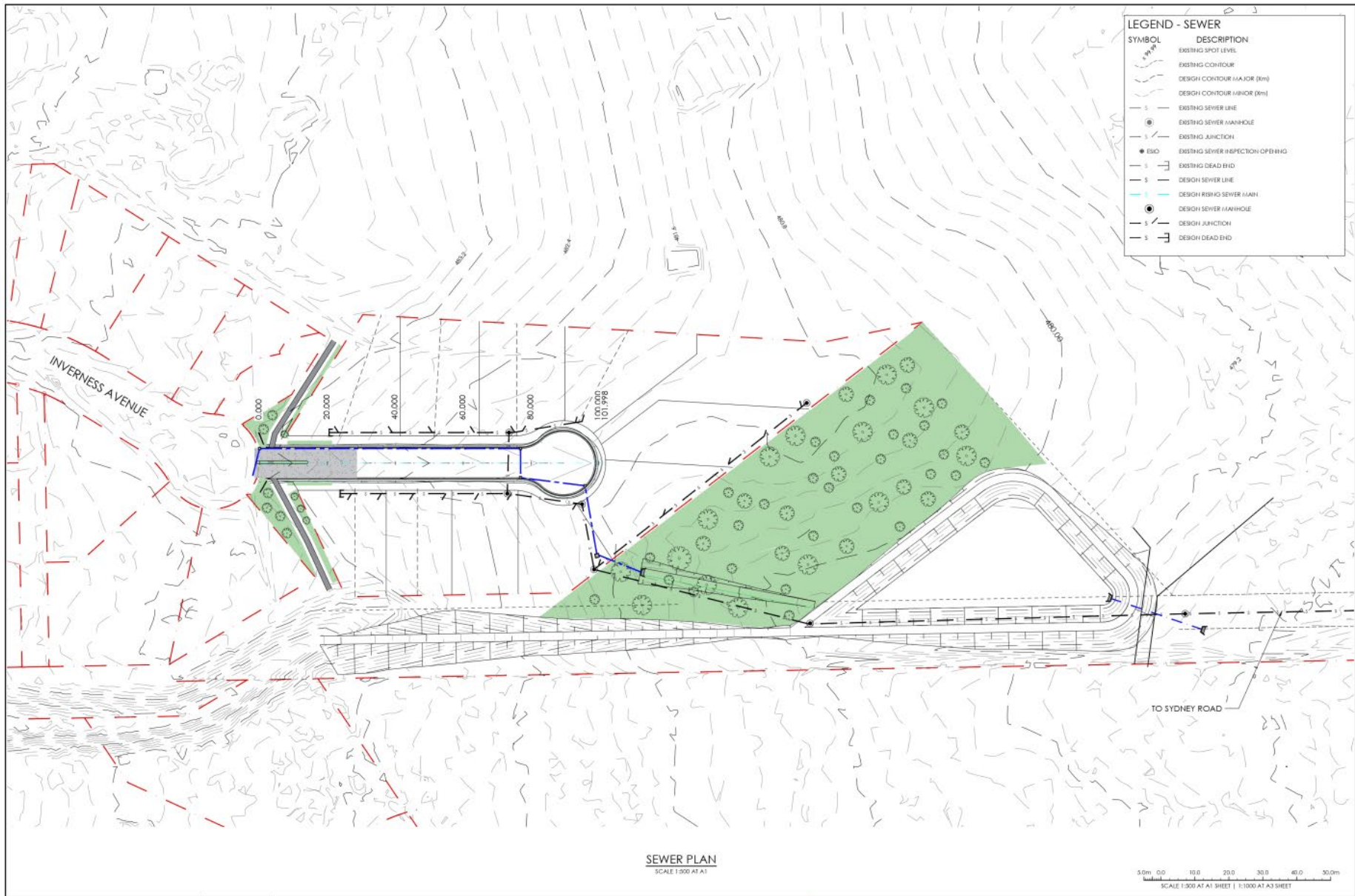
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DRAWING TITLE
**INVERNESS AVE EXTENSION PLAN
AND LONGITUDINAL SECTION**

PROJECT No. **TX15318.02** DRAWING No. **C4.00** ISSUE **E**







LEGEND - SEWER	
SYMBOL	DESCRIPTION
	EXISTING SPOT LEVEL
	EXISTING CONTOUR
	DESIGN CONTOUR MAJOR (2m)
	DESIGN CONTOUR MINOR (2m)
	EXISTING SEWER LINE
	EXISTING SEWER MANHOLE
	EXISTING JUNCTION
	EXISTING SEWER INSPECTION OPENING
	EXISTING DEAD END
	DESIGN SEWER LINE
	DESIGN RISINGS SEWER MANHOLE
	DESIGN SEWER MANHOLE
	DESIGN JUNCTION
	DESIGN DEAD END

SEWER PLAN
 SCALE 1:500 AT A1



ISSUED FOR INFORMATION	12.02.22	D	JD
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ISSUED FOR INFORMATION	22.07.14	E	JD
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SEWER PLAN SHEET 1

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LEGEND - SEWER

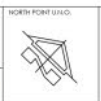
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	EXISTING CONTOUR
	DESIGN CONTOUR MAJOR (5m)
	DESIGN CONTOUR MINOR (2m)
	EXISTING SEWER LINE
	EXISTING SEWER MANHOLE
	EXISTING JUNCTION
	EXISTING SEWER INSPECTION OPENING
	EXISTING DEAD END
	DESIGN SEWER LINE
	DESIGN RISH SEWER (MAN)
	DESIGN SEWER (MANHOLE)
	DESIGN JUNCTION
	DESIGN DEAD END

SEWER PLAN
SCALE 1:500 AT A1



ISSUED FOR INFORMATION	12.02.22	D	JD
ISSUED FOR INFORMATION	13.04.22	C	JD
ISSUED FOR INFORMATION	22.02.19	S	JD
ISSUED FOR INFORMATION	22.07.14	E	JD
AMENDMENTS	DATE	ISSUE	BY

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CLIENT
MUDGEE GOLF CLUB

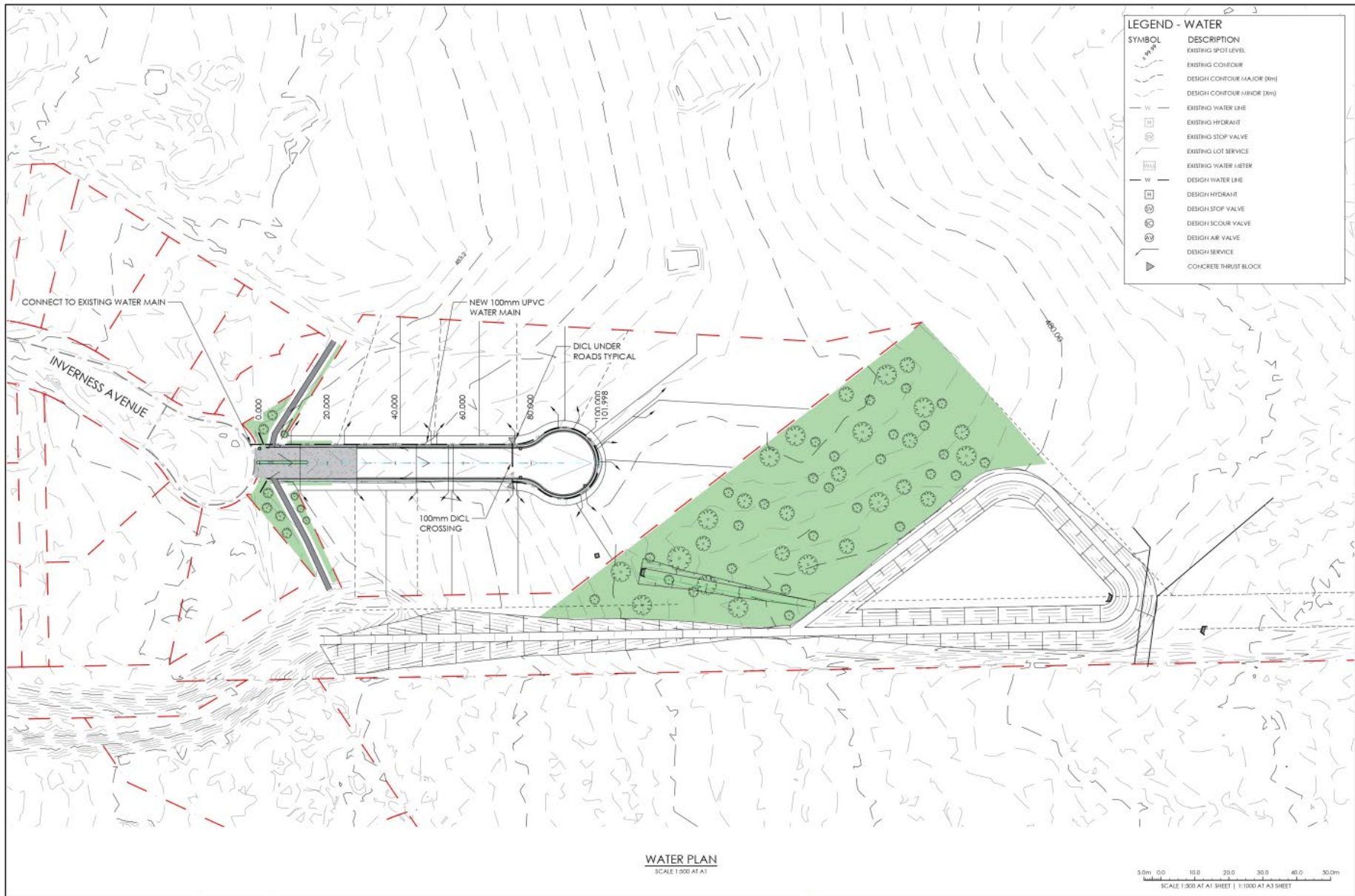
PROJECT
**MUDGEE GOLF CLUB SUBDIVISION
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NSW 2850**



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DRAWING TITLE
**SEWER PLAN
SHEET 2**

PROJECT No. **TX15318.02 - C7.01** ISSUE **E**



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ISSUED FOR INFORMATION	13.04.22	C	JD
ISSUED FOR INFORMATION	22.02.19	S	JD
ISSUED FOR INFORMATION	28.02.24	A	JD
APPROVED	DATE	SIGNATURE	BY

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PROJECT
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DRAWING TITLE
WATER PLAN

PROJECT No. **TX15318.02** - C8.00 E

WATER PLAN
 SCALE 1:500 AT A1





Project No: 212177R

Noise Impact Assessment Proposed Residential Subdivision Inverness Avenue, Mudgee - NSW

Prepared for:

c/- Atlas Environment and Planning
Mudgee NSW 2850

Author:

A handwritten signature in black ink, appearing to read 'Ross Hodge', is written over a light grey rectangular background.

Ross Hodge
B.Sc.(Hons) M.A.A.S.
Principal / Director

VIII_April 2022



TABLE OF CONTENTS

1.0	INTRODUCTION	1
2.0	BACKGROUND TO THE NIA	1
3.0	DESCRIPTION OF TERMS	2
4.0	NOISE CRITERIA	3
4.1	Operational Noise Goals	3
4.2	Sleep Disturbance	3
5.0	NOISE IMPACT ASSESSMENT	4
5.1	Operational Noise	4
5.2	Sleep Disturbance	10
6.0	CONCLUSION	12





1.0 INTRODUCTION

This report presents the results and findings of an acoustic assessment of a proposed 22 lot residential subdivision on land described as Lot 2 D.P. 153695 and Lot 27 D.P. 1165146, Robertson Street, Mudgee.

The assessment addresses issues raised by Mid Western Regional Council (MWRC) in relation to D.A. 0178/2022. MWRC have requested more information in relation to the proposed extension to an acoustic mound and all other acoustic measures required to be implemented within the design of the development to ensure there are no acoustic impacts on future residents of the development from the existing Depot Road industrial precinct.

The assessment has been conducted in accordance with procedures as detailed in the *Noise Policy for Industry* (NPfi).

2.0 BACKGROUND TO THE NIA

The approximate location of the site in relation to the Depot Road industrial precinct is shown indicatively in **Figure 1**. The location lies between the industrial precinct and the golf course, at the extension of an existing cul-de-sac (Inverness Avenue).



Figure 1 – Indicative Site Location (source: Google Earth)

The current proposal is to subdivide the land into residential lots with supplied plans showing single and two storey dwellings.



Spectrum Acoustics previously undertook an acoustic assessment of the theoretical noise emissions from the industrial sheds that are located on the western side of Depot Road, as shown in Figure 1 (noting that Figure 1 is an image from Google Earth which is now outdated and there are to be sheds located along the full length of the Depot Road boundary).

The assessment was detailed in Spectrum Acoustic report number 212122R-29446, dated July 2021. Some results of that assessment are referenced herein.

3.0 DESCRIPTION OF TERMS

Table 1 contains the definitions of commonly used acoustical terms and is presented as an aid to understanding this report.

TABLE 1 DEFINITION OF ACOUSTICAL TERMS	
Term	Definition
dB(A)	The quantitative measure of sound heard by the human ear, measured by the A-Scale Weighting Network of a sound level meter expressed in decibels (dB).
SPL	Sound Pressure Level. The incremental variation of sound pressure above and below atmospheric pressure and expressed in decibels. The human ear responds to pressure fluctuations, resulting in sound being heard.
STL	Sound Transmission Loss. The ability of a partition to attenuate sound, in dB.
L _w	Sound Power Level radiated by a noise source per unit time re 1pW.
Leq	Equivalent Continuous Noise Level - taking into account the fluctuations of noise over time. The time-varying level is computed to give an equivalent dB(A) level that is equal to the energy content and time period.
L1	Average Peak Noise Level - the level exceeded for 1% of the monitoring period.
L10	Average Maximum Noise Level - the level exceeded for 10% of the monitoring period.
L90	Average Minimum Noise Level - the level exceeded for 90% of the monitoring period and recognised as the Background Noise Level. In this instance, the L90 percentile level is representative of the noise level generated by the surrounds of the residential area.





4.0 NOISE CRITERIA

4.1 Operational Noise Goals

The previous acoustic assessment determined appropriate noise criteria for industrial noise emissions (from the industrial precinct) based on procedures detailed in the NPfl. These noise criteria are summarised in **Table 2**.

Location	Criterion	Day (7am-6pm)	Evening (6pm-10pm)	Night (10pm-7am)	Morning Shoulder (5am-7am)
Depot Rd.	Intrusiveness dB(A), Leq(15-min.) ¹	50	40	36	38
	Amenity dB(A), Leq(15 min) ²	53	43	38	n/a
	Project Noise Trigger Levels dB(A) Leq (15 min.)	50	40	36	38

1 Rating Background Level (RBL) + 5dB. RBL is the median value of each ABL (Assessment Background Level) over the entire monitoring period. The ABL is a single figure representing the "L₉₀ of the L₉₀'s" for each separate day of the monitoring period.

2. Project amenity noise level (ANL) is suburban ANL (NPI Table 2.1) minus 5 dB(A) plus 3 dB(A) to convert from a period level to a 15-minute level

4.2 Sleep Disturbance

It is proposed that some of the industries in the sheds may operate during the night time period. The potential for sleep disturbance from maximum noise level events during the night-time period, therefore, needs to be considered. Sleep disturbance is considered to be both awakenings and disturbance to sleep stages.

The NPfl states that a detailed maximum noise level event assessment should be undertaken where the subject development/premises night-time noise levels at a residential location exceed:

- Leq (15 min) 40 dB(A) or the prevailing RBL plus 5 dB, whichever is the greater, and/or
- Lmax 52 dB(A) or the prevailing RBL plus 15 dB, whichever is the greater.

The logger data presented in Table 2 shows that the prevailing RBL is 31 dB(A) L₉₀ and, therefore, the trigger level for a detailed assessment is **40 dB(A) Leq (15 min)** and/or **52 dB(A) Lmax**.

The detailed assessment should cover the maximum noise level, the extent to which the maximum noise level exceeds the rating





background noise level, and the number of times this happens during the night-time period. Some guidance on possible impact is contained in the review of research results in the NSW Road Noise Policy.

Other factors that may be important in assessing the extent of impacts on sleep include:

- how often high noise events will occur,
- the distribution of likely events across the night-time period and the existing ambient maximum events in the absence of the subject development,
- whether there are times of day when there is a clear change in the noise environment (such as during early-morning shoulder periods), and
- current scientific literature available at the time of the assessment regarding the impact of maximum noise level events at night.

The detailed assessment should consider all feasible and reasonable noise mitigation measures with a goal of achieving the above trigger levels.

5.0 NOISE IMPACT ASSESSMENT

5.1 Operational Noise

The proposed layout of the subdivision site is shown in **Figure 2**.

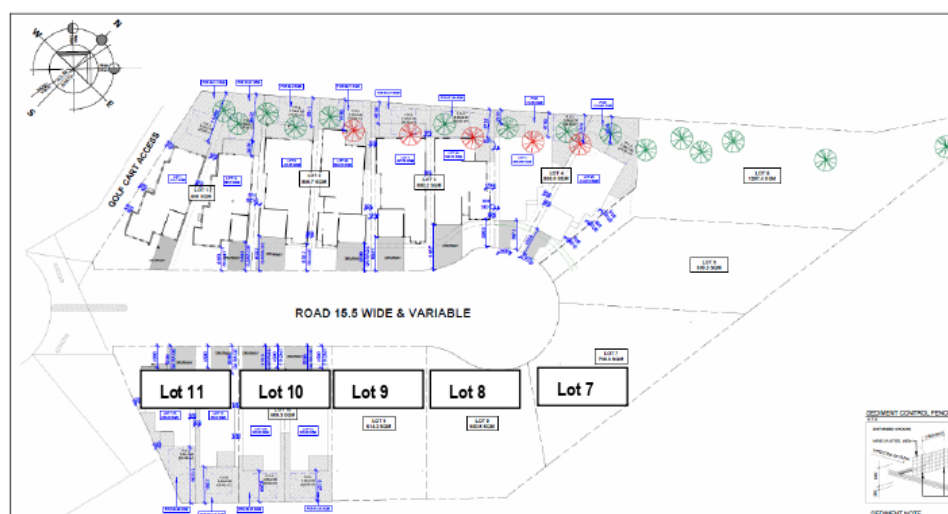


Figure 2 – Site Layout





Noise Impact Assessment – Subdivision Inverness Avenue, Mudgee

As shown in Figure 2 it is proposed that the site will be subdivided into separate dual occupancy residential lots. Of the most potentially affected Lots (in relation to the industrial noise) it is proposed to build two storey dwellings on Lots 11 and 10. Lots 9, 8 and 7 do not have defined building envelopes but for the current assessment it is assumed they will have single storey dwellings.

As part of the current assessment there is to be an acoustic mound in the buffer area between the subdivision and the industrial sheds. This mound is the subject of the MWRC request for information.

Preliminary calculations showed that, to minimise potential noise impacts at the proposed residential receivers, the mound with an acoustic fence on top would need to be constructed to a height of between 4m and 5.6m above existing ground level.

That is, an effective acoustic barrier may be constructed of a composite of an earthen mound and acoustically solid fencing to the required height, provided there are no gaps or discontinuities which would allow for the passage of noise. In the current instance, for example, it may be a 2m high earthen mound with fence on top of it to the required height (to either 4 or 5.6m). The extents of the barrier(s) are as shown on **Figure 3**. Full particulars and drawings of the barrier are detailed in the engineering drawings for the development

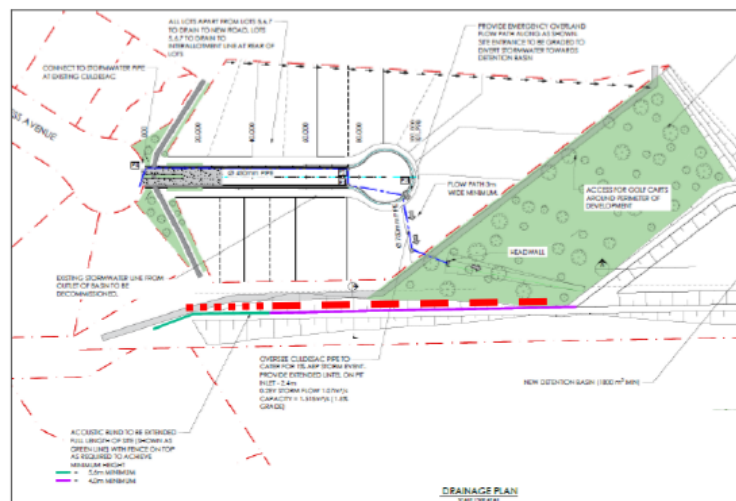


Figure 3 – 4m and 5.6m Acoustic Barrier Location

At the time of the current assessment the industrial sheds were under construction and not fully occupied. It is envisaged that the end users may be light industries such as mechanical workshops, fabricators or similar.





Noise Impact Assessment – Subdivision Inverness Avenue, Mudgee

Noise from the operation of the existing workshop in Shed number 1 was measured on site in July 2021. All sound levels from various workshop activities were measured with a Bruel & Kjaer Type 2250 Precision Sound Level Analyser with calibration performed before and after the measurements.

At the time of the noise measurements the workshop was operating under typical conditions. The measurements included the general operation of the workshop (grinding, welding hammering etc.) as well as specific measurements made of gouging.

The plans for the development show that proposed Lots 11 and 11A, 10 and 10A will be adjacent to the rear yard of Shed No. 1.

Calculations of potential noise impacts from activity in Shed 1 were undertaken to the rear yard and the first floor of Lot 11A, assuming the insertion loss for a 5.6m high solid acoustic barrier.

Table 3 shows a calculation of the measured general workshop noise propagated from the opening at Shed 1 and impacting on the proposed residential receiver to the south west at 11A Inverness Avenue. The noise criteria are applicable externally and, therefore, the calculation has been undertaken to a theoretical receiver standing in the yard of the proposed residence at 5m from the boundary.

TABLE 3 SHED 1 WORKSHOP NOISE as dB(A) Leq (15 min) 11A INVERNESS AVE (YARD) – SHED DOOR OPEN									
	TOTAL	Octave Band Centre Frequency, Hz							
Propagation Elements	dB(A)	63	125	250	500	1k	2k	4k	8k
Source Lw	106	71	84	86	90	91	91	103	101
Average distance loss (35m)		39	9	39	39	39	39	39	39
Barrier Insertion Loss (5.6m)		10	13	16	19	22	24	24	24
SPL in Yard	44	22	32	31	33	32	28	40	38

The proposed residences at Lots 11 and 10 are to be two storey.

Table 4 shows a similar calculation to that in Table 3 but with impacts determined to the outside of the first floor windows.

TABLE 4 SHED 1 WORKSHOP NOISE as dB(A) Leq (15 min) 11A INVERNESS AVE (FIRST FLOOR) – SHED DOOR OPEN									
	TOTAL	Octave Band Centre Frequency, Hz							
Propagation Elements	dB(A)	63	125	250	500	1k	2k	4k	8k
Source Lw	106	71	84	86	90	91	91	103	101
Average distance loss (40m)		40	40	40	40	40	40	40	40
Barrier Insertion Loss (5.6m)		7	10	12	15	18	21	24	24
SPL at First Floor Window	45	24	35	34	35	35	30	40	38





Noise Impact Assessment – Subdivision Inverness Avenue, Mudgee

The results in Tables 3 and 4 show that, under the assessed conditions, and with the 5.6m acoustic barrier in place, the received noise will not exceed the adopted day time criterion at the theoretical reception points at Lot 11A, either in the yard or at the first floor windows.

The results in Tables 3 and 4 show that, under the assessed conditions, the noise from Shed 1 will exceed the evening and night criteria. It has been proposed that the doors in the industrial sheds be closed during the evening and night. **Table 5**, therefore, shows a calculation of the workshop noise propagated through the walls, with the operable wall and doors closed, and impacting on the receiver at 11A Inverness Avenue.

The calculation takes into account the effects of transmission loss through building elements, with the wall closed, and hemispherical spreading (distance loss) to the receiver. From consideration of the dimensions and orientation of the various building elements, the sound pressure levels immediately outside these were propagated to the nearest receiver using an equation¹ giving the sound field due to an incoherent plane radiator.

The barrier insertion loss assumes the 5.6m barrier in place and a source height for the shed at 3m.

	TOTAL	Octave Band Centre Frequency, Hz							
Propagation Elements	dB(A)	63	125	250	500	1k	2k	4k	8k
Source Lw	106	71	86	85	89	92	90	102	100
Average distance loss in shed (10m)		18	18	18	18	18	18	18	18
STL of wall (0.4mm steel)		13	11	14	18	21	26	24	23
Exterior SPL	65	40	57	53	53	53	46	60	59
Barrier Insertion Loss		7	8	10	12	15	18	21	24
SPL at First Floor Window	30								

The results in Table 5 show that, under the assessed conditions, with all doors closed, the noise emissions from the assessed activities in Shed 1 will not exceed the adopted evening or night time criteria at a theoretical reception point on the first floor of the residence at Lot 11A.

¹ Equation (5.104), DA Bies and CH Hansen, *Engineering Noise Control*, E & FN Spon, 1996.





Noise Impact Assessment – Subdivision Inverness Avenue, Mudgee

The calculation assumes all activities are being undertaken inside the shed during the evening and night and that there is no activity outside in the yard.

The noise from gouging in Shed 1 was measured to be approximately 6 dB(A) louder than that of the general workshop. Based on the results in Tables 3 and 4 this would indicate that the combined noise from gouging plus the general workshop would be in compliance with the external day time criterion with the doors in the shed open.

Under similar circumstances to those detailed above, the noise from gouging would be higher than the evening and night time criteria.

It is previously been recommended that, if gouging is to be undertaken during the evening the wall must be closed. Gouging should not be undertaken at night.

The results in Tables 3, 4 and 5 are considered applicable to the theoretically predicted noise at proposed residences on Lots 11, 11A, 10 and 10A, which would be most significantly impacted by noise from the operation of Shed 1. The other proposed residences are exposed to noise from the other sheds in the industrial precinct.

Other Lots in the proposed subdivision may be impacted by noise from the other sheds in the industrial precinct, particularly Sheds 2 and 3. The sheds may be leased or sold to various users.

The designs for Sheds 2 and 3 are shown in **Figure 4**.

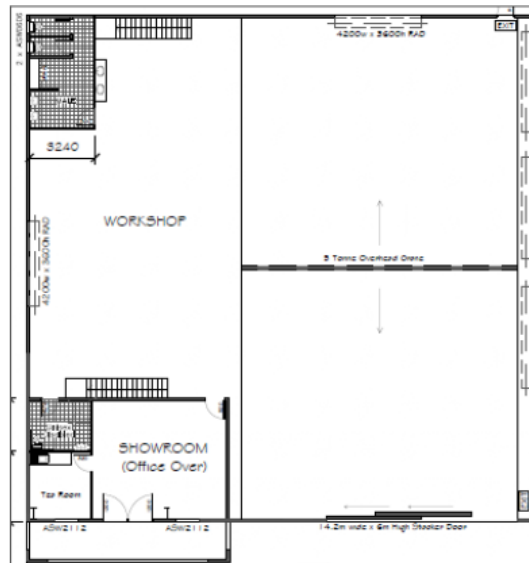


Figure 4 – Sheds 2 and 3 Design



Noise Impact Assessment – Subdivision Inverness Avenue, Mudgee

Sheds 2 and 3 are designed with roller door openings in the southern and western facades. These roller doors will face towards the proposed receivers in the subdivision. Noise emissions from the open roller doors, particularly those in the southern facade will be partially shielded from the receivers by the acoustic barrier effects of the intervening sheds and/or the orientation of the doors with respect to the receiver boundaries.

The layout of both sheds is such that parking areas for each are located “behind” the sheds with respect to the proposed subdivision. The building elements of the sheds will provide good acoustic shielding in the direction of those receivers.

To determine any potential noise impacts at residences in proposed Lots 9, 8 and 7, a noise source similar to that measured in Shed 1 was considered to be operating in Shed 3.

Table 6 shows a theoretical calculation of the noise from Shed 3 with the roller doors to the shed assumed to be open.

The calculation has been made to the proposed receiver at Lot 8 Inverness Avenue. A 4m composite barrier was assumed to be in place in the buffer zone. For an assumed noise source height of 3m (for the top section of the open roller door), the insertion loss for a 4m high barrier and with a 1.5m high receiver standing in the yard of the proposed residence has been included in the results shown in Table 6.

TABLE 6 SHED 3 NOISE as dB(A) Leq (15 min) 8 INVERNESS AVENUE – SHED DOORS OPEN									
	TOTAL	Octave Band Centre Frequency, Hz							
Propagation Elements	dB(A)	63	125	250	500	1k	2k	4k	8k
Source Lw	106	71	86	85	89	92	90	102	100
Distance Loss		40	40	40	40	40	40	40	40
Barrier Loss (4m)		7	8	10	13	15	18	21	24
SPL at Receiver	46	24	36	36	37	36	36	42	37

The results in Table 6 show that, under the assessed conditions, and with roller doors open, the received noise would not exceed the day time noise criterion in the yard of the receivers at Lots 9, 8 and 7.

With the roller doors closed the noise emissions will be reduced by at least 15 dB(A) which will equate to received noise of less than 31 dB(A) Leq (15 min) during the evening and night. This is in compliance with the adopted evening and night time criteria.





The calculations in Table 6 are based on the noise levels from the existing workshop in Shed 1 but are considered likely to be representative of most typical machinery or light fabrication workshops.

The operation of other commercial activities in the other sheds would require specific assessment but, as a general indication, the noise from workshops as measured is at the upper end of expected noise levels for any activities that may occur in industrial sheds like those to be constructed.

Other sheds on the site are further away from any residences and are also further shielded from receivers by the structure of the intervening buildings.

5.2 Sleep Disturbance

The discussion of operational noise during the evening and night indicates that during the night time period all significant noise generating activities should be undertaken inside the various sheds and with all external doors and openings closed.

The potential for sleep disturbance impacts is, therefore most likely to come from loud noise associated with people arriving or departing work (car doors, engine revs etc.) or from noise associated with the delivery or transport of parts or machinery. All of these events have relatively loud maximum noise levels which, when averaged out over a 15 minute period have an acceptable Leq noise level.

A scenario has been assessed where a noise source representing an impact from a truck being unloaded in the yard of Shed 3 is potentially impacting on the receiver at 8 Inverness Avenue at a distance of approximately 40m.

Table 7 shows a calculation of the maximum noise levels propagated from the yard at Shed 3 and impacting on the proposed receiver at 8 Inverness Avenue. The calculation assumes the 4m high barrier in place in the buffer zone. The noise source was considered to be at 1.5 high and the receiver height was assumed to be at a ground floor bedroom window at 2m above existing ground level.





Noise Impact Assessment – Subdivision Inverness Avenue, Mudgee

Propagation Elements	TOTAL dB(A)	Octave Band Centre Frequency, Hz							
		63	125	250	500	1k	2k	4k	8k
Source L _w	115	94	95	102	108	109	109	106	98
Average distance loss (40m)		40	40	40	40	40	40	40	40
Barrier Insertion Loss (4m)		8	10	13	16	19	22	24	24
SPL at Bedroom Window	57								

The results in Table 7 show that, under the assessed conditions, noise from loud impacts in the yards of the sheds could exceed the adopted sleep disturbance screening criterion. Under such circumstances the NPfl indicates that a detailed assessment of potential impacts be undertaken.

In assessing the potential for adverse sleep disturbance noise impacts reference is made to practise notes accompanying the NPfl. The sleep disturbance criteria specifically relate to L_{max} noise levels.

The practise notes lead to the following conclusions;

- *Maximum internal noise levels below 50-55 dB(A) are unlikely to cause awakening reactions.*
- *One or two noise events per night, with maximum internal noise levels of 65-70 dB(A), are not likely to affect health and wellbeing significantly.*

It can be assumed from the above conclusions that disturbance to sleep may be minimised by ensuring that internal maximum noise levels do not exceed 50 to 55 dB(A). It is also accepted by EPA, and generally, that the noise loss through an open window to the centre of a room is at least 10 dB.

Under these circumstances the maximum acceptable external noise level, to prevent disturbing people from their sleep, would therefore be in the range 60 to 65 dB(A) at the facade of a bedroom.

The results in Table 7, therefore, indicate that, with the 4m acoustic barrier in place, the received maximum noise levels would be unlikely to create adverse sleep disturbance impacts.

Table 8 shows a calculation of internal noise within the bedroom, if the windows, fitted with standard glass, were closed.





Noise Impact Assessment – Subdivision Inverness Avenue, Mudgee

Propagation Elements	TOTAL dB(A)	Octave Band Centre Frequency, Hz							
		63	125	250	500	1k	2k	4k	8k
External Noise	57	42	43	49	53	52	49	43	32
STL 3mm Float Glass		24	22	24	27	30	31	34	32
Internal Noise	30	18	21	25	26	22	18	9	0

The results in Table 8 show that, under the assessed conditions, with the bedroom windows, the internal Lmax noise levels would not create any sleep disturbance impacts.

6.0 CONCLUSION

An assessment has been conducted to determine the potential for adverse noise impacts at a proposed 22 lot residential subdivision on land described as Lot 2 D.P. 153695 and Lot 27 D.P. 1165146, Robertson Street, Mudgee.

The assessment has shown that, with a 4m high acoustic barrier in place, noise from the nearby Depot Road industrial precinct will not create adverse impacts at proposed receivers in the subdivision.



BASIX[®]Certificate

Building Sustainability Index www.basix.nsw.gov.au

Multi Dwelling

Certificate number: 1261069M

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary

Date of issue: Monday, 22 November 2021

To be valid, this certificate must be lodged within 3 months of the date of issue.



Planning,
Industry &
Environment

Project summary		
Project name	LOT 1&1A Inverness Avenue Mudgee 2850	
Street address	LOT1 & 1A Inverness Avenue Mudgee 2850	
Local Government Area	Mid-Western Regional Council	
Plan type and plan number	deposited 1165146	
Lot no.	27	
Section no.	-	
No. of residential flat buildings	0	
No. of units in residential flat buildings	0	
No. of multi-dwelling houses	2	
No. of single dwelling houses	0	
Project score		
Water	✓ 33	Target 30
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 42	Target 40

Certificate Prepared by

Name / Company Name: Paul & C associates

ABN (if applicable): 26634614848

Description of project

Project address	
Project name	LOT 1&1A Inverness Avenue Mudgee 2850
Street address	LOT1 & 1A Inverness Avenue Mudgee 2850
Local Government Area	Mid-Western Regional Council
Plan type and plan number	deposited 1165146
Lot no.	27
Section no.	-
Project type	
No. of residential flat buildings	0
No. of units in residential flat buildings	0
No. of multi-dwelling houses	2
No. of single dwelling houses	0
Site details	
Site area (m ²)	800
Roof area (m ²)	446
Non-residential floor area (m ²)	0.0
Residential car spaces	2
Non-residential car spaces	0

Common area landscape		
Common area lawn (m ²)	0.0	
Common area garden (m ²)	0.0	
Area of indigenous or low water use species (m ²)	0.0	
Assessor details		
Assessor number	101225	
Certificate number	QQHWLBIM7Q	
Climate zone	65	
Ceiling fan in at least one bedroom	No	
Ceiling fan in at least one living room or other conditioned area	No	
Project score		
Water	✔ 33	Target 30
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 42	Target 40

Description of project

The tables below describe the dwellings and common areas within the project

Multi-dwelling houses

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
1	3	119.6	10.5	143.0	0.0
Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
2	3	114.4	12.1	124.0	0.0

No common areas specified.

Schedule of BASIX commitments

1. Commitments for multi-dwelling houses

(a) Dwellings

- (i) Water
- (ii) Energy
- (iii) Thermal Comfort

2. Commitments for single dwelling houses

3. Commitments for common areas and central systems/facilities for the development (non-building specific)

- (i) Water
- (ii) Energy

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

1. Commitments for multi-dwelling houses

(a) Dwellings

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✓	✓	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✓	✓
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✓	✓
(e) The applicant must install:			
(aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and		✓	✓
(bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		✓	✓
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✓	
(g) The pool or spa must be located as specified in the table.	✓	✓	
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓

Dwelling no.	Fixtures					Appliances		Individual pool				Individual spa		
	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	4 star (> 4.5 but <= 6 L/min)	4 star	4 star	4 star	no	-	-	-	-	-	-	-	-	-

Dwelling no.	Alternative water source								
	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up	Spa top-up	
All dwellings	individual water tank (no. 1)	Tank size (min) 1000.0 litres	To collect run-off from at least: 150.0 square metres of roof area;	yes	yes	yes	yes	yes	
None	-	-	-	-	-	-	-	-	

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✓	✓	✓
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✓	✓
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.		✓	✓

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✓	✓
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✓	✓	✓
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✓ ✓	
(h) The applicant must install in the dwelling: (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✓ ✓ ✓	✓
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓	
(j) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.	✓	✓	✓

	Hot water	Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
Dwelling no.	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
All dwellings	gas instantaneous 6 star	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off

Dwelling no.	Cooling		Heating		Artificial lighting						Natural lighting	
	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms/toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
All dwellings	1-phase airconditioning EER > 4.0 (zoned)	1-phase airconditioning EER > 4.0 (zoned)	1-phase airconditioning EER > 4.0 (zoned)	1-phase airconditioning EER > 4.0 (zoned)	3 (dedicated)	2 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	1	yes

Dwelling no.	Individual pool		Individual spa		Appliances & other efficiency measures								
	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line	
All dwellings	-	-	-	-	gas cooktop & electric oven	-	yes	-	-	-	no	yes	

Alternative energy	
Dwelling no.	Photovoltaic system (min rated electrical output in peak kW)
All dwellings	-

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	✔		
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		✔	
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✔	✔
(g) Where there is an in-slab heating or cooling system, the applicant must: (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.	✔	✔	✔
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✔	✔	✔

Thermal loads		
Dwelling no.	Area adjusted heating load (in mJ/m ² /yr)	Area adjusted cooling load (in mJ/m ² /yr)
1	250.5	4.9
All other dwellings	236.3	5.5

Construction of floors and walls					
Dwelling no.	Concrete slab on ground(m ²)	Suspended floor with open subfloor (m ²)	Suspended floor with enclosed subfloor (m ²)	Suspended floor above garage (m ²)	Primarily rammed earth or mudbrick walls
1	119	-	-	-	No
All other dwellings	114	-	-	-	No

3. Commitments for common areas and central systems/facilities for the development (non-building specific)**(b) Common areas and central systems/facilities**

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	no common facility	no common laundry facility

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

Notes

1. In these commitments, "applicant" means the person carrying out the development.
2. The applicant must identify each dwelling, building and common area listed in this certificate, on the plans accompanying any development application, and on the plans and specifications accompanying the application for a construction certificate / complying development certificate, for the proposed development, using the same identifying letter or reference as is given to that dwelling, building or common area in this certificate.
3. This note applies if the proposed development involves the erection of a building for both residential and non-residential purposes (or the change of use of a building for both residential and non-residential purposes). Commitments in this certificate which are specified to apply to a "common area" of a building or the development, apply only to that part of the building or development to be used for residential purposes.
4. If this certificate lists a central system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that system need only be installed once (even if it is separately listed as a commitment for that other dwelling or building).
5. If a star or other rating is specified in a commitment, this is a minimum rating.
6. All alternative water systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: NSW Health does not recommend that stormwater, recycled water or private dam water be used to irrigate edible plants which are consumed raw, or that rainwater be used for human consumption in areas with potable water supply.

Legend

1. Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
2. Commitments identified with a "✓" in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
3. Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate (either interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfilment it is required to monitor in relation to the building or part, has been fulfilled).

BASIX[®]Certificate

Building Sustainability Index www.basix.nsw.gov.au

Multi Dwelling

Certificate number: 1261125M

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary

Date of issue: Monday, 22 November 2021

To be valid, this certificate must be lodged within 3 months of the date of issue.



Planning,
Industry &
Environment

Project summary		
Project name	LOT 2&2A Inverness Avenue Mudgee 2850	
Street address	LOT2&2A Inverness Avenue Mudgee 2850	
Local Government Area	Mid-Western Regional Council	
Plan type and plan number	deposited 1165146	
Lot no.	27	
Section no.	-	
No. of residential flat buildings	0	
No. of units in residential flat buildings	0	
No. of multi-dwelling houses	2	
No. of single dwelling houses	0	
Project score		
Water	✓ 39	Target 30
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 41	Target 40

Certificate Prepared by

Name / Company Name: Paul & C associates

ABN (if applicable): 26634614848

Description of project

Project address	
Project name	LOT 2&2A Inverness Avenue Mudgee 2850
Street address	LOT2&2A Inverness Avenue Mudgee 2850
Local Government Area	Mid-Western Regional Council
Plan type and plan number	deposited 1165146
Lot no.	27
Section no.	-
Project type	
No. of residential flat buildings	0
No. of units in residential flat buildings	0
No. of multi-dwelling houses	2
No. of single dwelling houses	0
Site details	
Site area (m ²)	810.56
Roof area (m ²)	522
Non-residential floor area (m ²)	0.0
Residential car spaces	4
Non-residential car spaces	0

Common area landscape	
Common area lawn (m ²)	0.0
Common area garden (m ²)	0.0
Area of indigenous or low water use species (m ²)	0.0
Assessor details	
Assessor number	101225
Certificate number	UTDSCE4VQN
Climate zone	65
Ceiling fan in at least one bedroom	No
Ceiling fan in at least one living room or other conditioned area	No
Project score	
Water	✔ 39 Target 30
Thermal Comfort	✔ Pass Target Pass
Energy	✔ 41 Target 40

Description of project

The tables below describe the dwellings and common areas within the project

Multi-dwelling houses

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
1	4 or more bedrooms	139.5	12.0	108.2	10.0
Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
2	4 or more bedrooms	139.6	8.9	107.6	50.0

No common areas specified.

Schedule of BASIX commitments

1. Commitments for multi-dwelling houses

(a) Dwellings

- (i) Water
- (ii) Energy
- (iii) Thermal Comfort

2. Commitments for single dwelling houses

3. Commitments for common areas and central systems/facilities for the development (non-building specific)

- (i) Water
- (ii) Energy

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

1. Commitments for multi-dwelling houses

(a) Dwellings

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✓	✓	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✓	✓
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✓	✓
(e) The applicant must install:			
(aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and		✓	✓
(bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		✓	✓
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✓	
(g) The pool or spa must be located as specified in the table.	✓	✓	
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓

Dwelling no.	Fixtures					Appliances		Individual pool				Individual spa		
	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	4 star (> 4.5 but <= 6 L/min)	4 star	4 star	4 star	no	-	-	-	-	-	-	-	-	-

Alternative water source									
Dwelling no.	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up	Spa top-up	
All dwellings	individual water tank (no. 1)	Tank size (min) 1000.0 litres	To collect run-off from at least: 150.0 square metres of roof area;	yes	yes	yes	yes	yes	yes
None	-	-	-	-	-	-	-	-	-

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✓	✓	✓
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✓	✓
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.		✓	✓

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✓	✓
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✓	✓	✓
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✓ ✓	
(h) The applicant must install in the dwelling: (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✓ ✓ ✓	✓
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓	
(j) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.	✓	✓	✓

	Hot water	Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
Dwelling no.	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
All dwellings	gas instantaneous 6 star	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off

Dwelling no.	Cooling		Heating		Artificial lighting						Natural lighting	
	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms/toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
All dwellings	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	4 (dedicated)	2 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	1	yes

Dwelling no.	Individual pool		Individual spa		Appliances & other efficiency measures							
	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
All dwellings	-	-	-	-	gas cooktop & electric oven	-	yes	-	-	-	no	yes

Alternative energy	
Dwelling no.	Photovoltaic system (min rated electrical output in peak kW)
All dwellings	-

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	✔		
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		✔	
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✔	✔
(g) Where there is an in-slab heating or cooling system, the applicant must: (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.	✔	✔	✔
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✔	✔	✔

Thermal loads		
Dwelling no.	Area adjusted heating load (in mJ/m ² /yr)	Area adjusted cooling load (in mJ/m ² /yr)
1	261.6	10.2
All other dwellings	242.9	20.6

Construction of floors and walls					
Dwelling no.	Concrete slab on ground(m ²)	Suspended floor with open subfloor (m ²)	Suspended floor with enclosed subfloor (m ²)	Suspended floor above garage (m ²)	Primarily rammed earth or mudbrick walls
All dwellings	139	-	-	-	No

3. Commitments for common areas and central systems/facilities for the development (non-building specific)**(b) Common areas and central systems/facilities**

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	no common facility	no common laundry facility

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

Notes

1. In these commitments, "applicant" means the person carrying out the development.
2. The applicant must identify each dwelling, building and common area listed in this certificate, on the plans accompanying any development application, and on the plans and specifications accompanying the application for a construction certificate / complying development certificate, for the proposed development, using the same identifying letter or reference as is given to that dwelling, building or common area in this certificate.
3. This note applies if the proposed development involves the erection of a building for both residential and non-residential purposes (or the change of use of a building for both residential and non-residential purposes). Commitments in this certificate which are specified to apply to a "common area" of a building or the development, apply only to that part of the building or development to be used for residential purposes.
4. If this certificate lists a central system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that system need only be installed once (even if it is separately listed as a commitment for that other dwelling or building).
5. If a star or other rating is specified in a commitment, this is a minimum rating.
6. All alternative water systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: NSW Health does not recommend that stormwater, recycled water or private dam water be used to irrigate edible plants which are consumed raw, or that rainwater be used for human consumption in areas with potable water supply.

Legend

1. Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
2. Commitments identified with a "✓" in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
3. Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate (either interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfilment it is required to monitor in relation to the building or part, has been fulfilled).

BASIX[®]Certificate

Building Sustainability Index www.basix.nsw.gov.au

Multi Dwelling

Certificate number: 1261088M

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary

Date of issue: Monday, 22 November 2021

To be valid, this certificate must be lodged within 3 months of the date of issue.



Planning,
Industry &
Environment

Project summary		
Project name	LOT 3&3A Inverness Avenue Mudgee 2850	
Street address	LOT3&3A Inverness Avenue Mudgee 2850	
Local Government Area	Mid-Western Regional Council	
Plan type and plan number	deposited 1165146	
Lot no.	27	
Section no.	-	
No. of residential flat buildings	0	
No. of units in residential flat buildings	0	
No. of multi-dwelling houses	2	
No. of single dwelling houses	0	
Project score		
Water	✓ 40	Target 30
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 42	Target 40

Certificate Prepared by

Name / Company Name: Paul & C associates

ABN (if applicable): 26634614848

Description of project

Project address	
Project name	LOT 3&3A Inverness Avenue Mudgee 2850
Street address	LOT3&3A Inverness Avenue Mudgee 2850
Local Government Area	Mid-Western Regional Council
Plan type and plan number	deposited 1165146
Lot no.	27
Section no.	-
Project type	
No. of residential flat buildings	0
No. of units in residential flat buildings	0
No. of multi-dwelling houses	2
No. of single dwelling houses	0
Site details	
Site area (m ²)	800.2
Roof area (m ²)	510
Non-residential floor area (m ²)	0.0
Residential car spaces	4
Non-residential car spaces	0

Common area landscape		
Common area lawn (m ²)	0.0	
Common area garden (m ²)	0.0	
Area of indigenous or low water use species (m ²)	0.0	
Assessor details		
Assessor number	101225	
Certificate number	IE7O5STZ5K	
Climate zone	65	
Ceiling fan in at least one bedroom	No	
Ceiling fan in at least one living room or other conditioned area	No	
Project score		
Water	✔ 40	Target 30
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 42	Target 40

Description of project

The tables below describe the dwellings and common areas within the project

Multi-dwelling houses

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
1	4 or more bedrooms	140.8	11.5	85.39	0.0
2	4 or more bedrooms	131.9	11.2	109.7	7.0

No common areas specified.

Schedule of BASIX commitments

1. Commitments for multi-dwelling houses

(a) Dwellings

- (i) Water
- (ii) Energy
- (iii) Thermal Comfort

2. Commitments for single dwelling houses

3. Commitments for common areas and central systems/facilities for the development (non-building specific)

- (i) Water
- (ii) Energy

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

1. Commitments for multi-dwelling houses

(a) Dwellings

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✓	✓	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✓	✓
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✓	✓
(e) The applicant must install: <ul style="list-style-type: none"> (aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and (bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling. 		✓	✓
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✓	
(g) The pool or spa must be located as specified in the table.	✓	✓	
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓

Dwelling no.	Fixtures					Appliances		Individual pool				Individual spa		
	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	4 star (> 4.5 but <= 6 L/min)	4 star	4 star	4 star	no	-	-	-	-	-	-	-	-	-

Alternative water source									
Dwelling no.	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up	Spa top-up	
All dwellings	individual water tank (no. 1)	Tank size (min) 1000.0 litres	To collect run-off from at least: 150.0 square metres of roof area;	yes	yes	yes	yes	yes	yes
None	-	-	-	-	-	-	-	-	-

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✓	✓	✓
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✓	✓
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.		✓	✓

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✓	✓
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✓	✓	✓
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✓ ✓	
(h) The applicant must install in the dwelling: (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✓ ✓ ✓	✓
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓	
(j) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.	✓	✓	✓

	Hot water	Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
Dwelling no.	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
All dwellings	gas instantaneous 6 star	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off

Dwelling no.	Cooling		Heating		Artificial lighting						Natural lighting	
	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms/toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
All dwellings	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	4 (dedicated)	2 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	1	yes

Dwelling no.	Individual pool		Individual spa		Appliances & other efficiency measures							
	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
All dwellings	-	-	-	-	gas cooktop & electric oven	-	yes	-	-	-	no	yes

Alternative energy	
Dwelling no.	Photovoltaic system (min rated electrical output in peak kW)
All dwellings	-

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	✔		
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		✔	
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✔	✔
(g) Where there is an in-slab heating or cooling system, the applicant must: (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.	✔	✔	✔
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✔	✔	✔

Thermal loads		
Dwelling no.	Area adjusted heating load (in mJ/m ² /yr)	Area adjusted cooling load (in mJ/m ² /yr)
1	254.1	4.8
All other dwellings	257.7	21.7

Construction of floors and walls					
Dwelling no.	Concrete slab on ground(m ²)	Suspended floor with open subfloor (m ²)	Suspended floor with enclosed subfloor (m ²)	Suspended floor above garage (m ²)	Primarily rammed earth or mudbrick walls
1	140	-	-	-	No
All other dwellings	131	-	-	-	No

3. Commitments for common areas and central systems/facilities for the development (non-building specific)**(b) Common areas and central systems/facilities**

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	no common facility	no common laundry facility

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

Notes

1. In these commitments, "applicant" means the person carrying out the development.
2. The applicant must identify each dwelling, building and common area listed in this certificate, on the plans accompanying any development application, and on the plans and specifications accompanying the application for a construction certificate / complying development certificate, for the proposed development, using the same identifying letter or reference as is given to that dwelling, building or common area in this certificate.
3. This note applies if the proposed development involves the erection of a building for both residential and non-residential purposes (or the change of use of a building for both residential and non-residential purposes). Commitments in this certificate which are specified to apply to a "common area" of a building or the development, apply only to that part of the building or development to be used for residential purposes.
4. If this certificate lists a central system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that system need only be installed once (even if it is separately listed as a commitment for that other dwelling or building).
5. If a star or other rating is specified in a commitment, this is a minimum rating.
6. All alternative water systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: NSW Health does not recommend that stormwater, recycled water or private dam water be used to irrigate edible plants which are consumed raw, or that rainwater be used for human consumption in areas with potable water supply.

Legend

1. Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
2. Commitments identified with a "✓" in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
3. Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate (either interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfilment it is required to monitor in relation to the building or part, has been fulfilled).

BASIX[®]Certificate

Building Sustainability Index www.basix.nsw.gov.au

Multi Dwelling

Certificate number: 1261130M

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary

Date of issue: Monday, 22 November 2021

To be valid, this certificate must be lodged within 3 months of the date of issue.



Planning,
Industry &
Environment

Project summary		
Project name	LOT4&4A Inverness Avenue Mudgee 2850	
Street address	LOT4&4A Inverness Avenue Mudgee 2850	
Local Government Area	Mid-Western Regional Council	
Plan type and plan number	deposited 1165146	
Lot no.	27	
Section no.	-	
No. of residential flat buildings	0	
No. of units in residential flat buildings	0	
No. of multi-dwelling houses	2	
No. of single dwelling houses	0	
Project score		
Water	✓ 36	Target 30
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 40	Target 40

Certificate Prepared by

Name / Company Name: Paul & C associates

ABN (if applicable): 26634614848

Description of project

Project address	
Project name	LOT4&4A Inverness Avenue Mudgee 2850
Street address	LOT4&4A Inverness Avenue Mudgee 2850
Local Government Area	Mid-Western Regional Council
Plan type and plan number	deposited 1165146
Lot no.	27
Section no.	-
Project type	
No. of residential flat buildings	0
No. of units in residential flat buildings	0
No. of multi-dwelling houses	2
No. of single dwelling houses	0
Site details	
Site area (m ²)	804.6
Roof area (m ²)	407
Non-residential floor area (m ²)	0.0
Residential car spaces	4
Non-residential car spaces	0

Common area landscape	
Common area lawn (m ²)	0.0
Common area garden (m ²)	0.0
Area of indigenous or low water use species (m ²)	0.0
Assessor details	
Assessor number	101225
Certificate number	7W89GMU4RI
Climate zone	65
Ceiling fan in at least one bedroom	No
Ceiling fan in at least one living room or other conditioned area	No
Project score	
Water	✔ 36 Target 30
Thermal Comfort	✔ Pass Target Pass
Energy	✔ 40 Target 40

Description of project

The tables below describe the dwellings and common areas within the project

Multi-dwelling houses

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
1	4 or more bedrooms	192.5	6.4	141.0	0.0
2	4 or more bedrooms	156.9	7.7	190.0	0.0

No common areas specified.

Schedule of BASIX commitments

1. Commitments for multi-dwelling houses

(a) Dwellings

- (i) Water
- (ii) Energy
- (iii) Thermal Comfort

2. Commitments for single dwelling houses

3. Commitments for common areas and central systems/facilities for the development (non-building specific)

- (i) Water
- (ii) Energy

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

1. Commitments for multi-dwelling houses

(a) Dwellings

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✓	✓	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✓	✓
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✓	✓
(e) The applicant must install:			
(aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and		✓	✓
(bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		✓	✓
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✓	
(g) The pool or spa must be located as specified in the table.	✓	✓	
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓

Dwelling no.	Fixtures					Appliances		Individual pool				Individual spa		
	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	4 star (> 4.5 but <= 6 L/min)	4 star	4 star	4 star	no	-	-	-	-	-	-	-	-	-

Alternative water source									
Dwelling no.	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up	Spa top-up	
All dwellings	individual water tank (no. 1)	Tank size (min) 1000.0 litres	To collect run-off from at least: 150.0 square metres of roof area;	yes	yes	yes	yes	yes	yes
None	-	-	-	-	-	-	-	-	-

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✓	✓	✓
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✓	✓
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.		✓	✓

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✓	✓
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✓	✓	✓
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✓ ✓	
(h) The applicant must install in the dwelling: (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✓ ✓ ✓	✓
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓	
(j) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.	✓	✓	✓

Dwelling no.	Hot water	Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
All dwellings	gas instantaneous 6 star	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off

Dwelling no.	Cooling		Heating		Artificial lighting						Natural lighting	
	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms/toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
All dwellings	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	4 (dedicated)	2 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	1	yes

Dwelling no.	Individual pool		Individual spa		Appliances & other efficiency measures								
	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line	
All dwellings	-	-	-	-	gas cooktop & electric oven	-	yes	-	-	-	no	yes	

Alternative energy	
Dwelling no.	Photovoltaic system (min rated electrical output in peak kW)
All dwellings	-

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	✔		
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		✔	
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✔	✔
(g) Where there is an in-slab heating or cooling system, the applicant must: (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.	✔	✔	✔
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✔	✔	✔

Thermal loads		
Dwelling no.	Area adjusted heating load (in mJ/m ² /yr)	Area adjusted cooling load (in mJ/m ² /yr)
1	253.9	7.6
All other dwellings	261.7	7.9

Construction of floors and walls					
Dwelling no.	Concrete slab on ground(m ²)	Suspended floor with open subfloor (m ²)	Suspended floor with enclosed subfloor (m ²)	Suspended floor above garage (m ²)	Primarily rammed earth or mudbrick walls
1	115	-	-	-	No
All other dwellings	128	-	-	-	No

3. Commitments for common areas and central systems/facilities for the development (non-building specific)**(b) Common areas and central systems/facilities**

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	no common facility	no common laundry facility

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

Notes

1. In these commitments, "applicant" means the person carrying out the development.
2. The applicant must identify each dwelling, building and common area listed in this certificate, on the plans accompanying any development application, and on the plans and specifications accompanying the application for a construction certificate / complying development certificate, for the proposed development, using the same identifying letter or reference as is given to that dwelling, building or common area in this certificate.
3. This note applies if the proposed development involves the erection of a building for both residential and non-residential purposes (or the change of use of a building for both residential and non-residential purposes). Commitments in this certificate which are specified to apply to a "common area" of a building or the development, apply only to that part of the building or development to be used for residential purposes.
4. If this certificate lists a central system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that system need only be installed once (even if it is separately listed as a commitment for that other dwelling or building).
5. If a star or other rating is specified in a commitment, this is a minimum rating.
6. All alternative water systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: NSW Health does not recommend that stormwater, recycled water or private dam water be used to irrigate edible plants which are consumed raw, or that rainwater be used for human consumption in areas with potable water supply.

Legend

1. Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
2. Commitments identified with a "✓" in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
3. Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate (either interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfilment it is required to monitor in relation to the building or part, has been fulfilled).

BASIX[®]Certificate

Building Sustainability Index www.basix.nsw.gov.au

Multi Dwelling

Certificate number: 1261451M

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary

Date of issue: Monday, 22 November 2021

To be valid, this certificate must be lodged within 3 months of the date of issue.



Planning,
Industry &
Environment

Project summary		
Project name	LOT10&10A Inverness Avenue Mudgee 2850	
Street address	LOT10&10A Inverness Avenue Mudgee 2850	
Local Government Area	Mid-Western Regional Council	
Plan type and plan number	deposited 1165146	
Lot no.	27	
Section no.	-	
No. of residential flat buildings	0	
No. of units in residential flat buildings	0	
No. of multi-dwelling houses	2	
No. of single dwelling houses	0	
Project score		
Water	✓ 41	Target 30
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 41	Target 40

Certificate Prepared by

Name / Company Name: Paul & C associates

ABN (if applicable): 26634614848

Description of project

Project address	
Project name	LOT 10&10A Inverness Avenue Mudgee 2850
Street address	LOT 10&10A Inverness Avenue Mudgee 2850
Local Government Area	Mid-Western Regional Council
Plan type and plan number	deposited 1165146
Lot no.	27
Section no.	-
Project type	
No. of residential flat buildings	0
No. of units in residential flat buildings	0
No. of multi-dwelling houses	2
No. of single dwelling houses	0
Site details	
Site area (m ²)	600.30
Roof area (m ²)	390
Non-residential floor area (m ²)	0.0
Residential car spaces	3
Non-residential car spaces	0

Common area landscape		
Common area lawn (m ²)	0.0	
Common area garden (m ²)	0.0	
Area of indigenous or low water use species (m ²)	0.0	
Assessor details		
Assessor number	101225	
Certificate number	IA6OZUUERL	
Climate zone	65	
Ceiling fan in at least one bedroom	No	
Ceiling fan in at least one living room or other conditioned area	No	
Project score		
Water	✓ 41	Target 30
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 41	Target 40

Description of project

The tables below describe the dwellings and common areas within the project

Multi-dwelling houses

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
1	4 or more bedrooms	156.6	14.1	72.0	0.0
2	4 or more bedrooms	165.3	86.0	76.0	0.0

No common areas specified.

Schedule of BASIX commitments

1. Commitments for multi-dwelling houses

(a) Dwellings

- (i) Water
- (ii) Energy
- (iii) Thermal Comfort

2. Commitments for single dwelling houses

3. Commitments for common areas and central systems/facilities for the development (non-building specific)

- (i) Water
- (ii) Energy

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

1. Commitments for multi-dwelling houses

(a) Dwellings

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✓	✓	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✓	✓
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✓	✓
(e) The applicant must install: <ul style="list-style-type: none"> (aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and (bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling. 		✓	✓
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✓	
(g) The pool or spa must be located as specified in the table.	✓	✓	
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓

Dwelling no.	Fixtures					Appliances		Individual pool				Individual spa		
	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	4 star (> 4.5 but <= 6 L/min)	4 star	4 star	4 star	no	-	-	-	-	-	-	-	-	-

Dwelling no.	Alternative water source								
	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up	Spa top-up	
All dwellings	individual water tank (no. 1)	Tank size (min) 1000.0 litres	To collect run-off from at least: 150.0 square metres of roof area;	yes	yes	yes	yes	yes	
None	-	-	-	-	-	-	-	-	

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✓	✓	✓
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✓	✓
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.		✓	✓

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✓	✓
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✓	✓	✓
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✓ ✓	
(h) The applicant must install in the dwelling: (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✓ ✓ ✓	✓
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓	
(j) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.	✓	✓	✓

	Hot water	Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
Dwelling no.	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
All dwellings	gas instantaneous 6 star	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off

Dwelling no.	Cooling		Heating		Artificial lighting						Natural lighting	
	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms/toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
All dwellings	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	4 (dedicated)	2 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	1	yes

Dwelling no.	Individual pool		Individual spa		Appliances & other efficiency measures								
	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line	
All dwellings	-	-	-	-	gas cooktop & electric oven	-	yes	-	-	-	no	yes	

Alternative energy	
Dwelling no.	Photovoltaic system (min rated electrical output in peak kW)
All dwellings	-

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	✔		
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		✔	
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✔	✔
(g) Where there is an in-slab heating or cooling system, the applicant must: (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.	✔	✔	✔
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✔	✔	✔

Thermal loads		
Dwelling no.	Area adjusted heating load (in mJ/m ² /yr)	Area adjusted cooling load (in mJ/m ² /yr)
1	258.2	8.8
All other dwellings	254.6	6.2

Construction of floors and walls					
Dwelling no.	Concrete slab on ground(m ²)	Suspended floor with open subfloor (m ²)	Suspended floor with enclosed subfloor (m ²)	Suspended floor above garage (m ²)	Primarily rammed earth or mudbrick walls
1	120	-	-	22	No
All other dwellings	120	-	-	18	No

3. Commitments for common areas and central systems/facilities for the development (non-building specific)**(b) Common areas and central systems/facilities**

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	no common facility	no common laundry facility

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

Notes

1. In these commitments, "applicant" means the person carrying out the development.
2. The applicant must identify each dwelling, building and common area listed in this certificate, on the plans accompanying any development application, and on the plans and specifications accompanying the application for a construction certificate / complying development certificate, for the proposed development, using the same identifying letter or reference as is given to that dwelling, building or common area in this certificate.
3. This note applies if the proposed development involves the erection of a building for both residential and non-residential purposes (or the change of use of a building for both residential and non-residential purposes). Commitments in this certificate which are specified to apply to a "common area" of a building or the development, apply only to that part of the building or development to be used for residential purposes.
4. If this certificate lists a central system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that system need only be installed once (even if it is separately listed as a commitment for that other dwelling or building).
5. If a star or other rating is specified in a commitment, this is a minimum rating.
6. All alternative water systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: NSW Health does not recommend that stormwater, recycled water or private dam water be used to irrigate edible plants which are consumed raw, or that rainwater be used for human consumption in areas with potable water supply.

Legend

1. Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
2. Commitments identified with a "✓" in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
3. Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate (either interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfilment it is required to monitor in relation to the building or part, has been fulfilled).

BASIX[®]Certificate

Building Sustainability Index www.basix.nsw.gov.au

Multi Dwelling

Certificate number: 1261133M

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary

Date of issue: Monday, 22 November 2021

To be valid, this certificate must be lodged within 3 months of the date of issue.



Planning,
Industry &
Environment

Project summary		
Project name	LOT11 & 11A Inverness Avenue Mudgee 2850	
Street address	LOT11 & 11A Inverness Avenue Mudgee 2850	
Local Government Area	Mid-Western Regional Council	
Plan type and plan number	deposited 1165146	
Lot no.	27	
Section no.	-	
No. of residential flat buildings	0	
No. of units in residential flat buildings	0	
No. of multi-dwelling houses	2	
No. of single dwelling houses	0	
Project score		
Water	✓ 38	Target 30
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 40	Target 40

Certificate Prepared by

Name / Company Name: Paul & C associates

ABN (if applicable): 26634614848

Description of project

Project address	
Project name	LOT11& 11A Inverness Avenue Mudgee 2850
Street address	LOT11 & 11A Inverness Avenue Mudgee 2850
Local Government Area	Mid-Western Regional Council
Plan type and plan number	deposited 1165146
Lot no.	27
Section no.	-
Project type	
No. of residential flat buildings	0
No. of units in residential flat buildings	0
No. of multi-dwelling houses	2
No. of single dwelling houses	0
Site details	
Site area (m ²)	600.2
Roof area (m ²)	304
Non-residential floor area (m ²)	0.0
Residential car spaces	3
Non-residential car spaces	0

Common area landscape	
Common area lawn (m ²)	0.0
Common area garden (m ²)	0.0
Area of indigenous or low water use species (m ²)	0.0
Assessor details	
Assessor number	101225
Certificate number	EZO3OZ4259
Climate zone	65
Ceiling fan in at least one bedroom	No
Ceiling fan in at least one living room or other conditioned area	No
Project score	
Water	✔ 38 Target 30
Thermal Comfort	✔ Pass Target Pass
Energy	✔ 40 Target 40

Description of project

The tables below describe the dwellings and common areas within the project

Multi-dwelling houses

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
1	4 or more bedrooms	137.4	11.0	137.0	0.0
2	4 or more bedrooms	150.5	16.0	104.0	0.0

No common areas specified.

Schedule of BASIX commitments

1. Commitments for multi-dwelling houses

(a) Dwellings

- (i) Water
- (ii) Energy
- (iii) Thermal Comfort

2. Commitments for single dwelling houses

3. Commitments for common areas and central systems/facilities for the development (non-building specific)

- (i) Water
- (ii) Energy

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

1. Commitments for multi-dwelling houses

(a) Dwellings

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✓	✓	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✓	✓
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✓	✓
(e) The applicant must install: <ul style="list-style-type: none"> (aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and (bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling. 		✓	✓
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✓	
(g) The pool or spa must be located as specified in the table.	✓	✓	
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓

Dwelling no.	Fixtures					Appliances		Individual pool				Individual spa		
	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	4 star (> 4.5 but <= 6 L/min)	4 star	4 star	4 star	no	-	-	-	-	-	-	-	-	-

Dwelling no.	Alternative water source								
	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up	Spa top-up	
All dwellings	individual water tank (no. 1)	Tank size (min) 1000.0 litres	To collect run-off from at least: 150.0 square metres of roof area;	yes	yes	yes	yes	yes	
None	-	-	-	-	-	-	-	-	

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✓	✓	✓
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✓	✓
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.		✓	✓

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✓	✓
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✓	✓	✓
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✓ ✓	
(h) The applicant must install in the dwelling: (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✓ ✓ ✓	✓
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓	
(j) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.	✓	✓	✓

	Hot water	Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
Dwelling no.	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
All dwellings	gas instantaneous 6 star	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off

Dwelling no.	Cooling		Heating		Artificial lighting						Natural lighting	
	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms/toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
All dwellings	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	1-phase airconditioning EER 3.0 - 3.5 (zoned)	4 (dedicated)	2 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	1	yes

Dwelling no.	Individual pool		Individual spa		Appliances & other efficiency measures							
	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
All dwellings	-	-	-	-	gas cooktop & electric oven	-	yes	-	-	-	no	yes

Alternative energy	
Dwelling no.	Photovoltaic system (min rated electrical output in peak kW)
All dwellings	-

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	✔		
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		✔	
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✔	✔
(g) Where there is an in-slab heating or cooling system, the applicant must: (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.	✔	✔	✔
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✔	✔	✔

Thermal loads		
Dwelling no.	Area adjusted heating load (in mJ/m ² /yr)	Area adjusted cooling load (in mJ/m ² /yr)
1	261.8	15.7
All other dwellings	253.0	15.2

Construction of floors and walls					
Dwelling no.	Concrete slab on ground(m ²)	Suspended floor with open subfloor (m ²)	Suspended floor with enclosed subfloor (m ²)	Suspended floor above garage (m ²)	Primarily rammed earth or mudbrick walls
1	114	-	-	22	No
All other dwellings	104	-	-	18	No

3. Commitments for common areas and central systems/facilities for the development (non-building specific)**(b) Common areas and central systems/facilities**

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	no common facility	no common laundry facility

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

Notes

1. In these commitments, "applicant" means the person carrying out the development.
2. The applicant must identify each dwelling, building and common area listed in this certificate, on the plans accompanying any development application, and on the plans and specifications accompanying the application for a construction certificate / complying development certificate, for the proposed development, using the same identifying letter or reference as is given to that dwelling, building or common area in this certificate.
3. This note applies if the proposed development involves the erection of a building for both residential and non-residential purposes (or the change of use of a building for both residential and non-residential purposes). Commitments in this certificate which are specified to apply to a "common area" of a building or the development, apply only to that part of the building or development to be used for residential purposes.
4. If this certificate lists a central system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that system need only be installed once (even if it is separately listed as a commitment for that other dwelling or building).
5. If a star or other rating is specified in a commitment, this is a minimum rating.
6. All alternative water systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: NSW Health does not recommend that stormwater, recycled water or private dam water be used to irrigate edible plants which are consumed raw, or that rainwater be used for human consumption in areas with potable water supply.

Legend

1. Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
2. Commitments identified with a "✓" in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
3. Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate (either interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfilment it is required to monitor in relation to the building or part, has been fulfilled).



TRIA X I A L
C O N S U L T I N G

COMPLEX PROBLEMS
RESOLVED SIMPLY

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PROVISION OF CONSULTING ENGINEERING SERVICES

**PROPOSED RESIDENTIAL DEVELOPMENT
INVERNESS AVENUE
MUDGEES NSW 2352**

TRAFFIC ASSESSMENT REPORT

21 NOVEMBER 2021

REFERENCE: TX15318.02-01.RPT.JD-REV1

SYDNEY | ADELAIDE | BAROSSA | DARWIN | MUDGEES

Document Control:

Client	ToriPeter Group		
Prepared By:	Triaxial Consulting Ltd		
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INDEX

1 Introduction 4
2 Proposal 4
3 Existing Traffic Conditions 5
4 Expected Traffic Generation 6
5 Summary 8

1 INTRODUCTION

Triaxial have been engaged by Tori Peter Group to prepare a traffic assessment report. The purpose of this report is to assess the traffic implications of the development proposal. This report is to be included in the development application lodged with Mid Western Regional Council.



Figure 1: Existing Site

2 PROPOSAL

2.1 DEVELOPMENT SITE

The site located at Inverness Avenue, Mudgee is to be redeveloped into residential housing. The site is currently utilised partly as a detention basin for stormwater runoff management and partly as vacant land. As part of the proposal the existing basin is to be relocated further to the North in an easement and the land is to be subdivided into 11 residential lots with a minimum lot size of 600m².

SYDNEY | ADELAIDE | BAROSSA | DARWIN | MUDGEE

This traffic summary will account for the possibility of further development of the blocks including a potential for dual occupancy subdivision on each block (either attached or detached) with a total of 22 dwellings potentially to be developed on the site.

3 EXISTING TRAFFIC CONDITIONS

3.1 ROAD HIERARCHY – SURROUNDING ROAD NETWORK

The site is surrounded by the following roads:

- **Lions Drive** is a local road, serviced by Mid Western Regional Council, connecting the Castlereagh Highway with Broadhead Road and Robertson Street.
- **Inverness Avenue** is a local road servicing the development. Inverness Avenue currently terminates in a culdesac turning head.

The site is located 130m from the intersection of Lions Drive and Robertson Streets and approximately 1250m from the intersection of Lions Drive and the Castlereagh Highway.

3.2 EXISTING TRAFFIC VOLUMES

Existing traffic volumes along Lions Drive were obtained from the Mudgee Traffic Study. The traffic study included observed daily traffic figures from 2014 along with an estimation of future daily traffic predicted for 2032. In the absence of available traffic count data, the predicted 2032 traffic figures have been adopted for this report.

Traffic figures from the study have been shown in the table below:

	Daily Traffic 2014	Daily Traffic 2032
Lions Drive	2880	4860

Table 1: Peak hour vehicle trips observed for Lions Drive.

It is important to note that even with the increase in traffic predicted to 2032, no upgrades were recommended in the 2014 traffic study for Lions Drive to the East or West from the site. Both carriageway and intersection level of service were not expected to change to a level that would require upgrades.

3.3 EXISTING CRASH DATA

A review of the available crash data from the 5-year period 2016 – 2021 shows that there were no vehicle crashes during this period along Lions Drive or Robertson Street. The location of other nearby crashes is shown on Figure 2 below.

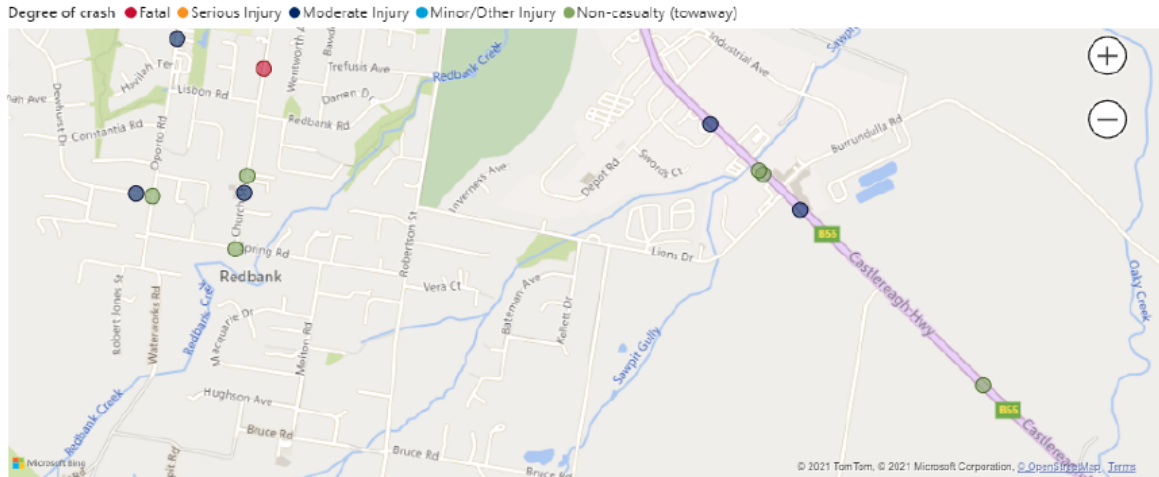


Figure 2: Crash data near the site showing 2 crashes from 2016-2021. No crashes in the area surrounding the proposed development.

The closest vehicle crashes recorded near the development site were along the Castlereagh Highway, which experiences a far greater volume of both daily and peak hour traffic. Crashes were recorded adjacent to retail and industrial sites fronting the highway.

4 EXPECTED TRAFFIC GENERATION

The expected traffic increase generated by the development is shown in the table below. The traffic generation rates have been calculated using Austroads Guide to Traffic Management Part 12 – Traffic Impacts of Development.

Number of Dwellings	Daily Vehicle Trips	Peak Hour Vehicle Trips
22	198	19

Table 1: Expected traffic generation from the development.

Traffic Distribution

It is expected that the traffic distribution throughout the local road network as per the Mudgee Traffic Study 2014.

The traffic study gives the following breakdown of expected traffic distribution:

Table 4.3: Trip Distribution of Residential Developments

Destinations	Arrival	Departure	Arrival	Departure
CBD 1	14%	18%	175	121
CBD 2	14%	18%	175	121
Industrial 1 E of Sydney Rd	12%	6%	158	40
Industrial 2 W of Sydney Rd	10%	5%	127	32
Industrial 3 Hill End Rd	12%	6%	158	40
Residential north of railway	5%	7%	70	48
Residential south of railway	5%	7%	70	48
Internal to subdivision	11%	14%	140	97
External Routes				
Sydney Rd, south of Lions Dr	5%	7%	70	48
Ulan Rd, N of Henry Lawson	9%	12%	117	81
Castlereagh Rd, W of Hill End	2%	2%	23	16
Total	100%	100%	1,285	692

Figure 3: Mudgee Traffic Study Table 4.3 expected trip distribution.

As can be seen from the above table the expected traffic distribution would be 72% of vehicle trips heading towards Mudgee CBD (West along Lions Drive), with the remaining 28% of trips heading East towards the Castlereagh Highway.

We have assumed that all industrial areas will be accessed via Lions Drive/Castlereagh Highway, as well as assuming that all internal subdivision trips are added to the Mudgee CBD total, to be conservative, rather than internal to the subdivision, as such a short trip would likely be on foot. Using these percentage breakdowns, the traffic expected in daily and peak hour trips is shown in the table below:

	Lions Drive West	Lions Drive East
Daily Trips	143	55
Peak hr Trips	14	5

Table 2: Expected traffic generation from the development in vehicles along Lions Drive

Expected Impact

Road carriageway level of service is also not expected to be impacted, as the traffic generation figures calculated for this subdivision are well within the carriageway level of service triggers as defined in the Austroads Guide to Traffic Management Part 3, which gives a mid-block capacity of a typical urban road as 900 vehicles per hour.

The proposed impact on the existing residential road network along Lions Drive to the East and West is proposed to be minimal, with only 14 and 5 vehicle trips per hour added to the existing peak hour volumes in the Westerly and Easterly directions respectively.

Impact of Future Development

The Mudgee South area has several developments planned for the near future, which will have a cumulative effect on the performance of roadways and intersections in the vicinity of this development.

The largest of these developments is the construction of a new secondary school, the new St Matthews Catholic Secondary School. The new school is to be located on the corner of Bruce Road and Broadhead Road. St Matthews has undertaken a comprehensive traffic study that has nominated minor upgrades required to the Lions Drive / Broadhead Road and Lions Drive / Robertson Street intersections that will increase the safety to road users at these intersections.

5 SUMMARY

In summary, the proposed development of Inverness Avenue with potentially 22 new residences will see a minor increase in traffic on the surrounding road network. The increase will not trigger the need for upgrades to existing infrastructure as discussed in the 2014 Mudgee Traffic Study.



14TH MARCH 2022



The General Manager
Council Administration Centre
MUDGEE NSW

Dear Sir

**RE; DEVELOPMENT APPLICATION DA0178/2022
PROPOSED DUAL OCCUPANCY(12DWELLINGS)
LOT 27DP1165146**

OBJECTIONS TO THIS DA STATED HEREUNDER

1. OBLIGATIONS

Considering the Golf Club have not fulfilled their obligations with the original development it is inconceivable they would adhere to any of the requirements for the new development

Examples -

- a. The Retention Dam has not been maintained in 10 years
- b. Golf Club track was to be maintained – nothing done
- c. Golf Cart track was to have lights installed...4 worked, 1 sometimes, 1 never
- d. Footpath on Lions Drive never completed

Accordingly, our great concern is that the obligations for this new development and especially the new retention dam and vegetation zone will also not be met.

2. OVERCROWDING AND TRAFFIC CONCERNS

In Inverness Avenue, which is 300metres in length, we have 28 dwellings. On the new Development Application Plan it shows 12 dwellings with 5 lots showing nil. The traffic assessment report

shows 22 dwellings in an approx. 150metres cul de sac which seems very overcrowded. This, in our opinion, would devalue our property and the increased traffic would also create problems. Most homes now have two vehicles and also some are parked in the street so this would create a problem for Emergency and Council services.

At the Northern side of our property where the golf track enters the Course there is a flood of water from houses and also water from the Golf course which flows into the present retention dam and also during heavy rain flows down the contour bank running in parallel with the Golf cart track which is a cause for concern on this plan. I have spoken with the Planning and Development Department and was advised that the Engineering Department would have to investigate this matter.

We purchased this property 10 ½ years ago to live in a peaceful environment on our retirement. To that end we were advised that there was no more land available here as only 26 blocks were permitted in a cul de sac. Council's Development Plan states in regard to cul de sacs that the number of lots to be served is 12 with an absolute maximum of 20 allotments in a residential subdivision.

It would be appreciated if you would consider our objections and keep us fully informed of any further outcomes.

Regards



Warwick and Marjorie Marskell





Ian & Jenifer Marchant



16 March 2022

General Manager
Mid-Western Regional Council
PO Box 156
MUDGEES NSW 2850

Dear General Manager

**DEVELOPMENT APPLICATION DA0178/2022-PROPOSED DUAL OCCUPANCY (12 DWELLINGS)
AND SUBDIVISION (17 LOTS) @ 21 ROBERTSON STREET MUDGEES NSW 2850
LOT 2 DP 153695, LOT 27 DP 1165146
CONSENT AUTHORITY: MID-WESTERN REGIONAL COUNCIL
APPLICANT: INVERNESS PROPERTY GROUP PTY LTD**

We are in receipt of the letter from Kayla Robson, Planning Co Ordinator – Development, dated 4 March 2022 in regards to the abovementioned proposal.

The following are points of concern as residents of [REDACTED]

- Safety concern over an additional 19 lots (as per subdivision plan 2, drawing No.C3.01) in a cul-de-sac that has already exceeded the MWRC guidelines of the desirable maximum number of lots to be served is 12, with absolute maximum of 20 allotments in residential subdivisions. This poses great concern over the access for emergency services as the cul-de-sac only has one way in/out.
- Excess traffic and vehicle parking – an extra 19 lots can have the potential to have 38 more resident vehicles using the cul-de-sac regularly. The width of the cul-de-sac now cannot cope with the amount of resident/visitor parking. Street parking currently reduces the flow of traffic and has created a one way/give way situation.

In addition to the above, we believe the development application does not comply with MWRC development guidelines for:

- Maximum length of a cul-de-sac
- Green/Open space
- Rights of carriageway

As a member of the Mudgee Golf Club, we particularly purchased in the Fairways Estate for the serenity and access to the course via the designated golf cart path. We believe this has been taken away from us since building. Firstly by the approval of heavy industrial businesses in Depot Road, the approval of the industrial businesses to operate 24/7 and now the possibility of multi dual occupancy dwellings that will take away our view of the golf course and create safety and traffic issues.

Not what you would expect after purchasing a premium block in a premium estate at a premium price.

We hope Council will give this proposal great thought and take these concerns as if it were their place of residence and oppose the application.

Yours faithfully



Ian Marchant



Jenifer Marchant



Lynda Baddock



15.03.2022

To the General Manager, Mid Western Regional Council,

I am writing to you to voice my strong concerns for the development application DA0178/2022. When I purchased my property in Inverness Ave in 2015, I was more than happy to pay a premium price as 'Fairways Estate' offered me a prestigious location in a quiet cul-de-sac. The light traffic flow was a major consideration when purchasing in this location. The proposed development will create a substantial increase in traffic flow, both during the construction period and once the housing is completed. Heavy vehicles will be needed to build roads, create a water storage area and build residences. The high density of the dwellings will see our quiet street become a much busier and noisier thoroughfare. It will strongly diminish the overall peaceful environment all residences currently enjoy and this will in turn, negatively impact the value of our properties.

As residential development is rapidly expanding in Mudgee more needs to be done to preserve both, green spaces (which currently exists at the end of our street) and the 'country lifestyle' we all enjoy. Would it be possible to enter this new development from a different direction and create a separate cul-de-sac that is not an extension of Inverness Ave? This would allow the current residents of Inverness Ave to maintain their current situation and provide the new development with a **less congested cul-de-sac of their own**. The application quotes Robertson St as the address for the development (which seems to be mis-leading as Inverness Ave is the street being so **heavily impacted** by the development) so an entrance from Robertson St at the bottom of the golf course may be a viable access route. Surely, there is an alternative access point to this proposed development!

I trust that you will take my concerns into account when considering this proposed development. With adjustments that don't change the current length of Inverness Ave, I feel that all parties are being catered for with less disruption to Fairways Estate as it currently stands.

Yours Sincerely,

Lynda Baddock





12th March 2022

Mark & Gail Pedron



Att: General Manager

Regards the following we ask that you address our concerns of

Development Application DAO178/2022 – Proposed Dual Occupancy (12 Dwellings) And Subdivision (17 Lots) @21 Robertson Street Mudgee NSW 2850

Lot 2 DP153695, Lot 27 DP1165146

Consent Authority: Mid-Western Regional Council

Applicant: Inverness Property Group PTY LTD

We live in the Links Estate Inverness Avenue, The Mudgee Golf Club has submitted an application for approval of the new Sub Division, We have an issue with it being approved, we do not trust The Golf Club to fulfil and complete the requirements set out for the new subdivision because they have failed to fulfill their commitments and requirement set by Council from the previous Links Estate subdivision approval ?

Part of the Links Estate Council approval requirements was for the following to be done

- Cart Paths Installed & Maintained
- Lighting installed on Cart Paths
- Footpath from Lions Drive
- Retention basin Maintained
- Acoustic hedge Buffer along Fence
- Links Estate Entry Signage

The Cart path has never been gravelled

Lighting was never Installed on the Inverness Avenue, Imber Circuit & Lions Drive access

The Lions Drive Footpath was never completed

Links Estate Signage Never Erected

The Acoustic Barrier Hedge never maintained and therefore majority of the hedge has died offering No Buffer

The Cart Path, Basin and or green space only gets Mowed once or twice a year by the Golf Club and only when a resident complains about Fire/Snake Hazzard, during the past 8 years one resident of

Inverness Avenue has mowed the unkept green space at the end of the cul-de-sac to keep it maintained for the residents due to being unmaintained by the Gold Club.

We have a lot of concerns about the proposed development, we have spoken with Hillier Mudgee's Town planner on several occasions and asked for answers to questions about the cart Paths in our subdivision and the Cul-de-sac being already at maximum dwellings only to be told he doesn't know the answer and would have to ask somebody and get back to us, strange considering that is his Job

We are still awaiting a reply so appears a delay tactic, to not have all the relevant information in time to put in an objection, and as a rate payer we feel this is disappointing and not acceptable service from Council Planning Department.

The residents of Links Estate have paid a premium price to purchase in this Prestige subdivision allowing a Right of Way Golf Cart Access to the Golf Course and Club House

This was available to all Residents as part of the purchase, we have all paid for the Cart Path in our Property Purchase and it is clearly stated in all Contracts of sale DP1165146 as part of the subdivision so the Golf Club cannot resell or reuse for further development the land that we have already purchased by putting a road through the Cart access stopping residents use?

As you would be aware It is against the Law to Drive a Golf Cart on a road or footpath so what about the legal implications if somebody gets injured using the Cart Path, that liability would fall on both the Golf Club and Council as the residents have a legal right of way to Drive/ Park on the path access as part of their property purchase approved by Mudgee Council

We have contacted Mudgee Golf Club on several occasions asking for clarification be told there is nobody that can answer the questions

Residents also purchased Links Estate on information and advertising provided, stating limited lots only 12 available Never to be built out, falsely advertised if this application is approved leaving possible opening for class action for Loss of Real estate Value.

Our Concerns are

- The major problem with this development is the access road to the development through right of way Golf Cart Access to the Golf Club under approved plan of subdivision Lot DP1165146S Registered 21/7/2011.

Driving unregistered Carts over a public road is prohibited the development would deny residents access to the Golf Course after paying a premium in the property Purchase Price for this right

Mudgee Councils rights of way Carriageways

- States Subdivision of land for the purpose of a dwellinghouse where access proposed by way of right of carriageway which serves or is capable of serving any other portion or allotment of land other than that on which the dwelling house is to be erected is generally not supported by council.
- A detailed submission supporting this type of access must be submitted with the development application along with written approval of all owners of the land of which a right of carriageway is proposed or currently exists to be submitted with the development application
- This Development Application does not Comply with the Criteria

3.3.11.1 Council Regulations

- The Mudgee Council Development Laws clearly state a Cul-de-sac has a limit of 12 lots with an absolute maximum 20 allotments in a residential subdivision as stated under section 3.3.11.1
- Inverness Avenue is already over the Maximum Council Guidelines with 27 Lots
- This new development proposal is to add another 24 Lots to Inverness Avenue giving a total of 51 Residential Lots in a Cul-de-sac exceedingly over 4 times the Mudgee Council Building Code for a cul-de-sac.
- The footpath at any point in the cul-de-sac or in the turning head shall be a minimum of 4 meters from the property line to the invert of channel, The proposed development does not meet this
- The development application states it would add an additional 12 Lots and 24 Dwellings, the traffic would significantly increase and any parking on the street would affect the traffic flow restricting cars to pass each other causing a give way scenario.
We are also concerned in the event of an emergency there would not be enough access for emergency vehicles
It would also affect the traffic flow on Lion's drive

- As this development would be an extension to Inverness Avenue Subdivision of green Field Sites where more than 20 Lots are proposed shall insure all lots are within 400 metres of a local park playground area or passive open space, this application does not meet the requirements
- In the proposed plans it shows shadowing of dwellings but did not take our house into consideration and the planned dwellings joining us are two story this will Shadow our property from 8am until 3 pm Daily allowing no sunlight to our home, our home was designed approved by Mudgee Council to accesses winter sun warming the concrete floor to reduce heating costs the shadowing will substantially impact our light received
- The top floor windows from the development look directly into our Master Bedroom and living/ loungeroom Area, we are entitled to private Bedroom / living space, and this is not acceptable

Open Channels D5.13

- Generally, open channels will only be permitted where they form part of the trunk drainage system and designed to have a smooth transaction with adequate access for provisions for maintenance and cleaning. Where council permits the usage of an open channel to convey flows from the development site to receive water body, such as a Chanell shall comply with the requirements of this specification,
- This development does not comply with the criteria

In conclusion we object to the Development of the Subdivision and hope that you will take your time to peruse our concerns and consider the Current Residents of Inverness Avenue.

Regards

Mark & Gail Pedron



17th March 2022

The General Manager
Mid-Western Regional Council
86 Market Street
Mudgee N.S.W. 2850

Dear Sir,

Re Development Application DA0178/2022 – Proposed Dual Occupancy
(12 dwellings) & subdivision (17 lots) @ 21 Robertson Street Mudgee N.S.W 2850
Lot 2 DP 153695, Lot 27 DP 1165146
Consent Authority: Mid-Western Regional Council
Applicant: Inverness Property Group Pty Ltd

We the undersigned wish to submit our objection to the above-mentioned development application with the following reasons.

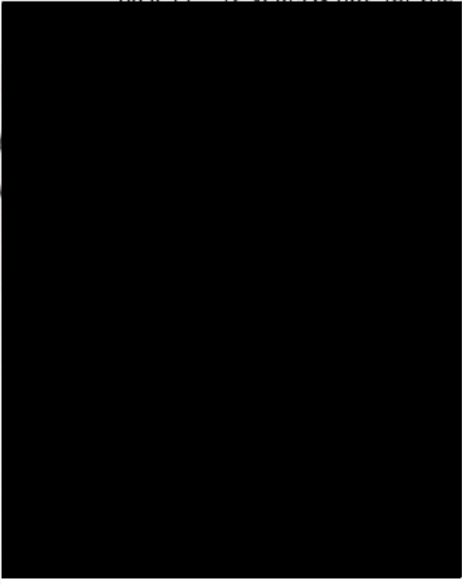
1. We initially purchased our land @ [REDACTED] & subsequently built our home approx. 3 years ago with the understanding & because of the appealing feature of the small street length of the subdivision ending in a cul de sac with minimal traffic by the present property owners.

We also made this decision based on the knowledge that the current & existing homeowners had purchased their land, built their homes at the original release of this subdivision with the same purpose of having a unique living environment in a very quiet small street.

2. The Traffic Assessment Report ref: TX15318.02-01.rpt.JD-REV1 refers only to the existing traffic volumes of Lions Drive (item 3.2) with item 4 Expected Traffic Generation expected by the proposed development (22 dwellings) being an additional 198 trips by vehicles. Based on the current number of dwellings in Inverness Ave & Imber Court , it is fair to say that this vehicular traffic in the proposed development would almost double the vehicular traffic to what is present now . This will certainly have an impact on the ambience of the current precinct & the safety of the residents.
3. The existing subdivision has the provision for golf cart access from both the western & eastern sides of Inverness Avenue . The plan of the proposed subdivision shows now access for golf carts to the golf course from the eastern side of Inverness Avenue. Again , these residents also made the purchase decisions with the knowledge that they have a safe, legal access to the golf course by golf cart if required. How do they access this if this proposal is passed?

4. The residents with homes nearest to the end of the current/ existing subdivision again, purchased & built with the confidence & sole reason they would have uninterrupted views of the golf course & surrounding open space.
5. What is the impact (noise, safety, pollution) to the current residents during the construction phase of the subdivision with vehicular traffic & parking of construction vehicles & subsequent construction of dwellings of the proposed dwellings?
6. What is the potential impact of property values decreasing because of the additional number of dwellings to the existing subdivision? Current recent sales of properties in this precinct reflect the desire for new owners of these properties paying a premium based on the wish to reside in a small, somewhat “exclusive” precinct with minimal traffic volume, quality homes & residents.

We urge all councilors to thoroughly consider our reasons for these objections & all the other residents who have made a submission of objection to this proposed development. It is an issue of what is good for the current residents who have enjoyed this precinct for the past 11 – 12 years & not for the financial benefit of a developer .



17 March 2022

The General Manager

Mid-Western Regional Council

Mudgee 2850

RE: Development Application DAO178/2022 – Proposed Dual Occupancy (12 Dwellings) and Subdivision (17 lots) @ 21 Robertson Street Mudgee NSW 2850 LOT 2 DP 153695, LOT 27 DP1165146 Applicant: INVERNESS PROPERTY GROUP PTY LTD

I write to object strongly to the above proposal on the grounds of the following:

I bought my property 9 years ago on the understanding I was purchasing in a quiet little Cul de Sac, originally advertised as "Fairway Estate" on the edge of the Golf Course for my retirement.

My concerns are:

- 1 Increased vehicular traffic and noise there from, with the potential to add 2 vehicles per dwelling
- 2 Type of proposed dwellings will attract mainly investors with potential to drag down property values of our existing homes
- 3 2 storey dwellings (boxes) crammed in and obstructing views of golf course
- 4 Danger to children playing in street and walking, riding bikes to school
- 5 Extra pressure on our NBN thereby weakening signal
- 6 Extra pressure on our water
- 7 Removal of reserve and open space at end of street
- 8 Inverness Avenue is not structured to handle the heavy vehicles that will ne needed to construct this development

This development application would be much better suited to an area on the outskirts of town, NOT crammed into a beautiful quiet little en-clave that residents have bought into on the understanding there would be no further growth.

Yours faithfully

Sandra Steele-Park

[REDACTED]

[REDACTED]





17/3/2022

The General Manager
Midwestern Regional Council
P O Box 156
MUDGEES NSW 2850

**OBJECTION TO THE DEVELOPMENT
LOT 2 DP 153695 LOT 27 DP 1165146 21 ROBERTSON STREET MUDGEES
APPLICANT ; INVERNESS PROPERTY GROUP PTY LTD**

Dear General Manager,

Reference of this objection is made to the development application DA 0178/2022 proposed dual occupancy (12 dwellings) and subdivision (17 lots) at the end of Inverness Avenue Mudgee, owned by Inverness Property Group Pty Ltd.

Mudgee Industrial Park is located at 86 Depot Road is the direct neighbour to this proposed development owned by my company DTM Property Enterprises Pty Ltd. This General Industrial block of land was purchased in 2002.

Mudgee Industrial Park is a 24hr operation, zoned IN1 General Industrial and has DA approval to build large industrial buildings with no height restrictions 3m off the boundary, adjacent to this site. This DA was approved by council before Inverness Avenue was zoned and developed into residential land.

These industrial sheds are supporting large businesses and creating a huge economic boost for the Mudgee region.

Without the operation of Mudgee Industrial Park these businesses would not be able to be established in Mudgee. The last thing Mudgee needs is for these businesses to relocate to another town because of the conflicts and restrictions that will be caused by the residential development.

Mudgee Industrial Park is predicted to be completed in 2 years. The businesses that are and will be operating will employ an estimate of 300 workers, which in turn supports their families. Each operation purchases materials, machinery, industrial supplies, hardware, and supports hospitality in Mudgee. These businesses outside of Depot Road need the support and they all are appreciated of the support that Depot Road gives them.

The majority of the businesses work and supply to the coal mines. We can all thank the coal mines in the Mudgee region.

The Midwestern Regional Council provided a industrial estate to allow businesses to get established and in addition have their own council works depot operating in Depot Road. The council depot is a 24 hour operation when needed, especially when the garbage trucks start up at 4 am.

There are transport companies, several fabrication and engineering shops, a concrete plant, crane companies and mining related companies already established.

With over 30 industrial properties and mixed businesses in Depot Road serving the Mudgee community, the traffic alone is extremely busy. The public traffic consists of cars, utes, light trucks, semi trailers, concrete trucks, B Doubles, Fire Brigade, Emergency and Council vehicles. There are fork lifts at night unloading trucks with reversing alarms.

This traffic is moving 24 hours a day, no one can stop this public road being accessed by the community and vehicles from out of town.

I personally have provided a cul-de-sac for all traffic entering Depot Road to turn around in 86 Depot Road, as there isn't anywhere to allow these large vehicles to turn around. The noise levels vary within the 24 hour time zone with all of Depot Road in play.

If approved by council, developing this block of land into a ridiculous amount of town houses will only cause conflict for decades to come between the Industrial areas and the residents. This block should only be allowed for one residence only. The residential land should not have come so close to the General Industrial Land in the first place.

The existing residents that bought houses in Inverness Avenue all knew they were buying adjacent to an existing General Industrial Estate which have had conflict in the past.

The Spectrum Acoustic Noise Report has noted that all windows and doors must be closed to comply with the Industrial area. The proposed acoustic barrier buffer earth mound and timber fence above will not be tall enough. There will be never any satisfaction to the residential neighbours being so close to the industrial area. Mudgee Industrial Park and all businesses have the respect and the sensitive approach to all of the existing residential houses near Depot Road.

When the Golf Club developed Inverness Avenue, all the stormwater was consolidated into the existing retention basin. In major flood times, this water would flow onto my block and threaten to flood my property.

In 2006 I personally paid and installed a concrete pipeline from Sydney Road, 325 lineal meters along the boundary of the Golf Club and 86 Depot Road.

An easement was created over this pipeline and a earth contour bank was installed to protect my property from stormwater runoff. In addition I paid the Golf Club \$55,000 for this easement.

The proposed new retention basin must have this easement extended along the boundary and the discharge pipe from the basin be piped under ground to connect to the existing line.

I trust that council will make the right decision to protect Mudgee's vital Industrial economy and all the operators within Depot Road including themselves. This residential development does not provide a comfortable or desirable lifestyle for the future residents or for the Industrial area of Mudgee.

Thank you for the opportunity to comment to this residential DA and should you require any discussions or further information please contact myself Dan Baggett. I would be more than happy to commit to a meeting on site to discuss any concerns.

Yours faithfully

Dan Baggett
Director of DTM Property Enterprises Pty Ltd.

17th March 2022

Mid-Western Regional Council
PO Box 156
Mudgee NSW 2850

Attention: General Manager

In Relation to Development Application DA0178/2022- Proposed Dual Occupancy (12 Dwellings) And Subdivision (17 Lots) @ 21 Robertson Street Mudgee NSW 2850.

Lot 2 DP 153695, Lot 27 DP 1165146.

Consent Authority: Mid- Western Regional Council

Applicant: Inverness Property Group Pty Ltd

We are writing this to submit our objection to the above current subdivision proposal submitted by the Inverness Property Group Pty Ltd. The objections are not in any order of importance and all points are equal.

Objections

1 – The original Inverness subdivision was sold and promoted as a golf course estate. As part of the estate all land holders had golf cart access to the golf course. This access is via a dedicated golf cart access that runs behind the south-eastern houses and crosses above the end of the cul-de-sac of Inverness Ave and entry to golf course via access gate above the 13th hole tee. This land that forms part of the golf cart course access is owned by the golf club and is part of the existing Inverness Ave subdivision, and in my opinion cannot be sold or removed. In the plan attached to the Mid-Western Council letter dated 4th March 2022, Reference Kayla Robson: WH: DA0178/2022 the existing golf cart access on south-eastern end of the cul-de-sac is not shown on the south-eastern side of the plan. It only shows the north-western access point of golf cart access. In this plan it also shows that the continued private access that the golf cart access currently allows without the need for driving on registered roads is going to be sold off as part of the proposed subdivision to form a road. This road should not be allowed to be developed as the existing estate had access to golf course that was purposely designed so residents of Inverness did not have to drive golf carts on the road and have safe easy access to golf course. If this road is allowed to be developed this will remove the private access that currently exist and forces the residents of Inverness Ave to drive on a registered road which is not allowable unless golf carts have conditional registration. This was the reason for the access in the first place to prevent carts driving on registered road, preventing the need for conditional registration along with safety. If this road is allowed to be developed, it removes the access and forces golf carts to drive on registered road. This becomes a major safety issue and is not allowable unless golf carts utilising this access have conditional registration. If there is an accident or damage to carts due to this road being installed which will be denying private safe access for golf carts which was a selling point as per part of the original subdivision the Mudgee Golf Club and the developer will become liable.

2- The original Inverness Ave subdivision that Mudgee Golf Club submitted and gained approval is my understanding had Lot sizes of approximately 1200 square metres. Developers purchased many of these Lots and applied to council to gain dwelling approval by splitting these lots to approximately 600 square metres which council approved. This created higher density housing than the original development was planned and developed for. The proposed sub-division is proposing dwellings on 300 square metres to

414 square metres which will further create high density dwelling. This is not with in-line with the original development and is outside the current street allowable land size. Reducing lot sizes below the existing development of Inverness Ave is not what this estate requires or needs. By reducing lot size in the proposed subdivision, the plans that I have seen is for two story dwellings which is not in line with the existing street scape baring a single dwelling which based on the original subdivision was not allowed. I'm objection to reducing the lot size to be less than the original development and that single story dwellings are the only allowable dwelling.

3- The applicant being Inverness Property Group Pty Ltd for this proposed sub-division from my understanding is associated with the Mudgee Golf Club. Taking this into account the Mudgee Golf Club is selling this land and this sale is subject to the approval of this proposed subdivision. I have great concerns that if the Mudgee Golf Club or any associated applicant which are involved in this subdivision application that it will ignore the conditions that will be associated with the subdivision approval. As council is aware the Mudgee Golf Club have failed to complete the initial Inverness Ave subdivision. They have failed to complete required footpath along Lions Drive, trees along foot path in Inverness Ave and solar lighting that works along back of Inverness Ave and the golf cart access pathway. To me this is an example of the arrogance that the Mudgee Golf Club show to the conditions that were set in the original subdivision, and this would be sure to continue if this proposed subdivision proposal is approved. It is also rumoured that the bond that the Mudgee Golf Club paid to council to ensure that the original subdivision was completed as per conditions of approval was fortified to the council as this was cheaper than doing the actual work. If this is the case, why would council again approve a subdivision that the Mudgee Golf Club is involved in some way.

4- Affect on traffic in Inverness Ave. From the Traffic Assessment Report by Triaxial Consulting dated 21st November 2021, Reference number TX15318.02-01.RPT.SD-REV1 it is clear the focus of this report was on Lions Drive traffic and minimal work conducted on the actual affect of increased traffic on Inverness Ave. The proposed subdivision is eventually for twenty-two dwellings, if this proposed subdivision is approved, and being generous 90% of dwellings having two vehicles (it would be higher) it is my assessment that an additional 41.8 cars would require access in Inverness Ave. The Traffic Assessment report indicates up to nineteen additional traffic movements per day would be expected in Inverness Ave based on the development of the proposed subdivision. It is my assessment that this will be at least 41.8 one-way traffic movements per day, and this is a significant increase that will significantly hinder the existing residents of Inverness Ave. This excludes trade traffic that would be significant if this proposed subdivision is approved.

5 – The existing subdivision has good water pressure. It is not clear of what affect additional dwellings in the proposed subdivision would have on water pressure. If the proposed subdivision is approved there needs to be guarantees from both council and the developer that the current water pressure will not be affected in any way and if it, is it is the responsibility of the council and or the developing to rectify this immediately at their expense. There are examples of water pressure being affected in Mudgee subdivisions where they have been extended, and as a resident of the existing Inverness Ave cul-de-sac this guarantees need to be put in place.

6 - The existing subdivision has good NBN speed. It is not clear of what affect additional dwellings in the proposed subdivision would have on data speed. If the proposed subdivision is approved, there needs to be guarantees from both council and the developer that the current data speed will not be affected in any way and if it, is it is the responsibility of the council and or the developing to rectify this immediately As a resident of the existing Inverness Ave cul-de-sac this guarantees need to be put in place.

7 – Drainage is an issue. The containment drain in the proposed subdivision is to be moved if approved. What the subdivision proposal fails to address is the drainage issue that currently exist along the back of houses that back onto golf course, which causes yard flooding and continues to cause flooding outside of the existing containment dam which considers the new proposed lots being Lot 1, Lot2, Lot3 and Lot 4. These areas get very wet and stay wet for extended periods. If the proposed subdivision is approved and high density dwelling entitlements are allowed what consideration had been given to the existing flooding issue that these houses would be built on specifically if these houses are built up where will water flow, will it add to existing drainage issue to existing houses that back onto golf course, will it cause water issues on the golf course and other unknown issues. There are too many unknow factors that the applicants of the proposed subdivision have not properly investigated and or produce positive solutions. If they have investigated these issues the solutions and plans to resolve have not been presented to existing residents of Inverness Ave.

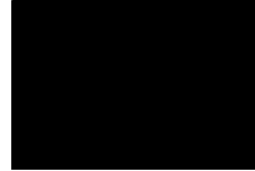
8 – There is local council member associated with the real-estate agency chartered with the sale of this subdivision and potentially the sale of land and dwellings of this proposed subdivision. This council member needs to remove himself from voting on the approval process as it is a conflict of interest.

10 – Consistency of development. The plan attached to the Mid-Western Council letter dated 4th March 2022, Reference Kayla Robson: WH: DA0178/2022 does not provide detail concerning non-permittable structures such as garden shed in back yards, standalone clothesline, no colour-bond fencing. These details are important as consistency needs to be maintained if this proposed subdivision is approved. As a resident of the existing Inverness Ave cul-de-sac this guarantees around consistency need to be put in place.

This is a poorly thought-out proposed subdivision that will have major affects on the existing Inverness Ave residents. The proposed subdivision restricts safe access to golf course, creates non suitable high density living, council is working with a known applicant who fails to follow consent conditions, creates traffic issues for existing residents of Inverness Ave, has the potential to affect water pressure and data speed and has not addressed potential drainage issues over and above the moving of containment dam. Council should not approve this proposed subdivision under current plan.

Regards

Paul And Michelle Baguley



The General Manager,
Mid-Western Regional Council
MUDGEE,
Dear Sir

**DEVELOPMENT APPLICATION DA0178/2022-PROPOSED DUAL OCCUPANCY (12 DWELLINGS) AND
SUBDIVISION (17 LOTS) @ 21 ROBERTSON ST., MUDGEE NSW 2850**

LOT 2 DP 153695, LOT 27 DP1165146

CONSENT AUTHORITY: MID WESTERN REGIONAL COUNCIL

APPLICANT: INVERNESS PROPERTY GROUP P/L

With regard to this proposed development I would like to comment on a couple of areas of concern.

DENSITY OF HOUSING

The size of the allotments are much smaller than the lots in the existing Inverness Ave cul-de-sac which has a number of free-standing houses on larger lots as well as dual occupancy houses, giving the area a spacious feel and look.

I feel that the new estate, with smaller lots and two storey housing, will be completely different, and not in keeping with the existing development. As this development is intended to be an extension of Inverness Avenue, I would like to see a continuity of development similar to the existing lots and housing.

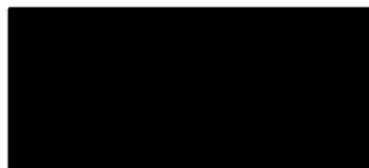
CONSTRUCTION PHASE

To alleviate the noise and traffic of heavy machinery and builders in the existing residential area could an alternate access be used to accommodate the heavy earthworks during the construction phase of this development? This would preserve our existing road from damage by bulldozers, excavators and associated heavy vehicle traffic.

Hoping my concerns will be considered when evaluating the above application.

Yours sincerely,

~~Duffy
Pamela~~





18th March 2022

Mid Western Regional Council
86 Market Street
Mudgee NSW 2850

Attention: General Manager

Re: Development Application DA0178/2022 – Proposed Dual Occupancy and subdivision @ 21 Robertson Street, Mudgee NSW 2850

I am writing in opposition to the above proposed development application. There are a few issues that are concerning me which include:

- An increase in Traffic for such a small street. The purpose of a cul-de-sac is to reduce traffic, however, once all dwellings are erected there will be a significant increase in traffic. Most residences have 2+ cars which would make the street terribly congested and very busy.
- There is a significant amount of storm water that flows at the back of the already established houses so how will this affect the new subdivisions?
- These residential blocks are very close to the Industrial Estate that have a 24 hour license – has this been taken into consideration?

Thank you for your time, I hope you take these concerns into consideration when making your decision.

Kind Regards

Barry Swords



From: [Kellee Tindall](#)
To: [Council](#)
Subject: Attention: General Manager
Date: Friday, 18 March 2022 10:21:29 PM

To The General Manager,

We are writing to object to the proposed building that is to take place at the end of our street in Inverness Avenue Mudgee. We live [REDACTED] and are located right near the proposed building site.

The reasons why we object are as followed;

We purchased the home with the belief we are in the end of a quite cul de sac , and that it was a small and quiet subdivision. If this is to go ahead, this will change our whole street dynamic and it will cease to be quiet and small. There will be substantial amounts of traffic coming past our home on a daily basis. One issue that is very alarming in regards to this is the fear of our two young children playing in our beautiful safe and quiet street with all this extra traffic passing by each day. This is scary and alarming. It wa some reason we brought this house in this cup de sac. It will be unsafe and not at all what we wanted when we purchased our lovely home in this quiet and peaceful location.

The removal of the reserve and the open space at the end of the street is also concerning and and saddening. It's home to many animals including ducks, turtles, bird life and even kangaroos at times and and this space is also used as access to and from the golf course for residence in this area and the golf carts. If this is removed, where is our golf cart access? Our contracts stated we had this access in our sale. Our contract indicates we have golf cart access from our property to and from the golf course! We should not have our access taken away from us. This is unfair and wrong. If it is , we should all be compensated for this loss! It's one of the appealing things about our home in this prime location: area. If is taken away from us we should be all compensated for that extreme Loss.

Another issue with that also is, If we loose our access to the golf course and residents including ourselves are having to drive their carts across a busy road of a new subdivision, this is scary and not good at all. It should not even be feasible! Bevause golf carts are not registered Vechiles and at the moment we have grass and buggy access to get to and from their safely. What if a car or another buggy hits a child or person who is attending the golf course because we now have to cross the new road in a busy subdivision in order to get to the golf course?

And who is liable for this? These are all of the many concerns we have.

Another issue is seeing two storey boxes crammed in to a little area at the end of our street, which will be obstructing views , sunlight, and our prime location view of the Golf Course . We currently have views of the beautiful Mudgee hills and a long lookout of the golf course landscape . We love the paddock at the end of it street as it's a place for our children and family to exercise and move around in open park space . The fact that we will lose all this and so much more is awful and wrong. Our other Neighbours homes surrounding us will also loose their views of the golf cours, and this is another very distressing issue! Again, we brought this home for the quiet and calm location and for the golf access and view we have of the golf course! It was an appealing selling point to us.

The area at the end of our street also holds a significant amount of water from our street and surrounding areas. Where will all this water go or drain to and when it rains and severe weather hits, where will this water all drain to instead, especially when you take all this

draining and space away . It fills up with large amounts of water . This is alarming to think, that if you build houses on all this land and our paddock or take this area away, a possibility may be flooding or water issues that will affect myself , other residents and Neighbours and homes! water go Potentially it could affect our homes and our land and our insurances. This all needs to be addressed and looked into further. There are many issues concerning us in regards to this proposal .

It is alarming to also think that there will potentially be a reduction of property value for ourselves and current residents because of expansion & potential rental properties created.

Therefore, we object to this proposed building happening in our street.

Kind regards

Kellee & Ross Tindall

[REDACTED]

Get [Outlook for iOS](#)

From: [Barbara Green](#)
To: [Council](#)
Subject: Development Robertson Road
Date: Friday, 18 March 2022 10:41:45 PM

ATTENTION GENERAL MANAGER

Dear Sir/Madam

With regard to the current DA in Robertson Road which will be the extension of Inverness Ave I wish to list our objections.

1 The original proposal was for a limited number of dwellings in this avenue for which owners paid a premium. It appears residents have been deceived by both council and the developer in this matter.

2 Inverness Ave is very narrow with resident's vehicles, trailers and caravans parked in it night and day. Emergency vehicles would find it almost impossible to access the proposed development. A fire in the new development could have catastrophic consequences with emergency vehicles unable to access promptly.

3 residents bought in this avenue in good faith trusting both the developer and council to be honest in advertising and in fulfilling their promised duties. Residents are still waiting for many things originally promised to them by both entities only to see neither completing their legal duties. Distrust of both council and the developer are quite apparent among residents.


4 This proposed development will destroy the peace and tranquillity promised to residents on the original plan. The right to enjoy their lifestyle and property of this unique avenue will be destroyed by noise, traffic and building.

5 The number of dwellings proposed contravenes the legal limit currently allowed in NSW town planning and development.

It is regretful that council appear to have little concern regarding the safety, lifestyle or their legal responsibilities towards the original residents who paid a premium for a certain lifestyle only to possibly have it drastically reduced by the stroke of a pen.

Yours sincerely

Barbara Green



The General Manager,
Mid western Regional Council,
Mudgee, 2850.



Re development Application: DAO 178/2

Dear Sir,

I am writing to strongly object to the above application on several grounds:

1. I moved here to Inverness Ave, 8½ years ago understanding I was buying into a quiet cul-de-sac on the edge of the Golf Course.

I note that the D.A. is submitted by The Golf Course/Club on behalf of the "developer" Inverness P/L. Does that mean The Golf Club will not be paid if the development is not approved?

2. Type of proposed dwellings are much too close together and hard to tell if

2.

they are two stories. My contract when I purchased here specifically said no two story dwellings were to be built on Golf Course side of Inverness Ave.

3. Water pressure and NBN reception will be compromised.

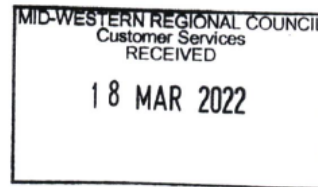
4. There will be danger to children, playing in the street, walking to the bus stop or riding their bikes to school.

5. Has there been an Environmental Impact Study done, especially with the removal of the green reserve and trees at the end of our street?

I am afraid that Council could consider this development - it is more suited to further out of town.

Please listen to me and my beautiful neighbours.

Yours faithfully,
Elizabeth Loneragan



General Manager
Mid Western Regional Council
86 Market Street
Mudgee NSW 2850

18th March 2022

DELIVERED IN PERSON TO COUNCIL OFFICES

Dear Sir

**PROPOSED DEVELOPMENT APPLICATION DA0178/2022
LOT 2 DP 153695, LOT27 DP1165146
APPLICANT INVERNESS PROPERTY GROUP PTY LTD**

I refer to your letter dated 4th March 2022 including the attachment, captioned "Master Site Plan" and provide the following general observations and comments.

1. There was no mention of any Inverness Avenue development in this letter, referring only to a DA on 21 Robertson Street which is in fact the address of the Golf Club.
2. The Master Site Plan was devoid of any street names, making it difficult to tie it in to existing properties in Inverness Avenue.

That being said, the DA clarified things.

We recently purchased our property in anticipation of enjoying a quiet retirement but this may not be the case if this proposed development goes ahead. The biggest impact will be the effect of increased traffic in the cul-de sac and our comments/objections to the DA hinge around this. See points i-iii listed below.

- i. The Traffic Assessment Report included in the DA does not address the increase in traffic flows potentially creating congestion at the corner of Inverness Avenue and Lions Drive. How will this be overcome?
- ii. The traffic flows will be further exacerbated by construction vehicles which can only use Inverness Avenue to access the site during the construction phase. Can some other access be created via or through the adjacent Industrial area?
- iii. The increased traffic flows could potentially impact golfers who reside in Inverness Avenue unless there is continued cart access to the golf course via the various easements bordering properties in Inverness Avenue and Imber Court. The Master Site Plan now only shows one golf cart access point next to 25 Inverness Avenue. How will golfers cross over the extension of Inverness Avenue without travelling on public roads?

Yours faithfully



17th March 2022

Mid-Western Regional Council
PO Box 156
Mudgee NSW 2850



Attention: General Manager

In Relation to Development Application DA0178/2022- Proposed Dual Occupancy (12 Dwellings) And Subdivision (17 Lots) @ 21 Robertson Street Mudgee NSW 2850.

Lot 2 DP 153695, Lot 27 DP 1165146.

Consent Authority: Mid- Western Regional Council

Applicant: Inverness Property Group Pty Ltd

We are writing this to submit our objection to the above current subdivision proposal submitted by the Inverness Property Group Pty Ltd. The objections are not in any order of importance and all points are equal.

Objections

1 – The original Inverness subdivision was sold and promoted as a golf course estate. As part of the estate all land holders had golf cart access to the golf course. This access is via a dedicated golf cart access that runs behind the south-eastern houses and crosses above the end of the cul-de-sac of Inverness Ave and entry to golf course via access gate above the 13th hole tee. This land that forms part of the golf cart course access is owned by the golf club and is part of the existing Inverness Ave subdivision, and in my opinion cannot be sold or removed. In the plan attached to the Mid-Western Council letter dated 4th March 2022, Reference Kayla Robson: WH: DA0178/2022 the existing golf cart access on south-eastern end of the cul-de-sac is not shown on the south-eastern side of the plan. It only shows the north-western access point of golf cart access. In this plan it also shows that the continued private access that the golf cart access currently allows without the need for driving on registered roads is going to be sold off as part of the proposed subdivision to form a road. This road should not be allowed to be developed as the existing estate had access to golf course that was purposely designed so residents of Inverness did not have to drive golf carts on the road and have safe easy access to golf course. If this road is allowed to be developed this will remove the private access that currently exist and forces the residents of Inverness Ave to drive on a registered road which is not allowable unless golf carts have conditional registration. This was the reason for the access in the first place to prevent carts driving on registered road, preventing the need for conditional registration along with safety. If this road is allowed to be developed, it removes the access and forces golf carts to drive on registered road. This becomes a major safety issue and is not allowable unless golf carts utilising this access have conditional registration. If there is an accident or damage to carts due to this road being installed which will be denying private safe access for golf carts which was a selling point as per part of the original subdivision the Mudgee Golf Club and the developer will become liable.

2- The original Inverness Ave subdivision that Mudgee Golf Club submitted and gained approval is my understanding had Lot sizes of approximately 1200 square metres. Developers purchased many of these Lots and applied to council to gain dwelling approval by splitting these lots to approximately 600 square metres which council approved. This created higher density housing than the original development was planned and developed for. The proposed sub-division is proposing dwellings on 300 square metres to

414 square metres which will further create high density dwelling. This is not with in-line with the original development and is outside the current street allowable land size. Reducing lot sizes below the existing development of Inverness Ave is not what this estate requires or needs. By reducing lot size in the proposed subdivision, the plans that I have seen is for two story dwellings which is not in line with the existing street scape baring a single dwelling which based on the original subdivision was not allowed. I'm objection to reducing the lot size to be less than the original development and that single story dwellings are the only allowable dwelling.

3- The applicant being Inverness Property Group Pty Ltd for this proposed sub-division from my understanding is associated with the Mudgee Golf Club. Taking this into account the Mudgee Golf Club is selling this land and this sale is subject to the approval of this proposed subdivision. I have great concerns that if the Mudgee Golf Club or any associated applicant which are involved in this subdivision application that it will ignore the conditions that will be associated with the subdivision approval. As council is aware the Mudgee Golf Club have failed to complete the initial Inverness Ave subdivision. They have failed to complete required footpath along Lions Drive, trees along foot path in Inverness Ave and solar lighting that works along back of Inverness Ave and the golf cart access pathway. To me this is an example of the arrogance that the Mudgee Golf Club show to the conditions that were set in the original subdivision, and this would be sure to continue if this proposed subdivision proposal is approved. It is also rumoured that the bond that the Mudgee Golf Club paid to council to ensure that the original subdivision was completed as per conditions of approval was fortified to the council as this was cheaper than doing the actual work. If this is the case, why would council again approve a subdivision that the Mudgee Golf Club is involved in some way.

4- Affect on traffic in Inverness Ave. From the Traffic Assessment Report by Triaxial Consulting dated 21st November 2021, Reference number TX15318.02-01.RPT.SD-REV1 it is clear the focus of this report was on Lions Drive traffic and minimal work conducted on the actual affect of increased traffic on Inverness Ave. The proposed subdivision is eventually for twenty-two dwellings, if this proposed subdivision is approved, and being generous 90 % of dwellings having two vehicles (it would be higher) it is my assessment that an additional 41.8 cars would require access in Inverness Ave. The Traffic Assessment report indicates up to nineteen additional traffic movements per day would be expected in Inverness Ave based on the development of the proposed subdivision. It is my assessment that this will be at least 41.8 one-way traffic movements per day, and this is a significant increase that will significantly hinder the existing residents of Inverness Ave. This excludes trade traffic that would be significant if this proposed subdivision is approved.

5 – The existing subdivision has good water pressure. It is not clear of what affect additional dwellings in the proposed subdivision would have on water pressure. If the proposed subdivision is approved there needs to be guarantees from both council and the developer that the current water pressure will not be affected in any way and if it, is it is the responsibility of the council and or the developing to rectify this immediately at their expense. There are examples of water pressure being affected in Mudgee subdivisions where they have been extended, and as a resident of the existing Inverness Ave cul-de-sac this guarantees need to be put in place.

6 - The existing subdivision has good NBN speed. It is not clear of what affect additional dwellings in the proposed subdivision would have on data speed. If the proposed subdivision is approved, there needs to be guarantees from both council and the developer that the current data speed will not be affected in any way and if it, is it is the responsibility of the council and or the developing to rectify this immediately As a resident of the existing Inverness Ave cul-de-sac this guarantees need to be put in place.

7 – Drainage is an issue. The containment drain in the proposed subdivision is to be moved if approved. What the subdivision proposal fails to address is the drainage issue that currently exist along the back of houses that back onto golf course, which causes yard flooding and continues to cause flooding outside of the existing containment dam which considers the new proposed lots being Lot 1, Lot2, Lot3 and Lot 4. These areas get very wet and stay wet for extended periods. If the proposed subdivision is approved and high density dwelling entitlements are allowed what consideration had been given to the existing flooding issue that these houses would be built on specifically if these houses are built up where will water flow, will it add to existing drainage issue to existing houses that back onto golf course, will it cause water issues on the golf course and other unknown issues. There are too many unknow factors that the applicants of the proposed subdivision have not properrly investigated and or produce positive solutions. If they have investigated these issues the solutions and plans to resolve have not been presented to existing residents of Inverness Ave.

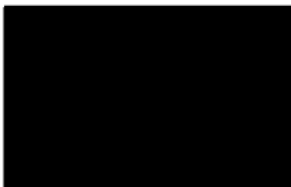
8 – There is local council member associated with the real-estate agency chartered with the sale of this subdivision and potentially the sale of land and dwellings of this proposed subdivision. This council member needs to remove himself from voting on the approval process as it is a conflict of interest.

10 – Consistency of development. The plan attached to the Mid-Western Council letter dated 4th March 2022, Reference Kayla Robson: WH: DA0178/2022 does not provide detail concerning non-permittable . structures such as garden shed in back yards, standalone clothesline, no colour-bond fencing. These details are important as consistency needs to be maintained if this proposed subdivision is approved. As a resident of the existing Inverness Ave cul-de-sac this guarantees around consistency need to be put in place.

This is a poorly thought-out proposed subdivision that will have major affects on the existing Inverness Ave residents. The proposed subdivision restricts safe access to golf course, creates non suitable high density living, council is working with a known applicant who fails to follow consent conditions, creates traffic issues for existing residents of Inverness Ave, has the potential to affect water pressure and data speed and has not addressed potential drainage issues over and above the moving of containment dam. Council should not approve this proposed subdivision under current plan.

Regards

Paul And Michelle Baguley





6 Treverrow Ct
DUBBO NSW 2830
Mob: 0439 724 980
yule.atlas@gmail.com

ABN: 79718726016

19 April 2022

Attn: Kayla Robson
Planning Coordinator Development

The General Manager
Mid-Western Regional Council
PO Box 156
MUDGEE NSW 2850

(PAN-166671)

Dear Kayla,

**RESPONSE TO SUBMISSIONS
DA 0178/2022 PROPOSED SUBDIVISION AND DUAL OCCUPANCY DEVELOPMENT – LOT 2
DP153695 AND LOT 27 DP1165146 – 21 ROBERTSON ROAD MUDGEE**

Please accept this correspondence as a response to the submissions made in reference to the abovementioned development application. On behalf of the developers, Inverness Property Group Pty Ltd, the following comments are made in regard to issues raised submissions received during the exhibition period. (Issues raised and comments to clarify aspects of the proposed development are detailed in the table attached). Overall, it is considered that the submissions have raised for the majority issues that were considered in the pre-lodgement phase & site analysis. No details of the development are proposed to be amended directly due a response to submissions. However, the clarification of the golf cart access and legal carriageways will be provided with comment/ updated plans prepared by Triaxial Consulting Pty Ltd.

Should you require further information in relation to this matter, please do not hesitate to contact the undersigned on mob 0439 724 980.


EMMA YULE
BAppSc, Grad Dip URP
t/a Atlas Environment and Planning



RESPONSE TO SUBMISSIONS

	Issue Raised	Comments and Response
1	<p>Golf Club have not fulfilled obligations of original development. Inconceivable that they would adhere to requirements of new development.</p> <p>(Issue raised in 4 submissions)</p>	<p>It is a concern that the Mudgee Golf Club has been identified as not satisfactorily fulfilling existing obligations. It is noted that the developer is not the Mudgee Golf Club, however the Club will have ongoing responsibilities for some issues referenced in the submission; such as maintenance of the golf cart track.</p> <p>Associated with this development, the existing covenants/easements are mostly to remain (except were demonstrated in the DA submission for changes to the drainage basin). The Golf Club will continue to be responsible for maintaining the noise attenuation mound and easement for access (A3). Also refer to obligations pursuant to DA 102/2021. The terms of the easement /covenant should be sufficient to ensure this obligation is met.</p> <p>The concern will be passed onto the Mudgee Golf Club.</p>
2	<p>Increased traffic concerns due to number of lots and new dwellings. Parking of private vehicles on the street is a concern for access by emergency vehicles.</p> <p>Increased traffic also for tradesman during construction.</p> <p>(Issue raised in 11 submissions)</p>	<p>The development has not sought any departure from the DCP for the number of resident off-street parking sites for dual occupancies proposed. Compliance with the DCP will minimise the likelihood for residents to park off-street.</p> <p>Construction traffic will be a temporary concern that can be minimised through conditions limiting hours of work.</p>
3	<p>Development Control Plan says cul de sacs are to only serve 12 lots or provide a maximum of 20 allotments in a residential subdivision.</p> <p>The development plans do not comply with the DCP – maximum length of cul-de-sac.</p>	<p>There has been mis-information quoted regarding the DCP development standards in this issue. The DCP states: <i>"The maximum number of lots served by a cul-de-sac in a residential zone is 12, or otherwise a cul-de-sac is restricted to less than 150metres in length".</i></p>



	Issue Raised	Comments and Response
	(Issue raised in 2 submissions)	The development proposes: 11 new lots, to be serviced from the new road which is <150m in length.
4	Stormwater concerns generally based on existing flow paths and design of existing Basin. (Issue raised in 1 submission)	DA102/2021 requires some upgrade to the existing stormwater management measures. This development proposal will further require the existing basin to be replaced. It is considered that the new design and civil works will rectify any existing issues. The new basin will address flow of water in accordance with Council development standards. Any current issues because of insufficient drainage will be resolved with the proposed new basin. (Refer to correspondence date 11 April by Triaxial Consulting addressing this issue).
5	The development plans do not comply with the DCP – green/open space. (Issue raised in 3 submissions)	The DCP states: <i>“Subdivision of Greenfield sites where more than 20 lots are proposed shall ensure that all lots are within 400m of a local park, playground or passive open space”.</i> The development complies with the DCP.
6	The development plans do not comply with the DCP – rights of carriageways. (Issue raised in 1 submission)	The development application does not impede on any existing registered right of carriageway.
7	Issue raised regarding the expectations for the setting when originally purchased land in Inverness Ave. (Concerns about Council approving development impeding their view of golf course, approval of heavy industrial businesses operating 24/7 and price of property to affected). (Issue raised in 2 submissions)	The subject Residential land and development is faced with a mixed-use setting. The development concept has included appropriate design features to address the setting. (Refer to the updated plans prepared by Triaxial Consulting detailing more clearly the acoustic mound (file name: TX15318.02-C01 RTS update).
8	Negatively impacting value of land. Attract investors (not owner/occupier). (Issue raised in 2 submissions)	Speculation on value of land is not considered a relevant objection.



	Issue Raised	Comments and Response
9	Consideration of an alternative access to reduce traffic on Inverness Ave. (Issue raised in 1 submission)	The development lot (Lot 2 created in DA2021/102) has a street frontage along Inverness Avenue. This is the only access point.
10	Rights associated with golf cart access are sought to be clarified by Council and continuation of these rights associated with DP1165146 is a concern. (Issue raised in 4 submissions)	The rights associated with DP1165146 have been carried over with the physical pathway to be upgraded with this development work. The Golf cart access will be extended to surround the development site to provide a continuation of safe, legal access.
11	Impacts of over shadowing. (Issue raised in 1 submission)	Due to privacy rights, the applicant does not have the benefit of an address to specifically comment upon, however the building designers have minimised overshadowing and there is separation to existing dwellings.
12	Open channels only permitted where they form part of trunk drainage. (Issue raised in 1 submission)	Triaxial Consulting Engineers have liaised pre-lodgement with Council staff on interpretation of drainage requirements and acceptable design aspects. (Refer to correspondence date 11 April by Triaxial Consulting addressing this issue).
13	Danger to children playing in street and walking, riding bikes to school (Issue raised in 3 submission)	Road complies with LEP and foot paths for pedestrians have been proposed. Safety is a concern for the developer and providing good pedestrian linkages is important.
14	Extra pressure on NBN – negative impact. (Issue raised in 2 submission)	The telecommunications design will meet level of service required.
15	Extra pressure on town water supply. Maintain existing level of water service. (Issue raised in 2 submissions)	The design and calculations for water servicing by Triaxial Consulting has not raised any issue for maintenance of water service levels. Council as the consent authority and water authority will condition the standard to be provided.
16	Inverness Ave not structured to handle heavy vehicles during construction.	Typically, the deployment of construction vehicles will occur once, and a compound formed for the storage of heavy vehicles.



	Issue Raised	Comments and Response
	(Issue raised in 2 submissions)	
17	Removal of reserve and open space at end of the Street. (Issue raised in 1 submission)	This development site is private land, zoned R1 General Residential and not for public use. The drainage functions are relocated. (Refer to correspondence date 11 April by Triaxial Consulting addressing this issue).
18	Conflict between industrial area on Depot Road and development site. Limiting impact on the industrial land use is important to retain employment associated. (Issue raised in 2 submissions)	Land use conflict is a known issue and managed in part by the acoustic barrier; conditions of approval related to the industrial land; and building design aspects. The industrial development has been approved and this proposal will not affect any conditions of continued use.
19	The development site should only be permitted for 1 dwelling only. (Issue raised in 1 submission)	One dwelling would not be a good use of residential zoned land nor provide the economic benefit sought from development.
20	Acoustic barrier is not tall enough to ever satisfy the residents. (Issue raised in 1 submission)	This height has been determined/designed by the same specialist that has worked with the mentioned industrial development and informed assumptions have been used in modelling the potential noise environment.
21	Easement for stormwater benefitting the industrial development draining to Sydney Rd to be considered. (Issue raised in 1 submission)	Easement/rights of the existing infrastructure for drainage should not be detrimentally impacted and new easements will be created to accommodate the new basin location and discharge to easement.
22	Proposed lots are smaller than the originally approved in Inverness Ave and represents higher density living which is opposed. (Issue raised in 2 submissions)	The proposed development complies with the minimum lot size provisions set by the Mid-Western Regional LEP 2012.



	Issue Raised	Comments and Response
23	<p>Stormwater/drainage issues that exist for existing development for houses directly the adjoining the golf course.</p> <p>(Issue raised in 3 submission)</p>	<p>The issue is of concern to the developers and where drainage is impacted by new works overall it is design for the stormwater management to improve by the construction of a larger basin.</p> <p>(Refer to correspondence date 11 April by Triaxial Consulting addressing this issue).</p>
24	<p>Conflict of interest matter for Councillor.</p> <p>(Issue raised in 1 submission)</p>	<p>Council policy will address this matter if an issue.</p>
25	<p>Consistency of covenants on development – e.g.: no garden sheds.</p> <p>(Issue raised in 1 submission)</p>	<p>This is a separate standalone development. The developer has aimed to minimise any variation to the DCP and consider the existing setting, however the same covenants are not proposed for this development. The dual occupancy developments show the proposed storage and car parking areas, as well as clothes drying areas.</p>
26	<p>Question whether there had been an environmental study?</p> <p>(Issue raised in 1 submission)</p>	<p>Yes – The Statement of Environmental Effects and supporting documents has addressed the relocation of the basin and tree removal proposed. This document/s were available on exhibition.</p>

11 APRIL 20222

MID WESTERN REGIONAL COUNCIL
MUDGEE NSW 2850
Attention: Kayla Robson



Dear Kayla,

Re: Response to Objections – DA0178/2022
Subdivision of Land – 21 Robertson Street, Mudgee
Reference: *TX15318.00-01.ltr.JD*

Triaxial provide this report as further information in response to correspondence dated 16/12/21 from Mid Western Regional Council requesting further information to facilitate the assessment of the development at 21 Robertson Street, Mudgee.

Reference items below have been grouped into the category based on the objections received by Council to the development.

- ***Increase Traffic Concerns – New Road Construction***

Whilst the development will increase the traffic accessing the new dwellings, the traffic loading as calculated using Austroads Guide to Road Design will be far below the road capacity for a two lane – two-way road. The proposed layout of the development is in accordance with the approved zoning and does not allow for a through road linkage.

The road design will be in accordance with the Austroads Guide to Road Design and Mid Western Regional Council guidelines, including minimum road widths as specified by council. A 10m radius is proposed for the culdesac head, which is over and above minimum requirements and has been included to accommodate the largest design vehicle, a council service vehicle. This will allow for a council service vehicle to turn around the culdesac head without reversing as rear visibility is often limited in these service vehicles.

We note that the proposed width of the road and the new culdesac turning radius will be in excess of other similar developments within the Mid Western Regional Council area, including Caerleon estate, which is subject to it's own separate DCP that specifies much narrower roadways. The 8m road with will be more than adequate for emergency vehicle access, which requires a minimum 3m wide corridor. With parking potentially on both sides of the road the worst-case scenario is 2m parking either side (typical parallel parking lane width – Austroads), leaving a 4m wide access corridor for emergency vehicles.

The length and the number of lots serviced are greater than recommended (maximum 12, length maximum 150m) in the Mid Western Council DCP. There are 11 lots that will be accessed from the new road, which are to be added to the lots serviced by the existing culdesac.

Although longer and servicing more lots than recommended the new culdesac will be managed by ensuring the road construction is at a standard that will be able to convey the expected volume of traffic to be generated, which is well below roadway and intersection capacity.

In line with Mid Western Regional Council requirements for developments where it is unavoidable for longer culdesac lengths, a pedestrian link will be provided by the construction of a new concrete footpath to connect to the existing footpath in Inverness Avenue. There is also proposed to be an accessway between the existing and new developments along Inverness Avenue that maintains the existing right of carriageway from East to West along the Southern boundary of the existing detention basin.

We note that it is proposed to include a reduced footpath width at the culdesac head. This may be acceptable to council in this case due to the limited number of services within the footpath at this point and the provision of a larger than typical radius turning head. The larger radius of the turning head was prioritised over the standard footpath width due to the potential safety benefits.

- ***Stormwater Drainage Concerns***

Open channels are allowed at the discretion of council engineers and are often used as a cost-effective option where piped drainage systems are impractical.

The proposed new detention basin has been sized to accommodate both the existing and new developments. The flow out from this basin will be controlled within the existing stormwater easement, which provides a legal right to drain water along the corridor down to Sydney Road.

The development will also include the provision of a catch drain at the higher side of the development to head of surface water flows onto the site from the adjacent golf club.

A copy of all stormwater modelling has been made available to Mid Western Regional Council for review.

- ***Water Reticulation Supply***


The development is not likely to impact at all on potable water supply, with the loading from the additional lots negligible in terms of overall supply pressure and flow. The council water network in the vicinity is secured by looped trunk mains – most recently upgraded with a connection to the Lions Drive / Broadhead Road mains upgrade. The service mains feed from these trunk lines and the site is located at a beneficial position at the lower end of the catchment and will benefit from a higher static head.

Pressure and flow rates in the vicinity have been favourable with recorded static pressure well in excess of serviceable limits.

Water quality in the existing mains servicing Inverness Avenue may actually be improved with the new development, as higher turnover and demand in the mains will lead to higher quality water being available.

Should you have any queries regarding our report please do not hesitate to contact us.

Yours faithfully
TRIAxIAL CONSULTING



JIM DISHER
B.E. (Civil), M.E. (Civil & Structural)
MIE Aust.

Mid-Western Region Community Plan



TOWARDS 2040



COUNCIL'S VISION

A prosperous and
progressive community
we proudly call home.





Mayor's Message

The Mid-Western Region Towards 2040 Community Plan sets out the community's vision for the future – where we are, where we want to be and how we will get there.

The plan represents an opportunity to create and foster community-based goals, values and aspirations – to drive a sustainable community that reconciles the economic, social, environmental and civic leadership priorities for the region.

The Mid-Western Region is a modern and growing region. We continue to have strong growth in industry and population, driven by state significant development.

Coupled with the significant agricultural sector and increased tourism, this presents not only unique challenges but also opportunities for us as a community. Our role as individual custodians, community organisations, industry, business and government is to harness those opportunities.

The Towards 2040 Community Plan has been developed following an extensive consultation exercise in which over 1,500 residents participated in varying forms. It was their input that has forged the direction of the plan, and it will continue to be a vision that we can all contribute towards.



The Mid-Western Region

The prosperous Mid-Western Region is located just 3.5 hours from Sydney and offers a quality lifestyle in a dynamic economic environment.

Located in the Central West of NSW, the area covers approximately 9,000 square kilometres and has a population of more than 25,000.

MAJOR TOWN CENTRES	MAJOR INDUSTRIES	GROWTH
 <ul style="list-style-type: none"> ▪ Mudgee ▪ Gulgong ▪ Kandos ▪ Rylstone 	 <ul style="list-style-type: none"> ▪ Agriculture ▪ Construction ▪ Property development ▪ Viticulture ▪ Mining ▪ Tourism ▪ Retail 	 <ul style="list-style-type: none"> ▪ 12% population growth since 2010 ▪ Continued growth driven by state significant development



FAST FACTS

<p>LAND AREA</p> <p>8,752</p> <p>square kilometres</p>	<p>POPULATION</p> <p>25,563</p> <p>people live in the region</p>
<p>ROADS NETWORK</p> <p>2,460</p> <p>kilometres</p>	<p>EMPLOYMENT</p> <p>13,326</p> <p>jobs in the region</p>



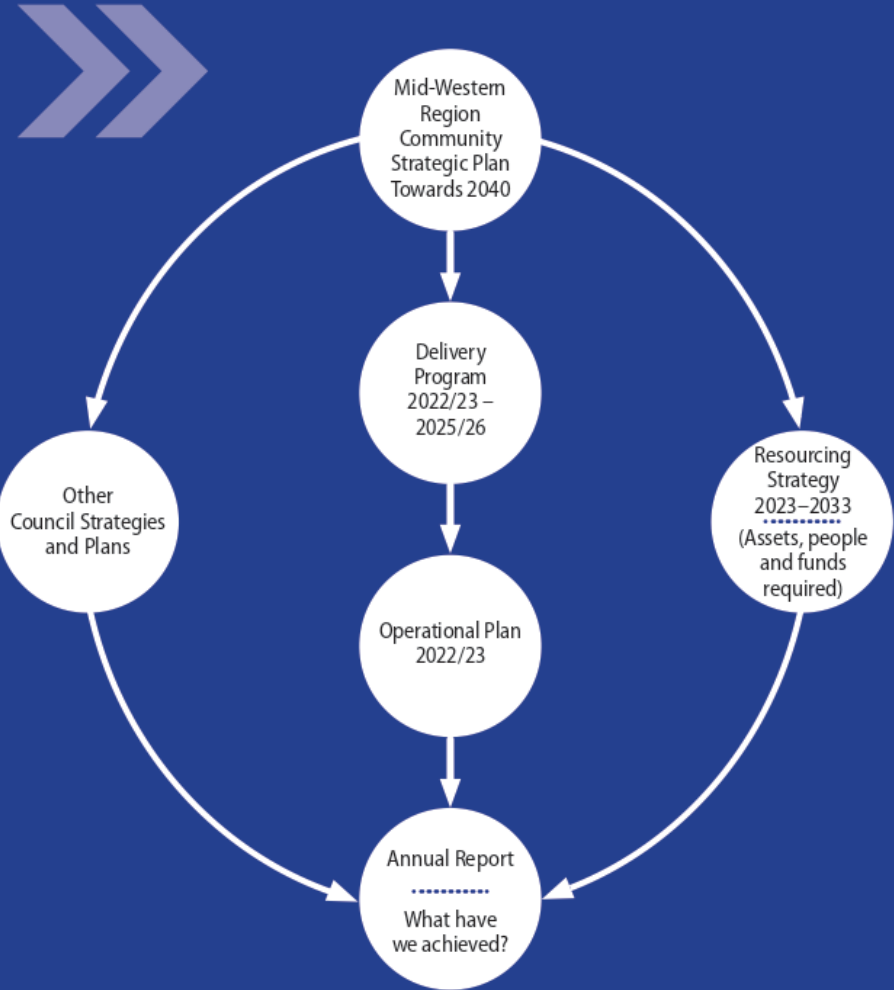
OUR COMMUNITY PLAN

Our plan sets out where, as a community, we want to be in the year 2040. It is a future vision developed collaboratively between the community and Council and represents the aspirations of the people who live and work within the Mid-Western Region and strategies for achieving these goals.

Towards 2040 addresses four key questions for the community:

- 1  Where are we now?
- 2  Where do we want to be in 2040?
- 3  How will we get there?
- 4  How will we know when we have arrived?

HOW THE COMMUNITY PLAN LINKS TO COUNCIL'S PLANS





THE RESOURCING STRATEGY CONSISTS OF THREE COMPONENTS



01

Long Term Financial Planning



02

Workforce Management Planning



03

Asset Management Planning

The Delivery Program summarises the activities that Council has prioritised over a four year term to achieve the Towards 2040 Community Plan, including Council's operations.

The Operational Plan includes a detailed budget for the activities that are to be undertaken each year to achieve the outcomes of the Delivery Program.

The Annual Report provides feedback to the community on Council's progress in achieving the Delivery Program objectives.



NSW STATE PRIORITIES

The NSW Government has identified a range of state priorities which are aimed at making NSW even better in the future. These priorities align with the Towards 2040 Community Plan.

How does the Towards 2040 Community Plan link in with other plans?

A Strong Economy
Diverse economy with well-educated and skilled population, high living standards, productive and growing regions with world-class infrastructure and transport links, innovative businesses and industries.

Better Customer Service
Improving the customer experience for all kinds of services, providing high-quality integrated services, implementing best-practice productivity and digital capability for a world-class public service.

Highest Quality Education
Lifting literacy and numeracy standards across NSW public schools, unlock children's academic potential at school, increasing the number of Aboriginal young people reaching their learning potential.

Breaking the Cycle of Disadvantage
Protecting the most vulnerable children, keeping families safely together, providing safe and stable housing, reducing domestic violence reoffending, reducing homelessness.

Connected Communities
Delivering a network of welcoming and inclusive spaces in local neighbourhoods, greener public spaces, increasing tree canopy and green cover, enhancing outdoor recreation and exercise opportunities.

Improved Health System
Improving service levels in hospitals, improving outpatient and community care, holistic approach to suicide prevention and mental health and wellbeing.

DRAFT CENTRAL WEST AND ORANA REGIONAL PLAN

The Regional Plan outlines the goals and actions for the Central West and Orana Region to achieve a sustainable future. It applies to 19 local government areas including the Mid-Western Region, covering an area of 125,666 square kilometres.

The vision for the Central West and Orana Region closely reflects the vision and priorities identified in the Towards 2040 Community Plan. There are direct linkages between the goals, strategies and actions in both plans for the next 20 years. There are 22 key objectives outlined in the Plan under the following parts:

- A sustainable and resilient place
- People, housing and communities
- Prosperity, productivity and innovation
- Location specific responses



Community consultation

The community played an integral role in the development and review of the Towards 2040 Community Plan with over 1,500 people taking part in a variety of consultation and community engagement activities.

The Community Engagement Strategy adopted by Council to inform this review of the Community Plan was based on social justice principles of equity, access, participation and rights, and included a range of opportunities for people to be involved in the process. The review process included activities to inform,

engage and consult the community and key stakeholders between June 2021 and March 2022, including:

- Telephone surveys
- Online surveys
- Postcard exercise
- Direct mail
- Permanent displays

Community engagement had a dual

purpose to both create awareness and seek feedback on the goals and strategies identified in the Community Plan. This was achieved by asking people to consider what they like about the region now, what they would like the region to look like in the future and what they see as key priorities for Council to investigate.



What our community wants

CONSULTATION OUTCOMES

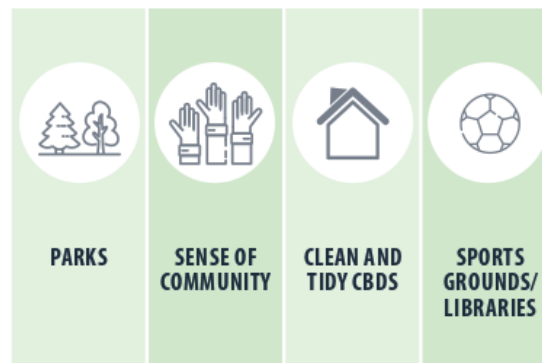
The results of extensive community consultation showed that we continue to value: our friendly community, the range of parks and facilities for all ages, activities for youth, ongoing improvements to our transport network and economic diversity.

During consultation, the community was asked what they liked about the region. Further, they were asked what their priorities for the region were for the next three, five and ten years.

Feedback was sought from the community on the range of services Council provides and satisfaction with existing service levels.



MOST LIKED ABOUT THE REGION



IMPORTANT PRIORITIES FOR THE REGION





THEME 1

Looking After Our Community

COMMUNITY INPUT

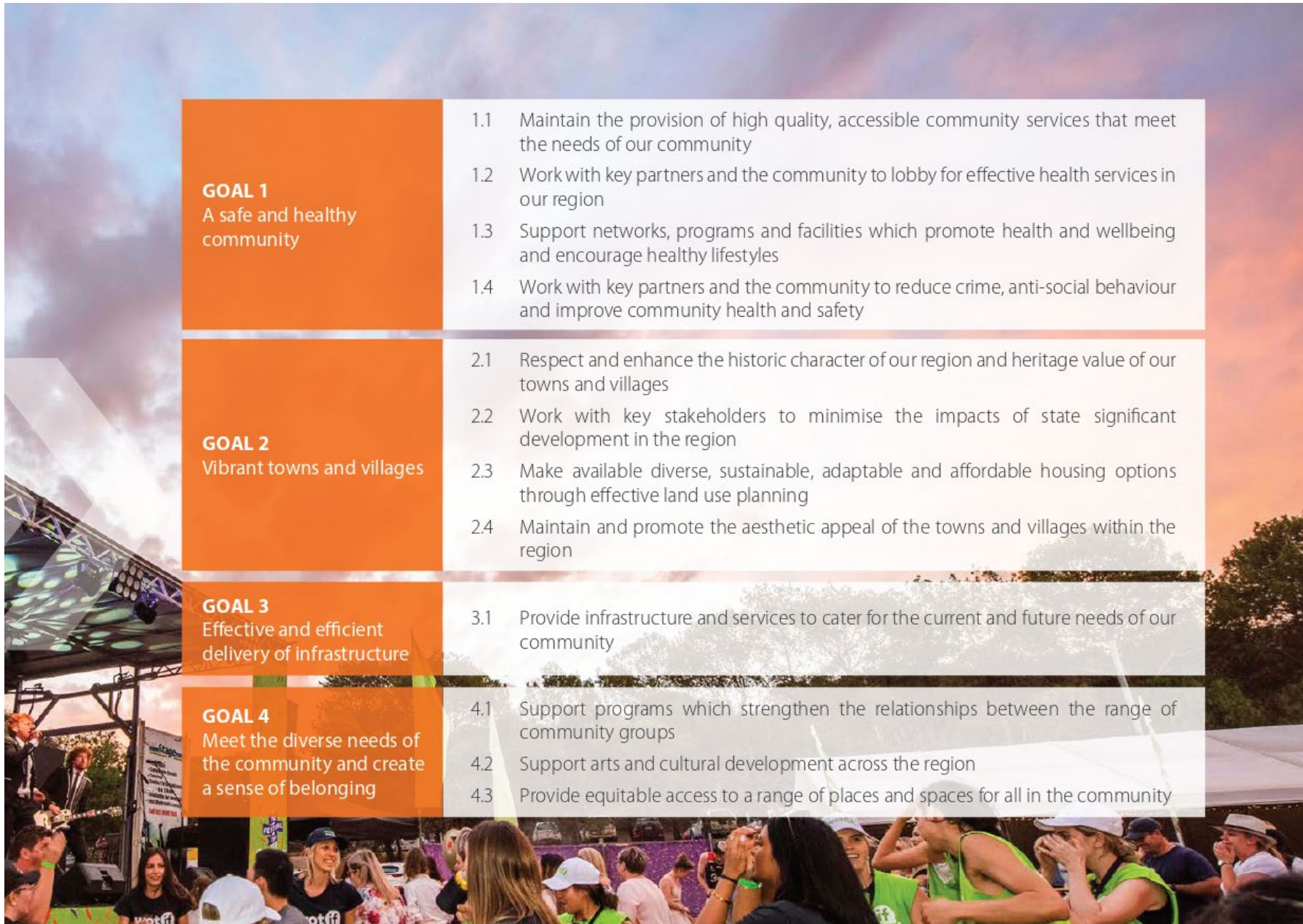
- Be a local volunteer
- Make use of local facilities and services
- Be a responsible pet owner
- Join one of the many community groups or organisations involved in various community projects across the region
- Dispose of hazardous waste in approved locations
- Report safety and maintenance issues at public parks, facilities, playgrounds and buildings to Council
- Be proud of your town and your street
- Respect the heritage and culture of others
- Embrace a healthy lifestyle and get involved in local sporting and physical activities

MEASURES

- An increase in the proportion of new housing stock that is affordable housing
- Development is of a high quality in keeping with the character of our towns and villages
- An increase in the proportion of people who feel safe in our community
- An increase in the number of community members participating in community events, volunteering, activities and organisations
- An increase in community participation in sporting and recreational activities
- An increase in the proportion of people who are satisfied with infrastructure conditions and service levels
- An increase in the proportion of people who feel they have equitable access to community services and facilities to meet their needs
- Improved playground and recreational facilities
- An increase in the proportion of community members who are satisfied with the range and quality of community and cultural facilities and opportunities

OUTCOME

Vibrant towns and villages with a rich history, a safe and healthy community, and a strong sense of community pride – a great place for families.



GOAL 1
A safe and healthy
community

- 1.1 Maintain the provision of high quality, accessible community services that meet the needs of our community
- 1.2 Work with key partners and the community to lobby for effective health services in our region
- 1.3 Support networks, programs and facilities which promote health and wellbeing and encourage healthy lifestyles
- 1.4 Work with key partners and the community to reduce crime, anti-social behaviour and improve community health and safety

GOAL 2
Vibrant towns and villages

- 2.1 Respect and enhance the historic character of our region and heritage value of our towns and villages
- 2.2 Work with key stakeholders to minimise the impacts of state significant development in the region
- 2.3 Make available diverse, sustainable, adaptable and affordable housing options through effective land use planning
- 2.4 Maintain and promote the aesthetic appeal of the towns and villages within the region

GOAL 3
Effective and efficient
delivery of infrastructure

- 3.1 Provide infrastructure and services to cater for the current and future needs of our community

GOAL 4
Meet the diverse needs of
the community and create
a sense of belonging

- 4.1 Support programs which strengthen the relationships between the range of community groups
- 4.2 Support arts and cultural development across the region
- 4.3 Provide equitable access to a range of places and spaces for all in the community



THEME 2

Protecting our Natural Environment

COMMUNITY INPUT

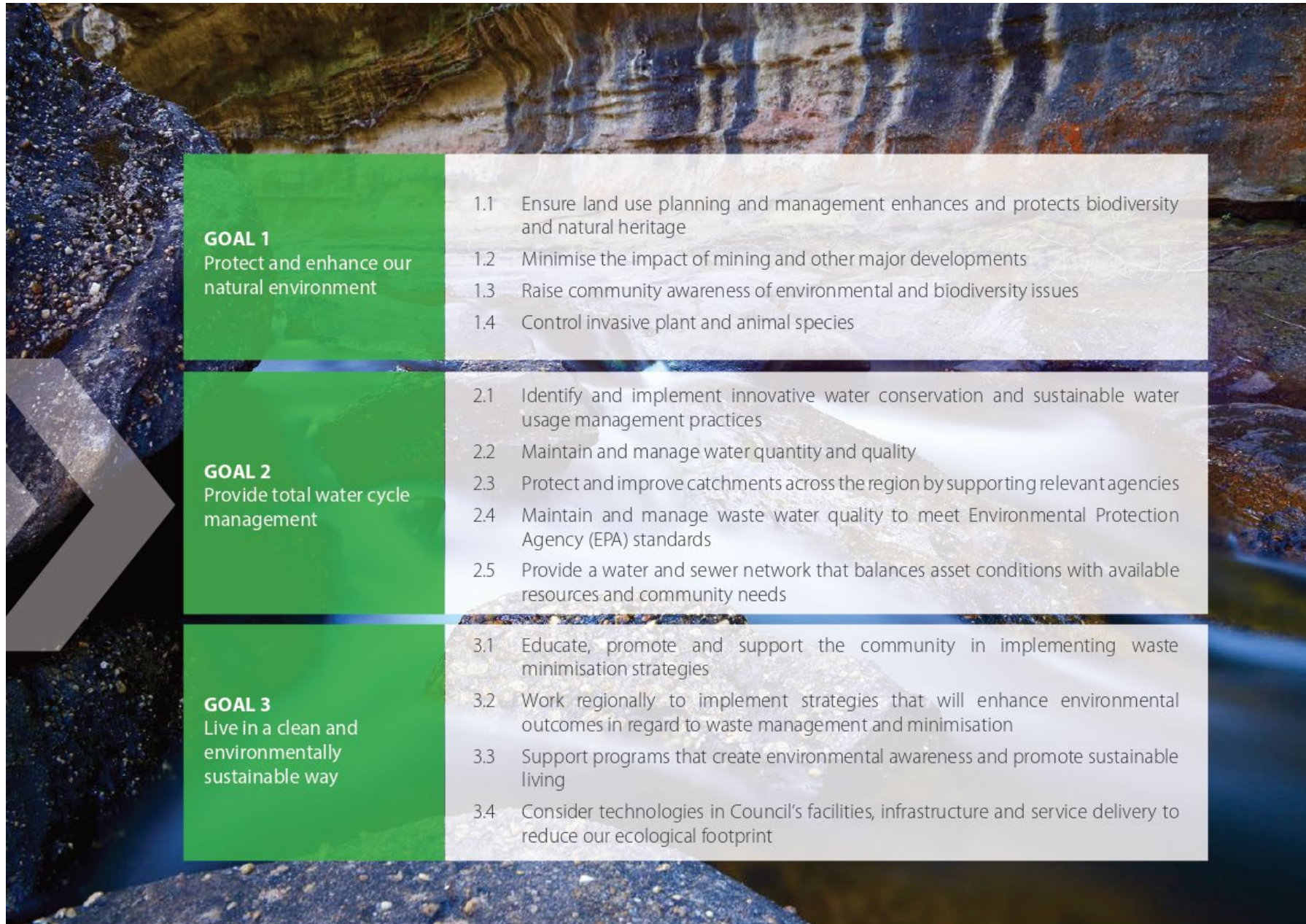
- Continue to reduce, reuse, recycle – minimising waste to landfill
- Reduce consumption of energy and fossil fuels, and consider alternative resources
- Take ownership of our natural environment and protect it through responsible practices
- Control invasive plant and animal species on private property
- Support and participate in Council's environmental programs and initiatives
- Minimise water consumption
- Keep our waterways clean – the drain is just for rain
- Educate each other on environmentally sustainable living practices and reduce our environmental footprint
- Dispose of rubbish properly, do not litter in streets and other public places

MEASURES

- Minimise damage to our natural environment from economic activities
- A reduction in tonnes of waste to landfill per capita
- An increase in the use of alternative water sources
- Improved standards of water quality in our waterways
- Meet Best Practice Management Guidelines for Water Supply
- An increase in the use of alternative energy sources

OUTCOME

Conserving and promoting the natural beauty of our region.



GOAL 1
Protect and enhance our natural environment

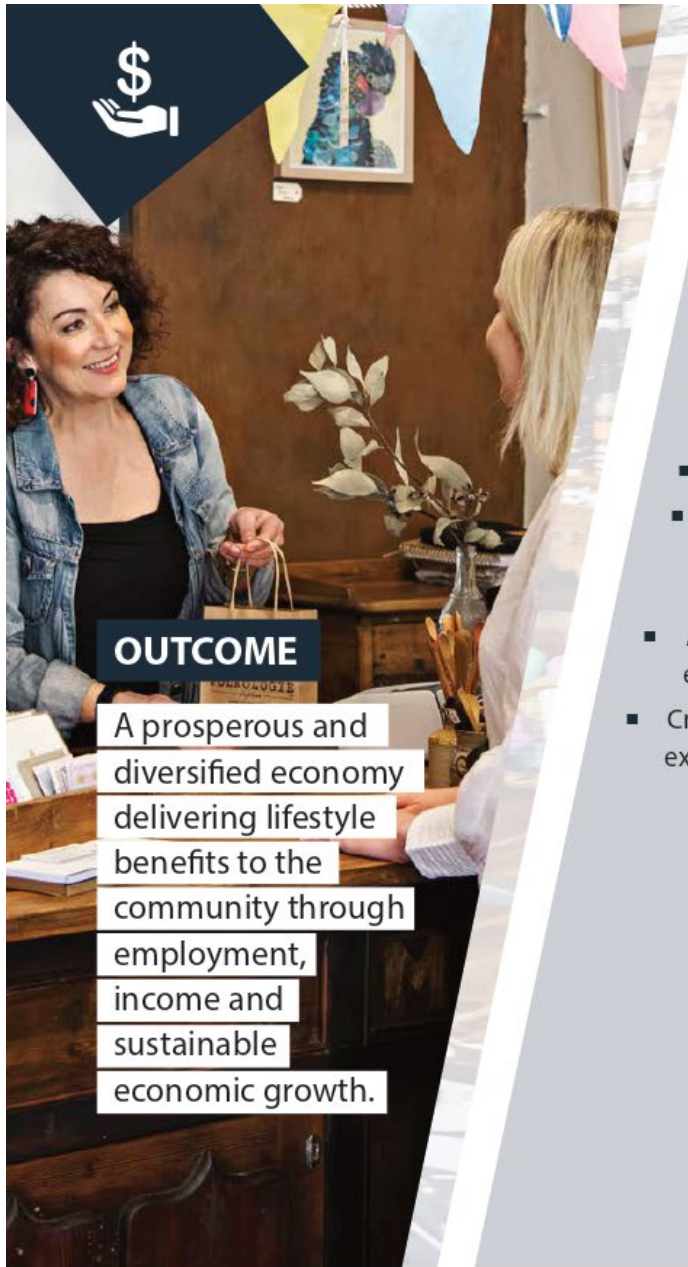
- 1.1 Ensure land use planning and management enhances and protects biodiversity and natural heritage
- 1.2 Minimise the impact of mining and other major developments
- 1.3 Raise community awareness of environmental and biodiversity issues
- 1.4 Control invasive plant and animal species

GOAL 2
Provide total water cycle management

- 2.1 Identify and implement innovative water conservation and sustainable water usage management practices
- 2.2 Maintain and manage water quantity and quality
- 2.3 Protect and improve catchments across the region by supporting relevant agencies
- 2.4 Maintain and manage waste water quality to meet Environmental Protection Agency (EPA) standards
- 2.5 Provide a water and sewer network that balances asset conditions with available resources and community needs

GOAL 3
Live in a clean and environmentally sustainable way

- 3.1 Educate, promote and support the community in implementing waste minimisation strategies
- 3.2 Work regionally to implement strategies that will enhance environmental outcomes in regard to waste management and minimisation
- 3.3 Support programs that create environmental awareness and promote sustainable living
- 3.4 Consider technologies in Council's facilities, infrastructure and service delivery to reduce our ecological footprint



OUTCOME

A prosperous and diversified economy delivering lifestyle benefits to the community through employment, income and sustainable economic growth.

THEME 3

Building a Strong Local Economy

COMMUNITY INPUT

- Shop locally to support our local economy
- Look for local job opportunities
- Promote the region to friends and visitors as a great place to live, work, invest and visit
- Attend and enjoy local festivals and events
- Create opportunities for trainees, work experience and apprenticeships

MEASURES

- An increase in the size of the local labour force
- Decreased unemployment
- Increased economic activity in the region
- An increase in available housing stock
- An increase in the availability of educational offerings in the region
- An increase in the number of visitors
- An increase in the number of residents
- An increase in the proportion of community members satisfied with the range of products and services available locally



GOAL 1
A prosperous and diversified economy

- 1.1 Support the attraction and retention of a diverse range of businesses and industries
- 1.2 Encourage the development of a skilled and flexible workforce to satisfy local industry and business requirements

GOAL 2
An attractive business and economic environment

- 2.1 Promote the region as a great place to live, work, invest and visit
- 2.2 Provide leadership on economic development initiatives and identify resources and infrastructure required to drive investment and economic growth in the region
- 2.3 Support the expansion of essential infrastructure and services to match business and industry developments in the region

GOAL 3
A range of rewarding and fulfilling career opportunities to attract and retain residents

- 3.1 Support projects that create new jobs in the region and help to build a diverse and multi-skilled workforce
- 3.2 Build strong linkages with institutions providing education, training and employment pathways in the region



THEME 4

Connecting Our Region

COMMUNITY INPUT

- Report safety and maintenance issues for roads and footpaths to Council
- Lobby the State Government for improved transport links
- Use alternative transport as available
- Always drive safely and to the conditions of the roads

MEASURES

- An increase in the proportion of community members who are satisfied with road conditions
- An increase in the availability of viable and affordable public transport options
- Increased access to and usage of shared pathways
- An increase in the average condition of road surfaces
- An increase in the take up of technologies to support lifestyle and economic activities
- Improve mobile and broadband coverage across the region

OUTCOME

Linking our towns and villages and connecting our region to the rest of NSW.



GOAL 1
High quality road network
that is safe and efficient

- 1.1 Provide traffic management solutions that promote safer local roads and minimise traffic congestion
- 1.2 Provide a roads network that balances asset conditions with available resources and community needs

GOAL 2
Efficient connection of the
region to major towns and
cities

- 2.1 Develop a regional transport network in partnership with government agencies that grows with the needs of residents and businesses
- 2.2 Create a communication network that services the needs of residents and businesses

GOAL 3
An active travel network
within the region

- 3.1 Develop and enhance walking and cycling networks across the region
- 3.2 Support viable public transport options across the region



OUTCOME

A strong Council that is representative of our community and effective in meeting the needs of the community.

THEME 5 Good Government

COMMUNITY INPUT

- Talk to your Councillors about ideas and suggestions for improving Mid-Western Regional Council
- Attend Council meetings
- Read Community News and keep up to date with Council activities
- Provide feedback on public exhibitions of policies, strategies, plans and community projects
- Participate in community surveys
- Make use of Council's website

MEASURES

- Compliance with the Office of Local Government's 'Promoting Better Practice' program
- An increase in the proportion of community members who are satisfied with the provision of information by Council
- An increase in the percentage of service requests completed within established timeframes
- Meet Office of Local Government's Performance Benchmarks
- An increase in the percentage of correspondence and other contact acknowledged and completed within 14 days
- An increase in the proportion of community members who are satisfied with the customer service provided by Council



GOAL 1
Strong civic leadership

- 1.1 Provide clear strategic direction through the Community Plan, Delivery Program and Operational Plan
- 1.2 Provide accountable and transparent decision making for the community
- 1.3 Provide strong representation for the community at regional, state and federal levels

GOAL 2
Good communications and engagement

- 2.1 Improve communications between Council and the community and create awareness of Council's roles and responsibilities
- 2.2 Encourage community access and participation in Council decision making

GOAL 3
An effective and efficient organisation

- 3.1 Pursue excellence in service delivery
- 3.2 Provide a positive and supporting working environment for employees
- 3.3 Prudently manage risks associated with all Council activities
- 3.4 Pursue efficiencies and ongoing business improvement



Further reading and references

Integrated Planning and Reporting Towards 2040

Community Engagement Strategy

Workforce Management Strategy

Asset Management Strategy and Policy

Asset Management Plans

- Roads, Bridges and Footpaths
- Buildings and Facilities
- Water Supply Infrastructure
- Sewerage Treatment Infrastructure
- Stormwater Drainage
- Waste Management Facilities

Long Term Financial Plan

Delivery Program and Operational Plan

Annual Report

External links

NSW State Priorities

Central West and Orana Regional Plan

Office of Local Government
(Integrated Planning and Reporting)

Contact us

Phone: 1300 765 002

Email: council@midwestern.nsw.gov.au

Visit: 86 Market Street, Mudgee
109 Herbert Street, Gulgong
99 Louee Street, Rylstone

Visit midwestern.nsw.gov.au to find Council's Integrated Planning and Reporting documents, as well as policies, strategies and financial reports.



midwestern.nsw.gov.au

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PO Box 156, Mudgee NSW 2850

86 Market Street MUDGEE
109 Herbert Street GULGONG
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*Good
Government*

QUARTERLY BUDGET REVIEW STATEMENT

JUNE 2022

ATTACHMENTS

17 AUGUST 2022

MID-WESTERN REGIONAL COUNCIL
CORPORATE: FINANCE

■ ■ ■ ■ ■ TOWARDS 2030



CORPORATE: FINANCE | QUARTERLY BUDGET REVIEW JUNE 2021

THIS DOCUMENT HAS BEEN PREPARED BY NEIL BUNGATE, ACTING CHIEF FINANCIAL OFFICER FOR MID-WESTERN REGIONAL COUNCIL.

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DATE OF PUBLICATION: 17 AUGUST 2022

Table of Contents

1.	Materials Budget Variations	4
2.	Unrestricted Cash by Fund.....	15
2.1	General Fund.....	15
2.2	Water Fund	17
2.3	Sewer Fund	18
2.4	Waste Fund	19
2.5	Other Funds.....	20
3.	Developer Contributions.....	21
4.	Loan Borrowings	23
5.	Reserves.....	24
5.1	Internally Restricted Reserves	24
5.2	Externally Restricted Reserves.....	26
6.	Unspent Grants and Contributions	28
7.	External Restrictions – included in liabilities	29
8.	Capital Works Program	30
9.	Statistics.....	41
9.1	Connecting Our Region	41
9.2	Good Government	42
9.3	Looking after Our Community.....	43
9.4	Protecting our Natural Environment.....	44
9.5	Building a Strong Local Economy	45
10.	Contract, Legal and Consultant Expenses	46
11.	Councillor Fees and Expenses Paid or Reimbursed as at 30 June 2022	48

1. Materials Budget Variations

LOOKING AFTER OUR COMMUNITY	
FIRE PROTECTION	\$733 Favourable
Rural Fire Service - General Operations \$620K Favourable	Originally budgeted to recognise RFS assets, however Council has decided that these assets are not controlled by Council and therefore not Council owned thus have not been taken up (\$300k non-cash) and \$312k grant to assist with RFS levy.
Rural Fire Service - Stations & Sheds (Operating) \$28K Favourable	Insurance costs less than expected
Rural Fire Service - Fire Fighting Fund \$27K Favourable	Savings in electricity and telephone expenses
Bushfire Recovery (Drfa) \$32K Favourable	Full funding from DRFA funding not spent
Bushfire Recovery - Ilford Hall (Drfa) \$26K Favourable	Revote to 2022/23
Bushfire Recovery - Olinda Hall (Drfa) \$10K Favourable	Revote to 2022/23
Rural Fire Service - Cooks Gap Station (Capital) \$-27K Unfavourable	Awaiting revenue for works complete
Rural Fire Service - Water Tank Maintenance \$15K Favourable	Revote to 2022/23
ANIMAL CONTROL	\$34 Favourable
Animal & Pest Control \$30K Favourable	Increased in companion animal fines and companion animals registered resulting in additional income. Decrease in overtime and less vehicle movement due to Covid.
EMERGENCY SERVICES	\$1 Unfavourable
State Emergency Services \$2K Favourable	
Local Emergency Management Committee \$-3K Unfavourable	
PUB ORDER & SAFETY OTHER	\$10 Unfavourable
Parking Control \$-10K Unfavourable	Higher than expected salaries and wages costs.
PUBLIC HEALTH	\$86 Favourable
Public Health Registrations & Inspections \$87K Favourable	An increase in income due to the increase number of plumbing and drainage applications lodged and approved by Council which correlates with the high volume of building work in the region. An increase in Food Control and Other Fees is as a consequence of Councils new Health Officer and implementation of more diligent inspection programmes.
HEALTH OTHER	\$11 Favourable
Doctors \$6K Favourable	The need for this spending was not identified this year.
COMMUNITY SERVICES ADMINISTRATION	\$47 Unfavourable
Community Services Administration \$52K Favourable	Less events and activities due to Covid-19. Employee salaries budget used on Community Builders project.
Community Builders \$-38K Unfavourable	Employee salaries from community Services admin used for this project
Community Recovery Officer \$-62K Unfavourable	Revote to 2022/23. Grant funding set by State Government more than adequate for activities to be rolled out.
FAMILY DAY CARE	\$72 Favourable
Family Day Care \$72K Favourable	Less activity due to Covid-19
YOUTH SERVICES	\$0 Favourable
Youth Services Administration \$0K Unfavourable	Expenses and income in line with budget

CORPORATE FINANCE | QUARTERLY BUDGET REVIEW JUNE 2022

Youth Week \$0K Favourable	Expenses and income in line with budget
AGED & DISABLED	\$79 Favourable
Meals On Wheels \$-29K Unfavourable	Serviced operated below expected levels due to Covid-19
Community Transport \$87K Favourable	Serviced operated below expected levels due to Covid-19
Ironed Out Operations \$-4K Unfavourable	Ironing and shop sales down, expected to be related to Covid-19 during the lockdown period.
Rag Cut And Bale Operations \$1K Favourable	Delays due to sourcing baler suitable for textiles. Waiting for supplier to carry our trials to determine suitability for baler.
Aged Care Units - Louee Street Rylstone \$9K Favourable	Maintenance costs less than projected.
Aged Care Units - Mudgee Street Rylstone \$6K Favourable	Maintenance costs less than projected.
Aged Care Units - Cooyal/Anderson St Gulgong \$10K Favourable	Maintenance costs less than projected.
EDUCATION	\$3 Favourable
Country University Center \$3K Favourable	Revote to 2022/23
HOUSING	\$3 Favourable
Lg Housing - Income \$-11K Unfavourable	Less income received from Housing Plus especially for the December quarter.
Affordable Housing \$14K Favourable	Contribution from Housing Plus less than expected. Legal expense not required for the Council Land donation.
TOWN PLANNING	\$100 Favourable
Strategic Planning \$29K Favourable	Savings in salaries and wages costs
Development Control \$75K Favourable	Increase in the number of development applications as a result of the increase development in the area.
Heritage - Local Heritage Places \$1K Favourable	One grant recipient did not complete all of the works so full grant monies were not given.
PUBLIC CEMETERIES	\$70 Favourable
Cemetery Mtce - Mwrc Operations \$62K Favourable	Operational budget based on burial/reservation demand. Maintenance service levels continued to always be maintained to agreed standard.
Cemetery Rural \$9K Favourable	Operational budget based on burial/reservation demand. Maintenance service levels continued to always be maintained to agreed standard.
PUBLIC CONVENIENCES	\$20 Favourable
Public Toilets - General Operations \$22K Favourable	Planned maintenance to Rylstone Public Convenience assets was not achieved due to Building Services not being able to engage contractors in a suitable time frame.
PUBLIC LIBRARIES	\$110 Favourable
Library - General Operations \$99K Favourable	Savings in employee costs \$76
Library - Special Projects \$27K Favourable	Separated into Operating and Capital
Library Books \$-12K Unfavourable	Increase in purchase of DVD and books
Library - Special Projects - Capital \$-32K Unfavourable	Separated into Operating and Capital
Library Building - Mudgee \$15K Favourable	Additional annual thorough cleans such as carpet shampooing and deep cleans were not able to be completed due to staff shortages from COVID by the contract cleaner.
Mudgee Library Air Conditioning \$11K Favourable	Revote to 2022/23
COMMUNITY CENTRES	\$3 Unfavourable
Community Centres - The Stables \$-5K Unfavourable	Change in purpose of building.
PUBLIC HALLS	\$47 Favourable
Public Halls - Goolma Hall \$5K Favourable	No operational costs during the year. The asset has been added to service schedule

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Public Halls - Rylstone \$10K Favourable	Maintenance costs less than projected.
Mudgee Town Hall Cinema Operations \$-16K Unfavourable	Cinema was at reduced capacity or completely closed at times throughout the year due to Covid-19
Mudgee Town Hall Theatre - Air-Conditioning Upgrade \$29K Favourable	Projected project costs for the air con refurbishment were far less than expected.
Kandos Hall & Library - Toilets \$19K Favourable	Revote to 2022/23
SWIMMING POOLS	\$137 Favourable
Pool Operations - Mudgee \$3K Favourable	Season visitation were lower partially due to Covid-19 which is reflective of associated costs
Pool Operations - Gulgong \$13K Favourable	Season visitation were lower partially due to Covid-19 which is reflective of associated costs
Pool Operations - Kandos \$13K Favourable	Season visitation were lower partially due to Covid-19 which is reflective of associated costs
Gulgong Pool Heaters \$105K Favourable	Revote to 2022/23
SPORTING GROUNDS	\$420 Favourable
Active Parks - Mwrc Operations \$205K Favourable	Services levels maintained however there were a number of staff vacancies and lower water usage due to wet weather.
Active Parks - Building Maintenance \$18K Favourable	Savings in electricity costs and contractor expenses
Active Parks - Administration \$15K Favourable	Depreciation expense and book value of disposed assets less than expected
Active Parks - Glen Willow Maintenance \$-15K Unfavourable	Water Usage higher due to the establishment of the new fields.
Active Parks - Relamp Sports Lighting \$16K Favourable	Revote to 2022/23
Planning Proposal Pitts Lane \$7K Favourable	Revote to 2022/23
Mudgee Showgrounds - Redevelopment \$107K Favourable	Revote to 2022/23
Mudgee Showground Operations \$48K Favourable	Increase in ground hire income received. Contractor expenses less than budgeted
PARKS & GARDENS	\$468 Favourable
Passive Parks - Mwrc Operations \$164K Favourable	Services levels maintained however there were a number of staff vacancies and lower water usage due to wet weather.
Passive Parks - Administration \$22K Favourable	Disposal of assets budgeted for but did not occur
Red Hill Reserve - Maintenance \$14K Favourable	Services levels maintained however there were lower water usage due to wet weather.
Drainage Reserve Maintenance \$-10K Unfavourable	Additional funding required to maintain service level given extended and favourable growing conditions
Sculptures Across The Region \$33K Favourable	Revote to 2022/23
Mudgee Dog Off Leash Area Improvements \$1K Favourable	Surplus funds following desired infrastructure purchases
Red Hill Capital Works \$26K Favourable	Revote to 2022/23
Playground Equipment Upgrade - Lawson Park Mudgee \$30K Favourable	Revote to 2022/23
Playground Equipment Upgrade - Rylstone Showground \$146K Favourable	Revote to 2022/23
Flirtation Hill Mudgee - Master Plan Works \$25K Favourable	Revote to 2022/23
Blackman Park - Blackman Vault \$2K Favourable	Surplus funds following desired infrastructure purchases
ART GALLERIES	\$173 Favourable
Art Gallery Operations \$77K Favourable	First year of operation resulting in overestimated operations budget. The facility was also facility closed for portion of year and public engagement opportunities limited
Art Prize \$4K Favourable	Only ran a community exhibition and competition this year. Intending on more professional competition with higher investment now MAP fully operational
Art Gallery Exhibition Program \$13K Favourable	Late changes to exhibition program not within our control

CORPORATE: FINANCE | QUARTERLY BUDGET REVIEW JUNE 2022

Art Gallery Maintenance \$26K Favourable	First year of operation resulting in overestimated operations budget. Revote to 2022/23
Art Gallery Facility \$53K Favourable	
BUILDING CONTROL	\$99 Favourable
Building Regulatory Services \$99K Favourable	Increase in income due to the increase in number of building approvals lodged and approved by Council's which correlates with the high volume of buildings work in the LGA.
URBAN RDS -LOCAL	\$68 Unfavourable
Street Scap Maintenance \$-11K Unfavourable	Increase in maintenance done during the year
Town Approaches Maintenance \$-12K Unfavourable	Increase in maintenance during the year due to extended growing season due to continued rainfall.
Streetscape - Rfs Hazard Reduction \$-49K Unfavourable	Income for the RFS Hazard reduction works complete not received until July 2023
Street Scap Improvements \$3K Favourable	Surplus realised
PROTECTING OUR NATURAL ENVIRONMENT	
NOXIOUS PLANTS	\$68 Favourable
Weed Control - Council Roads \$62K Favourable	Some weed control work not able to be completed due to weather conditions
DOMESTIC WASTE MANAGEMENT	\$220 Favourable
Domestic Waste Management \$198K Favourable	Change in plant hire charges and truck life.
Organics Collection System Program \$22K Favourable	FOGO management services less than expected
OTHER WASTE MANAGEMENT	\$376 Favourable
Waste - General Operations \$-23K Unfavourable	Unfavourable due to increase in pensioner rate rebates, increase in salary and wage costs and disposal of property sold not budgeted for. These are slightly offset against an increase in tipping fees
Waste - Commercial Waste \$26K Favourable	Efficiencies on business collections and changes to plant hire charge rates.
Wts Operations \$226K Favourable	Change in internal plant hire charge rates and reduced staff costs due to fewer clean-ups at rural locations and Mudgee due to weather which will need to be done in the new year.
Mudgee Recycling Operations \$36K Favourable	Increase in income from scrap metal recycling, offset slightly with a decrease in general recycling income.
New Tip Cell Construction \$21K Favourable	Revote to 2022/23. Final plans yet to be provided by supplier
Remote Security Cameras At Wts \$39K Favourable	Revote to 2022/23 due to delays of delivery of electronic locking.
Recycling Plant Upgrades \$29K Favourable	Savings in project due to fire systems already in place being able to service this new shed.
Leachate Pond Enlargement \$11K Favourable	Savings realised
Kandos Wts Office Replacement \$12K Favourable	Revote to 2022/23
STREET CLEANING	\$18 Favourable
Street Cleaning \$18K Favourable	Savings in internal plant charges
STORM WATER DRAINAGE	\$29 Unfavourable
Drainage Administration \$-129K Unfavourable	Disposal of assets not budget for
Drainage Maintenance \$-48K Unfavourable	Very wet year with requiring additional maintenance
Drainage Maintenance - Culvert Replacement \$20K Favourable	Other drainage maintenance prioritised
Culvert Installations \$34K Favourable	Other drainage maintenance prioritised

CORPORATE: FINANCE | QUARTERLY BUDGET REVIEW JUNE 2021

Mudgee Flood Study & Floodplain Management Plan \$-15K Unfavourable	Grant income likely to be received in Stage 2 of the Flood Study
Kandos Stormwater Upgrade \$-25K Unfavourable	Road construction cost higher than expected
Culverts, Shoulder & K&G - Bellvue Rd Mudgee \$75K Favourable	Savings realised - project complete efficiently under budget.
Causeway Improvement - Tallaway St Gulgong \$23K Favourable	Revote to 2022/23
Causeway Improvement - Blacksprings Rd \$33K Favourable	Savings realised - project complete efficiently under budget.
ENVIRONMENTAL PROTECTION	\$41 Favourable
Environment - Administration \$26K Favourable	Salaries and wages and relevant on costs underspent due to delay in being able to recruit new EAO position
Environment - Projects \$13K Favourable	Revote to 2022/23
WATER SUPPLIES	\$643 Favourable
Water Management & Administration \$-190K Unfavourable	Income from water usage fees is lower than expected
Water Management Studies \$77K Favourable	Strategic project progression has been delayed during 2022 due to lack of staff resources.
Water Supply Education \$20K Favourable	No significant education programs undertaken: All water restrictions removed following break of drought conditions, lack of staff resources available.
Water Mains Ops & Maint \$183K Favourable	Less resources available to undertake maintenance
Water Meter Ops & Maint \$8K Favourable	Spending in line with budget
Water New Connections \$17K Favourable	Expenditure requirements dependant on number of customer requests received.
Raw Water Systems Ops & Maint \$11K Favourable	Savings in electricity costs, chemicals and materials and consumables
Water Pump Station Ops & Maint \$17K Favourable	Savings in electricity costs
Water Purchases \$26K Favourable	Due to a wet year there is less water required than estimated.
Water River Intakes Ops & Maint \$15K Favourable	Spending in line with budget
Water T'Ment Plant Ops & Maint Mudgee \$34K Favourable	Savings in electricity and chemicals
Water T'Ment Plant Ops & Maint Gulgong \$26K Favourable	Programming of maintenance delayed due to loss of staff resources throughout the year.
Water Wellfields Ops & Maint \$17K Favourable	Less spending due to being a wet year.
Water Augmentation - Mudgee Headworks \$41K Favourable	Revote to 2022/23. River PS upgrade Design +Construct tender assessment progressing. Estimated completion of construction works in April 2023.
Water Mains - Byron Place \$28K Favourable	Initial budget estimate based on needing to source contractors from out of area to complete. Local contractors subsequently engaged to complete.
Water Mains - Mayne Street \$207K Favourable	Revote to 2022/23. Weather, labour resources and covid impacts prevented completion of project in 2022 FY.
Water Mains - Nicholson St Court St East Road Crossing \$17K Favourable	Revote to 2022/23. Weather, labour resources and covid impacts prevented completion of project in 2022 FY.
Water Mains - Horatio St Court To Cox \$27K Favourable	Revote to 2022/23. Weather, labour resources and covid impacts prevented completion of project in 2022 FY.
Water Mains - Hone Creek Drive Valve \$-15K Unfavourable	Started out as water mains maintenance, however upon inspection required additional works.
Water Mains - Dewhurst Drive Valve \$-18K Unfavourable	Started out as water mains maintenance, however upon inspection required additional works.
Raw Water Systems Renewals \$57K Favourable	Revote to 2022/23
Water Reservoir Renewals \$13K Favourable	Capital renewal works identified for the year completed.
Water Treatment Plant - Renewals \$39K Favourable	Savings realised
Rural Customer Fill Stations \$-18K Unfavourable	Impacted by staff resourcing and contractor availability.
	Overestimated funding to be received
SEWERAGE SERVICES	\$533 Favourable
Sewer Management & Administration \$202K Favourable	Non-cash sewer assets received from Highland Estate.
	Works for replacement of assets not undertaken.

CORPORATE FINANCE | QUARTERLY BUDGET REVIEW JUNE 2022

Sewer Management Studies \$-10K Unfavourable

Pressure Sewer Ops & Maint Charbon \$16K Favourable
 Sewer Mains Ops & Maint \$54K Favourable
 Sewer T'Ment Wks Ops & Maint Mudgee \$30K Favourable
 Sewer T'Ment Wks Ops & Maint Gulgong \$20K Favourable
 Sewer T'Ment Wks Ops & Maint Rylstone \$45K Favourable
 Sewer Condition Assessment \$28K Favourable

Sewer Vapour Testing And Rectification \$47K Favourable

Sewer Augmentation - Rylstone & Kandos \$23K Favourable

Sewer Pump Station - Capital Renewals \$75K Favourable

Mudgee Stp Emergency Works \$16K Favourable

Income from sewer connection fees is significantly higher than budgeted.

Strategic project progression has been delayed during 2022 due to lack of staff resources.

New system, low maintenance requirements. Potential incorrect labour allocations.

There were several staff vacancies during the year
 There were several staff vacancies during the year
 There were several staff vacancies during the year
 There were several staff vacancies during the year
 Wet weather delays

Procurement delayed during FY22 due to lack of staff resources

Revote to 2022/23. Concept designs have been delayed due to significant re-design associated with decreasing population. Concept designs expected to be delivered in August 2023.

No major renewals identified. Lack of staff resources to identify works required

Works started in prior year and finished in current year with savings realised.

BUILDING A STRONG LOCAL ECONOMY

CARAVAN PARKS

\$949 Favourable

Caravan Park - Riverside \$-1K Unfavourable
 Caravan Park - Cudgong Waters \$6K Favourable
 Caravan Park - Rylstone \$3K Favourable

Caravan Park - Mudgee Valley Park \$59K Favourable
 Cudgong Waters Caravan Park - Kiosk & Office \$17K Favourable
 Rylstone Caravan Park - Capital \$65K Favourable
 Riverside Caravan Park Fire Services \$1K Favourable
 Mudgee Valley Park Upgrade \$11K Favourable
 Cudgong Waters Park House \$3K Favourable
 Mudgee Valley Park Expansion \$770K Favourable
 Caravan Park - Cudgong Waters Capital \$8K Favourable

Removal of dead tree due to being dangerous.
 No maintenance required this financial year.
 Operational costs less than projected
 Increase in occupancy rates resulting in increased revenue.
 Reduction in contractor expenditure.
 Revote to 2022/23
 Revote to 2022/23
 Revote to 2022/23
 Revote to 2022/23
 Revote to 2022/23
 Revote to 2022/23
 Operational costs less than projected

TOURISM & AREA PROMOTIONS

\$431 Favourable

Tourism Operations \$-12K Unfavourable

Event Management Assistance \$22K Favourable

Event Operations \$22K Favourable

Major Events Glen Willow \$318K Favourable
 Flavours Of Mudgee \$-19K Unfavourable
 Young Entrepreneurs Summit \$5K Favourable
 Digital Signage \$80K Favourable
 Regional Signage Audit & Strategy \$0K Favourable

Fermenta Festival \$15K Favourable

Unbudgeted costs relating to telephone and communications and legal expenses relating MRTI contract

Some events between June and November were cancelled due to Covid-19

Reduced number of grants provided as events were cancelled between July and November 2022 due to Covid-19
 Events were cancelled between July and November 2022 due to Covid-19
 Event cancelled due to Covid.
 Event cancelled due to Covid
 Revote to 2022/23
 Event redesigned post Covid-19 to be smaller
 Income received from prior year event after final report submitted

INDUSTRIAL DEVELOPMENT PROMOTION

\$31 Favourable

Economic Development \$16K Favourable

Cost savings in software and licensing.

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Health Precinct Masterplan \$15K Favourable	The tender process was managed by the Department of Planning and the Western Local Health District who was responsible for paying the consultant and the amount tendered for was less than Council expected
SALEYARDS & MARKETS	\$50 Unfavourable
Saleyards Administration \$-53K Unfavourable	Decrease in income due to cancelled sales and reduced frequency of sales due to Covid and demand for sales events.
Saleyards Canteen \$1K Favourable	Remainder of income recognised for the Stronger Country Communities
REAL ESTATE DEVELOPMENT	\$3239 Favourable
Property - Income \$-5K Unfavourable	Unexpected outlay for legal review of lease assignment
Tooheys Park - Building \$20K Favourable	Revote to 2022/23
Saleyards Lane Development Sales \$18K Favourable	Sales of property at Saleyard Lane higher than expected
Property - Ex Saleyards Stage li \$2,396K Favourable	Revote to 2022/23
Property - Burrundulla Land Development \$13K Favourable	Operational costs less than projected
Property - Development Mortimer St \$10K Favourable	Unable to do regular mowing and slashing due to wet weather and limited access to site.
Property - Pitts Lane \$9K Favourable	No operational costs as the building has been vacant.
Property - Mellon St \$1K Favourable	Operational costs less than projected
Commercial Prop - Administration \$776K Favourable	Revaluation undertaken found an increase in Property value for the commercial property
Commercial Prop - Pool House Kandos \$-4K Unfavourable	Smoke alarm and toilet cistern installed. The property was also vacant for a portion of the year.
Commercial Prop - Aerodrome Cottage \$-3K Unfavourable	Plumbing required and carpet cleaning done before tenant moved in. The property was also vacant for a portion of the year.
Commercial Prop - Mortimer Precinct \$0K Unfavourable	Operational costs less than projected
Commercial Prop - Gowrie Childcare Centre \$0K Favourable	Operational costs less than projected
CONNECTING OUR REGION	
URBAN RDS -LOCAL	\$586 Favourable
Street Sign Replacements \$12K Favourable	Resources prioritised on other works.
Urban Roads Maintenance - Sealed \$-25K Unfavourable	Very wet year with requiring additional maintenance
Urban Roads - Administration \$237K Favourable	Book value of disposal of assets are less than expected.
Mudgee Cbd Parking Improvement \$20K Favourable	Revote to 2022/23
Urban Reseals - Minor Works (<10K) Kandos \$-9K Unfavourable	Road works reallocated to minor works as they were under 10k and therefore under capital threshold
Urban Reseals - Minor Works (<10K) Mudgee \$-25K Unfavourable	Road works reallocated to minor works as they were under 10k and therefore under capital threshold
Urban Reseals - Minor Works (<10K) Rylstone \$-7K Unfavourable	Road works reallocated to minor works as they were under 10k and therefore under capital threshold
Urban Reseals - Minor Works (<10K) Wollar \$0K Unfavourable	Road works reallocated to minor works as they were under 10k and therefore under capital threshold
Urban Reseals - Belmore St Gulgong \$37K Favourable	Revote to 2022/23
Urban Rehab - Percy Nott \$-19K Unfavourable	Asphalt costs higher than originally anticipated due to increased costs
Urban Rehab - Dunn Street Kandos Seg 10-30 \$176K Favourable	Delays due to wet weather
Urban Rehab - Charbon \$0K Unfavourable	Savings realised - project complete efficiently under budget.
Urban Reseals - Charbon \$11K Favourable	Portion of road works allocated to minor reseals as under 10k
Urban Reseals - Snelsons Lane Seg 10 Gulgong \$7K Favourable	Savings realised - project complete efficiently under budget.
Urban Reseals - White St Gulgong Seg 10 20 50-90 \$10K Favourable	Savings realised - project complete efficiently under budget.
Urban Reseals - Angus Ave Seg 40-60 Kandos \$38K Favourable	Savings realised - project complete efficiently under budget.

CORPORATE FINANCE | QUARTERLY BUDGET REVIEW JUNE 2022

Urban Reseals - Lawson St Mudgee Seg 30-90 \$-22K Unfavourable	Additional work prior to reseal required
Urban Reseals - Nicholson St Mudgee Seg 10-30 \$-8K Unfavourable	Additional work prior to reseal required
Urban Reseals - Wentworth Ave Mudgee 10-20 \$4K Favourable	Savings realised - project complete under budget.
	Savings realised - project complete under budget. Portion of road works allocated to minor reseals as under 10k
Urban Reseals - South Mudgee \$36K Favourable	Savings realised - project complete under budget. Portion of road works allocated to minor reseals as under 10k
Urban Reseals - Rylstone \$8K Favourable	Savings realised - project complete under budget.
Horatio St/Perry St Shoulder Sealing \$7K Favourable	Savings realised - project complete under budget.
Urban Reseals - Hennessy Place \$6K Favourable	No urban resheeting as there has been higher priorities in rural areas.
Resheeting - Urban Roads \$16K Favourable	Revote to 2022/23
Road Safety Improvements - Mudgee Schools \$59K Favourable	Only one matter during the year.
Urban Roads Land Matters Capital \$22K Favourable	

URBAN RDS - REGIONAL	\$10 Favourable
Guttering Bylong Valley Way Kandos \$10K Favourable	Savings realised

SEALED RURAL RDS - LOCAL	\$880 Favourable
Rural Sealed Roads Administration \$588K Favourable	Book value of disposal of assets are less than expected.
Rural Sealed Roads Maintenance \$-143K Unfavourable	Very wet year with requiring additional maintenance
Local Sealed Roads - Natural Disaster \$-18K Unfavourable	Unforeseeable works due to natural disaster
Sealed Rural Roads - Emergency Snow Storm Clean Up \$-14K Unfavourable	Unforeseeable works due to snow-storm
Rural Sealed Roads Shoulder Maintenance \$23K Favourable	Resources prioritised for other maintenance projects.
Linemarking Sealed Local Roads \$25K Favourable	Resources allocated to higher priority work
Rural Sealed Roads Reseals Budget Only \$12K Favourable	Budget remaining for reseals
Rural Rehab - Cudgegong Rd \$13K Favourable	Additional Funding from RTR

Rural Rehab - Bameys Reef Rd \$20K Favourable	Savings realised
Heavy Patching \$18K Favourable	Resources prioritised elsewhere
Ulan Wollar Road - Stage 1 \$-1K Unfavourable	Savings realised.
Rural Rehab - Lue Road Monivae Seg 100 \$66K Favourable	Additional Funding from RTR
Rural Reseal - Crudine Rd Seg 40, 80 & 160 \$0K Favourable	Savings realised
Rural Reseal - Buckaroo \$9K Favourable	Savings realised
Rural Reseal - Windeyer Road Grattai Seg 10 \$-4K Unfavourable	Minor overspend
Rural Reseal - Hargraves \$5K Favourable	Savings realised
Rural Reseal - Lue Road Lue Seg 152-165 \$10K Favourable	Additional Funding from RTR
Rural Reseal - Pyramul Rd Pyramul Seg 140-190 \$14K Favourable	Minor overspend
Rural Reseal - Mogo Rd Wollar Seg 10 40 \$2K Favourable	Savings realised
Rural Reseal - Burrendong Dam Rd Yarrabin Seg 10 \$5K Favourable	Savings realised
Rural Reseal - Rylstone \$31K Favourable	Savings realised
Rural Reseal - Black Springs Road Seg 10 20 60 110 120 150 \$13K Favourable	Savings realised
Rural Reseal - Budgee Budgee \$55K Favourable	Revote to 2022/23. Delays due to wet weather.
Rural Reseal - Abattoirs Rd Menah Seg 10 20 \$48K Favourable	Savings realised
Rural Reseal - Lower Piamong Rd Menah Seg 10-30 \$0K Favourable	Savings realised
Wilpinjong Mine Entrances - Ulan Wollar Rd \$60K Favourable	Savings realised - project complete efficiently under budget.
Lue Rd/Pyangle Rd Intersection Widening \$26K Favourable	Savings realised - project complete efficiently under budget.
Rural Reseal - Lowes Peak Rd Seg 10-30 \$0K Unfavourable	Savings realised
Rural Sealed Road Land Matters \$15K Favourable	Only one matter during the year. \$1,600 revote to 2022/23

SEALED RURAL RDS - REGIONAL	\$1178 Favourable
Rural Sealed Regional Road Admin \$1130K Favourable	Book value of disposal of assets are less than expected.
	Very wet weather resulting in additional maintenance required, offset by adding block grant.
Rural Sealed Regional Road Maintenance \$33K Favourable	Very wet weather resulting in additional maintenance required.
	Unforeseeable works due to snow-storm
Rural Sealed Regional Road Shoulder Maintenance \$0K Favourable	
Reg Rds Sealed - Emergency Snow Storm Clean Up \$16K Favourable	

CORPORATE: FINANCE | QUARTERLY BUDGET REVIEW JUNE 2021

Munghorn Gap Shoulder Widening Blackspot \$0K Unfavourable	Revote to 2022/23
Currans Cutting - Wollar Road - Acquisition Fencing \$5K Favourable	Revote to 2022/23
UNSEALED RURAL RDS -LOCAL	\$36 Unfavourable
Rural Unsealed Roads Administration \$220K Favourable	Book value of disposal of assets are less than expected.
Rural Unsealed Roads Grading Program \$-197K Unfavourable	Very wet year with requiring additional maintenance
Rural Unsealed Roads Minor Maintenance \$-53K Unfavourable	Very wet year with requiring additional maintenance
Local Unsealed Rds Natural Disaster \$-13K Unfavourable	Unforeseeable works due to natural disaster
Sealing - Grimshaw Lane \$18K Favourable	Revote to 2022/23
Seal Extension - Lower Piambong Rd \$29K Favourable	Savings realised
Seal Extension - Aarons Pass Rd \$66K Favourable	Revote to 2022/23
Seal Extension - Queens Pinch Rd \$160K Favourable	Revote to 2022/23
Seal Extension - Coxs Creek Rd \$8K Favourable	Revote to 2022/23
Seal Extension - Botobolar Rd \$-55K Unfavourable	Revote to 2022/23
	Improvement in the quality of unsealed roads particularly bus routes was a priority for Councillors and Management, hence some additional resheeting was completed as resources were available and condition of roads warranted it
Resheeting \$-237K Unfavourable	Road Closure project - part Barigan Road by WSD. By the nature of the intermittent and lengthy workflow of road closures, process can't be finalised within 1 financial year. Contributions to Council's costs made by WSD.
Unsealed Roads Land Matters Capital \$20K Favourable	
BRIDGES RURAL RDS -LOCAL	\$251 Favourable
Local Sealed Bridge Maintenance \$251K Favourable	Resources allocated to higher priority work
BRIDGES RURAL RDS REGIONAL	\$224 Unfavourable
Regional Rural Sealed Bridge Maintenance \$-150K Unfavourable	Resources allocated to higher priority work
Goulburn River Bridge Ulan Road \$-74K Unfavourable	Wet weather delays and high level of service temporary bridge provided resulted in additional costs
ULAN ROAD STRATEGY - REGIONAL	\$8 Favourable
Ulan Road Maintenance \$8K Favourable	Savings realised
FOOTPATHS	\$186 Favourable
Footways - Maintenance \$59K Favourable	Concreting resources not available
Footways - Administration \$24K Favourable	Concreting resources not available
Footways - Capital Works \$80K Favourable	Revote to 2022/23
Pedestrian Access And Mobility Plan Works \$44K Favourable	Revote to 2022/23
Footpath - Lions Drive \$-15K Unfavourable	The income for the Lions Drive footpath constructed was received in 2021
AERODROMES	\$102 Favourable
Airport - Operations & Maintenance \$102K Favourable	Savings in fees paid to airline and some lower expenses
PARKING AREAS	\$6 Favourable
Carparking - Maintenance \$11K Favourable	Resources allocated to higher priority work
RMS WORKS - STATE ROADS	\$19 Favourable
Rm - Scheduled Maintenance \$36K Favourable	Margin recognised
Ow - Heavy Patching \$15K Favourable	Profit Margin recognised
Ow - Reseals \$24K Favourable	Profit Margin recognised
Ow - Misc Accidents \$2K Favourable	Profit Margin recognised
Ow - Two-Mile Flat Safety- Shoulder Widening Wo308.22.13/16 \$-99K Unfavourable	Revote to 2022/23
Ow - Goolma Rd Shoulder Widening Wo308.22.06/08 \$50K Favourable	Margin recognised
STREET LIGHTING	\$127 Favourable
Street Light Maintenance \$31K Favourable	Savings in electricity costs

Led Streetlighting Upgrade \$96K Favourable

Revote to 2022/23

GOOD GOVERNMENT

GOVERNANCE

\$135 Favourable

Members Expenses \$89K Favourable

Savings across training, conferences and meeting due to Covid 19 impacts and Public Health Orders. Council memberships budgeted for full year but only signed up for 6 weeks at the end of the year.

Code Of Conduct Committee \$11K Favourable

There was no Code of Conduct investigations requested from a 3rd party contractor during the year.

Election \$34K Favourable

NSW Electoral charged less than budgeted

Village Subsidy Program \$33K Favourable

Claims made by village groups are less than expected

Orana Water Utilities Alliance \$-18K Unfavourable

Revote to 2022/23

Owua Small Projects \$-32K Unfavourable

Revote to 2022/23

Owua Bore Assessments Project \$8K Favourable

Revote to 2022/23

CORPORATE SUPPORT

\$1545 Favourable

Insurance - General \$12K Favourable

No insurance claims made in this code this year thus no excess required

Corporate Buildings Admin \$52K Favourable

Position vacancies at different times during the year.

Corporate - Administration Centre Mudgee \$16K Favourable

Savings in contractor and electricity expenses

Corporate - Community Directorate Office \$5K Favourable

Change in buildings purpose resulting in projected operational costs being less than expected

Corporate - Operations Admin Office \$22K Favourable

Change in contracted cleaner resulting in lower costs.

Buildings Major Projects Admin \$26K Favourable

Salaries and wages have been coded to other major projects to capture costs for those major works

Corporate - Key & Lock Maintenance \$-3K Unfavourable

New keys and padlocks for user groups as new Glen Willow buildings

Old Police Station Capital \$6K Favourable

Contractor expenses less than expected.

Mudgee Admin Building Extension \$27K Favourable

Revote to 2022/23

Corporate Governance \$-12K Unfavourable

Actuals higher due to salaries and wages costs higher than expected and some accident settlements made.

Customer Services \$94K Favourable

Increase in drainage application and S149 certificate income due to the increased development around the area.

Records Operations \$64K Favourable

Decrease in telephone expenditure due to the revised contract terms with Telstra. Staff vacancies during the year resulting in lower wage costs.

Executive Support \$-23K Unfavourable

Revote to 2022/23

Corporate Planning \$13K Favourable

Salaries and wages costs and Fringe Benefits tax higher than expected.

Unspent consultant fees

Corporate Development \$-61K Unfavourable

Includes Motor Vehicle for Corporate Development Manager, over time and leave in lieu for corporate communications

Government Lobbying \$9K Favourable

Reduction in Government Lobbying due to Covid restrictions in place during the year

Strategic Initiatives \$51K Favourable

Not done this year due to Covid and unable to get ministers to travel.

Corporate Advertising \$9K Favourable

Less tenders advertised than in previous years.

Human Resources \$-22K Unfavourable

Salaries and wages costs and Fringe Benefits tax higher than expected.

Staff Recruitment & Retention \$25K Favourable

Change to more online advertising for employment resulting in lower costs and Christmas Party cancelled due to Covid-19.

Staff Training, Conferences & Seminars \$0K Favourable

Training Plan not finalised

Staff Leave Entitlements \$776K Favourable

Reduction in long service leave provisions, non-cash

Workplace Health & Safety \$39K Favourable

Savings realised for software and licensing, contractor expenses and other staff expenses

CORPORATE: FINANCE | QUARTERLY BUDGET REVIEW JUNE 2021

Financial Services \$47K Favourable	Interest on loans is less than expected.
Revenue Collection \$18K Favourable	There was an increase in revenue from S603 certificates and an increase in recovery of legal costs.
Plans Of Management - Crown Lands \$112K Favourable	Revote to 2022/23
Stores & Purchasing \$134K Favourable	Decrease in salaries and wages due to staff vacancies during the year. Stores overheads higher than expected and increased from last year.
Information Technology Operations \$-136K Unfavourable	80k increase in telephones and communications expenses, 23k book value of disposal of IT related assets not budgeted for and depreciation higher than expected.
It - Network Upgrades \$30K Favourable	Revote to 2022/23
It Corporate Software \$106K Favourable	Revote to 2022/23
It - Datacentre Storage Array \$93K Favourable	Instead of purchasing a new storage array, the current array was purchased from the leasing company due to significant changes in Council's infrastructure in the next 2 years that is currently unable to be scoped (T1 SaaS migration.).
MID-WESTERN OPERATIONS	\$76 Favourable
Mid-Western Operations Administration \$68K Favourable	Savings in internal plant hire
ENGINEERING & WORKS - ASSETS	\$5589 Favourable
Asset Management Admin \$51K Favourable	Vacancies during the year for the asset engineer and asset administration officer positions
Development Engineering Operations \$-16K Unfavourable	New project code to separate the salaries and wages.
Plant Operations Fund \$716K Favourable	Depreciation less than expected due to delays in plant delivery. Increase in income from sale of passenger vehicles due to second hand vehicle price increases.
Council Works Depots - Buildings \$16K Favourable	Savings in electricity costs and contractor expenses
Council Works Depot Operations \$-14K Unfavourable	Washbay tank sludge cleaning invoices higher than expected
Plant Purchases \$3313K Favourable	Revote to 2022/23
Solar Farm Initiative \$421K Favourable	Revote to 2022/23
Solar Farm Initiative - Stage 3 \$1000K Favourable	Revote to 2022/23
Roller Braking System \$53K Favourable	Revote to 2022/23
Book Value Of P&E Sold \$42K Favourable	Various plant and equipment sold for more than expected.
OTHER BUSINESS UNDERTAKINGS	\$24 Favourable
Private Wks General-Budget \$24 Favourable	Jobs undertaken as private works have performed favourably to budget
GENERAL PURPOSE INCOME	\$1967 Unfavourable
General Purpose Revenue \$-1967K Unfavourable	T-Corp Managed funds have fluctuated significantly during the year \$1.2M Revaluation Undertaken was recognised under the commercial property budget.
DEVELOPER CONTRIBUTIONS	\$962 Favourable
General Fund Developer Contributions \$488K Favourable	Increase in revenue due to the increased development around the region
S64 Water Contributions \$311K Favourable	Increase in revenue due to the increased development around the region
S64 Sewer Contributions \$163K Favourable	Increase in revenue due to the increased development around the region

2. Unrestricted Cash by Fund

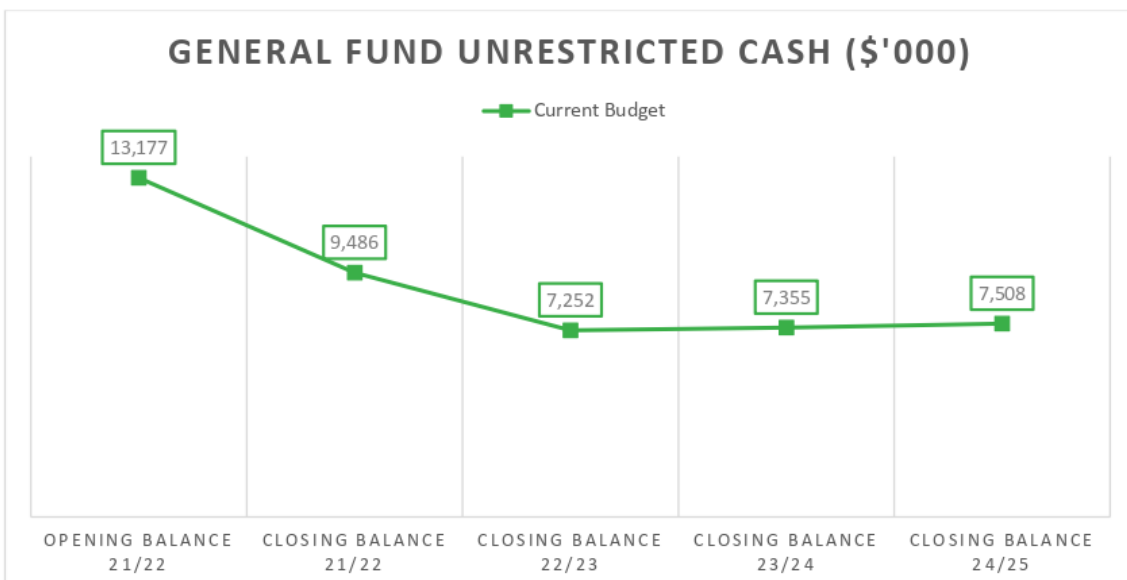
2.1 General Fund

Council finished the 2020/21 financial year with an unrestricted cash balance of \$13.177 million. As adopted by Council the Original Budget projected a decrease to 30 June 2022 of \$1,061 million. Council has since adopted the following budget movements, summarised below.

Variation	Amount (\$'000)	Movement
Original Budget	(1,061)	Decrease
Revotes	(1,671)	Decrease
Approved variations	(959)	Decrease
QBR proposed variations	0	Decrease
Estimated movement to 30 June 2022	(3,691)	Decrease
Projected balance at 30 June 2022	9,486	
Actual (unaudited) balance at 30 June 2022	18,229	

The actual unrestricted cash balance of \$18,229 million represents about 13 weeks of Council's 2022/23 operating expenditure budget. This is a high level of unrestricted cash and is adequate to ensure Council is able to meet its debts and obligations as they fall due.

The General Fund projected unrestricted cash balance over the next four years is shown below.



CORPORATE: FINANCE | QUARTERLY BUDGET REVIEW JUNE 2021

The closing balance of unrestricted cash as at 30 June 2022 compares favourably with budget estimates by \$8,743 million. The main factors influencing this outcome are related to:

VARIATION	AMOUNT (\$'000)	MOVEMENT
Increase in unrestricted Trade Creditors	1,414	Increase
Increase in unrestricted Trade Debtors	(410)	Decrease
Decrease in unrestricted Inventory	287	Increase
Decrease in unrestricted Contract Assets	4,455	Increase
Unrestricted cash expenditure carried forward to 2021/22 (revotes)	1,442	Increase
General Purpose Revenue - T-Corp Managed funds have fluctuated significantly during the year.	(1,200)	Decrease
Resheeting – Additional works for improvement in quality of unsealed roads as this was a council priority	(250)	Decrease
Rural Unsealed Roads Grading Program	(197)	Decrease
Rural Sealed Roads Maintenance - wet year requiring additional roads maintenance	(143)	Decrease
Airport - Operations & Maintenance - savings in airline support and other expenses	102	Increase
Stores & Purchasing - staff vacancies during the year and stores overheads higher than expected	134	Increase
Passive Parks - Mwrc Operations - there were a number of staff vacancies and lower water usage due to wet weather.	164	Increase
Active Parks - Mwrc Operations - there were a number of staff vacancies and lower water usage due to wet weather.	205	Increase
Major Events Glen Willow - Events were cancelled between July and November 2022 due to Covid-19	318	Increase
Net result of other savings and overspend as highlighted in material variations	2,422	Increase
Net Movement	8,743	Increase

2.2 Water Fund

Council finished the 2020/21 financial year with a Water fund unrestricted cash balance of \$2.376 million. As adopted by Council the Original Budget projected decrease to 30 June 2022 of \$1.030 million. The budget movements are summarised below.

Variation	Amount (\$'000)	Movement
Original Budget	(1,030)	Decrease
Revotes	0	Decrease
Approved variations	(481)	Decrease
QBR proposed variations	0	Decrease
Estimated movement to 30 June 2022	(1,511)	Decrease
Projected balance at 30 June 2022	865	
Actual (unaudited) balance at 30 June 2022	1,116	

The closing balance of unrestricted cash as at 30 June 2022 compares favourably with budget estimates by \$251k (unaudited).

TOTAL WATER FUND CASH

Council finished the 2021 financial year with a Water Fund cash balance of \$16.109 million, made up of:

CASH CLASSIFICATION	AMOUNT (\$'000)
S64 Developer Contributions	6,812
Water Reserves	6,800
Contract Liabilities	121
Unspent Grants	1
Unrestricted	2,375
Total	16,109

Actual Water Fund cash balances as at 30 June 2022 are made up as follows (unaudited):

CASH CLASSIFICATION	AMOUNT (\$'000)
S64 Developer Contributions	8,096
Water Reserves	8,886
Contract Liabilities	1
Unspent Grants	-
Unrestricted	1,436
Total	18,419

CORPORATE: FINANCE | QUARTERLY BUDGET REVIEW JUNE 2021

2.3 Sewer Fund

Council finished the 2020/21 financial year with a Sewer Fund unrestricted cash balance of \$3.353 million. As adopted by Council the Original Budget projected a decrease to 30 June 2022 of \$232k. The budget movements are summarised below.

Variation	Amount (\$'000)	Movement
Original Budget	(232)	Decrease
Revotes	0	Decrease
Approved variations	7	Increase
QBR proposed variations	0	Decrease
Estimated movement to 30 June 2022	(225)	Decrease
Projected balance at 30 June 2022	3,128	
Actual (unaudited) balance at 30 June 2022	3,016	

The closing balance of unrestricted cash as at 30 June 2022 compares unfavourably with budget estimates by \$112k (unaudited).

TOTAL SEWER FUND CASH

Council finished the 2021 financial year with a Sewer Fund cash balance of \$16.33 million, made up of:

CASH CLASSIFICATION	AMOUNT (\$'000)
S64 Developer Contributions	3,735
Sewer Reserves	9,242
Unrestricted	3,353
Total	16,330

Actual Sewer Fund cash balances as at 30 June 2022 are made up as follows (unaudited):

CASH CLASSIFICATION	AMOUNT (\$'000)
S64 Developer Contributions	4,369
Sewer Reserves	11,362
Unrestricted	3,016
Total	18,747

2.4 Waste Fund

Council finished the 2020/21 financial year with a Waste Fund unrestricted cash balance of \$1.965 million. As adopted by Council the Original Budget projected an increase to 30 June 2022 of \$59k. The budget movements are summarised below.

Variation	Amount (\$'000)	Movement
Original Budget	59	Increase
Revotes	(13)	Decrease
Approved variations	509	Increase
Estimated movement to 30 June 2022	555	Increase
Projected balance at 30 June 2022	2,520	
Actual (unaudited) balance at 30 June 2022	2,612	

The closing balance of unrestricted cash as at 30 June 2022 compares favourably with budget estimates by \$92k (unaudited).

TOTAL WASTE FUND CASH

Council finished the 2021 financial year with a Waste Fund cash balance of \$5.538 million, made up of:

CASH CLASSIFICATION	AMOUNT (\$'000)
Waste Reserves	3,573
Unrestricted	1,965
Total	5,538

Actual Waste Fund cash balances as at 30 June 2022 are made up as follows (unaudited):

CASH CLASSIFICATION	AMOUNT (\$'000)
Waste Reserves	3,618
Unrestricted	2,612
Total	6,230

CORPORATE: FINANCE | QUARTERLY BUDGET REVIEW JUNE 2021

2.5 Other Funds

Council maintains a number of other funds including:

- Private Works
- Saleyards
- Mudgee Sports Council
- Gulgong Sports Council
- Rylstone Sports Council

At 30 June of each financial year, the cash balance held in the above Funds forms part of the overall General Fund Unrestricted Cash Balance.

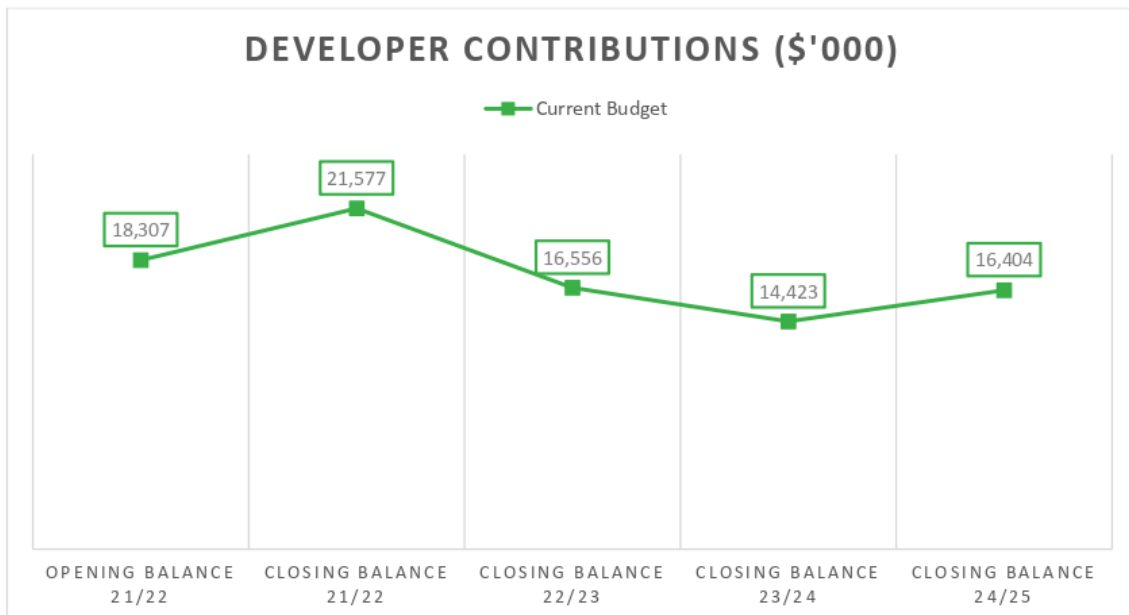
3. Developer Contributions

Council finished the 2020/21 financial year with a Developer Contributions balance of \$18.305 million. As adopted by Council the Original Budget projected a decrease to 30 June 2022 of \$708k. The budget movements are summarised below.

Variation	Amount (\$'000)	Movement
Original Budget	708	Increase
Revotes	(79)	Decrease
Approved variations	2,641	Increase
Estimated movement to 30 June 2022	3,270	Increase
Projected balance at 30 June 2022	21,577	
Actual unaudited balance at 30 June 2022	22,271	

The closing balance as at 30 June 2022 compares favourably with budget estimates by \$694k (unaudited), mainly due to higher than expected development contribution income.

The following chart shows the projected balances over a three year period.



CORPORATE: FINANCE | QUARTERLY BUDGET REVIEW JUNE 2021

Detailed movements and current balances are as follows:

Plan Item	Opening Balance	Budget Transfers To	Budget Transfers From	Budget Closing Balance	Current Balance
TRAFFIC MANAGEMENT	969	225	60	1,135	1,287
OPEN SPACE	1,856	289	0	2,145	2,161
COMMUNITY FACILITIES	732	59	12	779	784
ADMINISTRATIO N	450	70	40	480	495
CIVIC IMPROVEMENTS	22	0	-	22	22
CAR PARKING	261	2	-	263	261
DRAINAGE – 2A	349	50	-	399	422
S7.12 LEVIES	175	20	-	195	195
TOTAL S7.11 CONTRIBUTIONS	4,815	716	112	5,418	5,626
S64 SEWER	3,736	470	-	4,206	4,369
S64 WATER	6,812	1,115	176	7,751	8,096
VOLUNTARY PLANNING AGREEMENTS	2,941	1,379	121	4,199	4,180
TOTAL DEVELOPER CONTRIBUTIONS	18,304	3,680	410	21,574	22,271

4. Loan Borrowings

Council's 2021/22 Operational Plan included the proposed borrowings below.

Project	Fund	Original Budget \$'000	Current Budget \$'000	Actual \$'000
Solar Farm Initiative - Stage 3	General Fund	1,976	-	-
Mudgee Valley Park Expansion	General Fund	-	5,000	7,400

As the Mudgee Valley Park Expansion is expected to be completed early in the 2022/23 financial year the full \$7.4 M was drawn down late in 2021/22.

Due to delays in the Design stage, the Solar Array loan will be entered in 2022/23 once Design has been completed.

5. Reserves

5.1 Internally Restricted Reserves

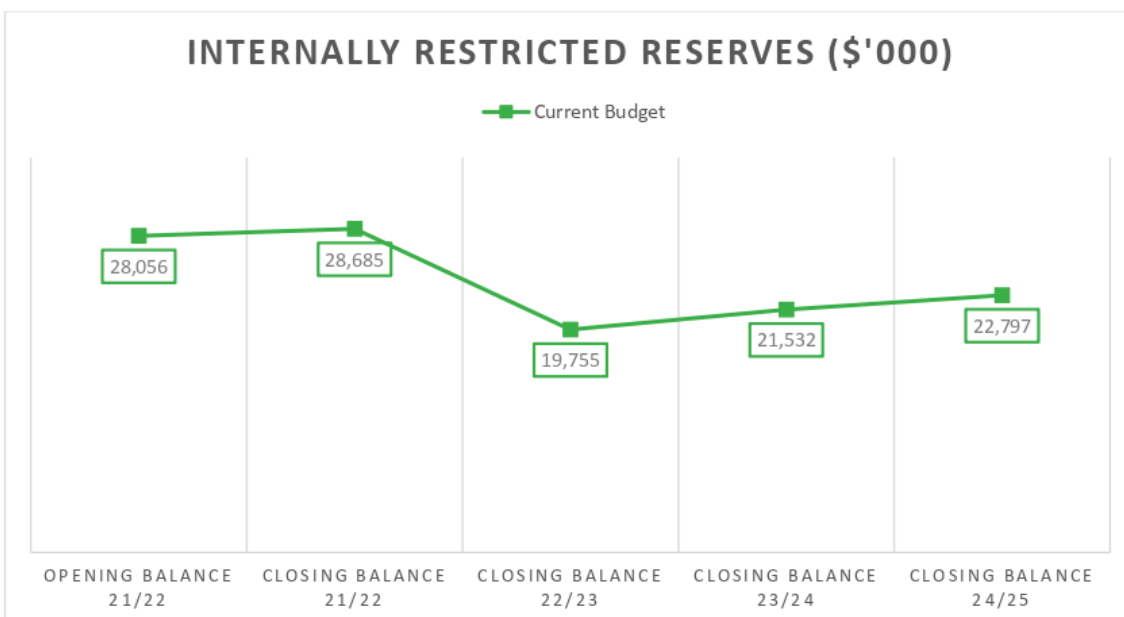
Council finished the 2020/21 financial year with an Internally Restricted Reserve balance of \$28.056 million. As adopted by Council the Original Budget projected a decrease to 30 June 2022 of \$3.870 million. The budget movements are summarised below.

Variation	Amount (\$'000)	Movement
Original Budget	(3,715)	Decrease
Revotes	(1,739)	Decrease
Approved variations	6,083	Increase
Estimated movement to 30 June 2022	629	Increase
Projected balance at 30 June 2022	28,685	
Actual unaudited balance at 30 June 2022	40,284	

The closing balance as at 30 June 2022 compares favourably with budget estimates by \$11,597 million (unaudited), mainly due to:

- Loan received at the end of the financial year for the full \$7.4 million for the Mudgee Valley Park Expansion. \$3.52 million remains unspent
- Delays in Stage 2 of the Ex-Saleyards Lane development
- Delays in the delivery of the plant purchases
- Delays in the Solar Array project

The following chart shows the projected balances over a three year period.



Detailed budgeted reserve movements are included in the following table.

INTERNAL RESERVES	Opening Balance	Budgeted Movement	Budget Closing Balance	Current Balance
Employee Leave Entitlements	3,395	(200)	3,195	3,195
Land Development	1,682	(531)	1,151	3,565
Election	231	(155)	76	110
Plant Replacement	8,138	(1,628)	6,510	9,502
Asset Replacement	2,922	750	3,672	4,206
Capital Program	3,869	422	4,291	6,074
Livestock Exchange	34	0	34	34
State Roads Warranty	388	0	388	388
Future Fund	820	300	1,120	1,120
Community Plan	0	395	395	428
Seal Extension Program	3,076	(837)	2,239	2,526
Unspent Loan	0	(4,650)	(4,650)	3,520
Financial Assistance Grant - Received in advance	3,501	2,114	5,615	5,615
TOTAL INTERNAL RESERVES	28,057	630	28,686	40,284

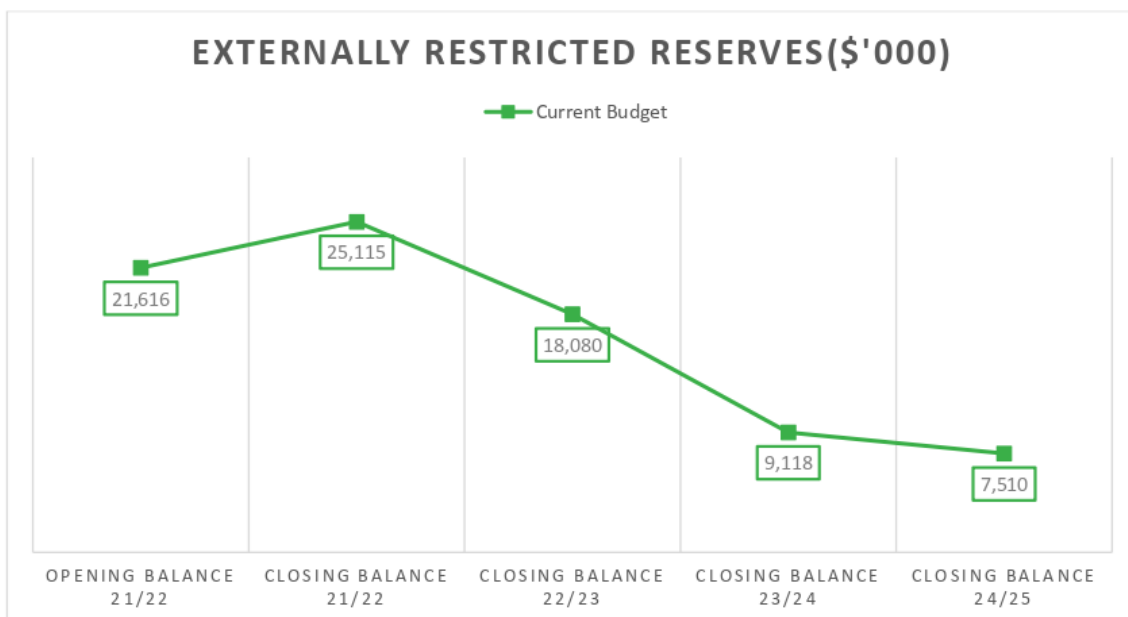
5.2 Externally Restricted Reserves

Council finished the 2020/21 financial year with an Externally Restricted Reserve balance of \$21.622 million. As adopted by Council the Original budget projected an increase to 30 June 2022 of \$181k. The budget movements are summarised below.

Variation	Amount (\$'000)	Movement
Original Budget	181	Increase
Revotes	(313)	Decrease
Approved variations	3,631	Increase
Estimated movement to 30 June 2022	3,499	Increase
Projected balance at 30 June 2022	25,115	
Actual unaudited balance at 30 June 2022	25,958	

The closing balance as at 30 June 2022 compares favourably with budget estimates by \$843k (unaudited).

The following chart shows the projected balances over a three year period.



Detailed budgeted reserve movements are included in the following table.

RESERVE	Opening Balance	Budgeted Movement	Budget Closing Balance	Current Balance
Waste	3,573	(58)	3,515	3,618
Sewer	9,242	2,001	11,243	11,362
Water	6,800	1,583	8,383	8,886
Community Services	77	0	77	77
Community Tenancy Scheme	216	46	262	251
Family Day Care	173	(74)	99	176
Bequest - Simpkins Park	101	0	101	101
Community Transport Vehicle Replacement	310	0	310	363
Public Road Closure Compensation	1,080	0	1,080	1,080
Other External Restrictions	45	0	45	45
TOTAL EXTERNAL RESERVES	21,616	3,499	25,116	25,958

CORPORATE: FINANCE | QUARTERLY BUDGET REVIEW JUNE 2021

6. Unspent Grants and Contributions

Council finished the 2020/21 financial year with unspent grants and contributions of \$1.2 million. As adopted by Council the Original Budget projected an increase of \$2,000 to 30 June 2022. The budget movements are summarised below.

Variation	Amount (\$'000)	Movement
Original Budget	2	Increase
Revotes	(819)	Decrease
Approved variations	62	Increase
QBR proposed variations	0	Decrease
Estimated movement to 30 June 2022	(755)	Decrease
Projected balance at 30 June 2022	462	
Actual (unaudited) balance at 30 June 2022	871	

The closing balance as at 30 June 2022 compares favourably with budget estimates by \$409k (unaudited).

The largest amounts held are:

- Bushfire Recovery funds \$177k
- Roads to Recovery grant \$176k

7. External Restrictions – included in liabilities

The amount reported in externally restricted contract liabilities mostly consists of grants where whereby payment has been received ahead of the grant agreement performance obligations being met. In other words Council has an obligation to spend the grant funds received in accordance with the agreement, but has not yet done so and cannot recognise the revenue until this occurs.

The **Actual (unaudited) balance at 30 June 2022 is \$12.379 million.**

The largest amounts held are:

- Ulan Road Strategy \$4.1 million
- Fixing Local Roads Program \$2.23 million
- Local Roads and Community Infrastructure Grant \$1.4 million
- Resources for Regions Grant \$1.5 million
- Local Government Recovery Grant for February Flood \$995K
- Dixons Long Point Grant \$503k

CORPORATE: FINANCE | QUARTERLY BUDGET REVIEW JUNE 2021

8. Capital Works Program

Summary of capital works program as at 30 June 2022.

\$37.07 M

Actual
Expenditure

211

Capital Projects

*Excluding budget only

71%

Budget Spent

103

Capital Projects
Completed

*Multi-year projects are not
listed as complete until final
year

\$'000	Current Annual Budget	Actual YTD	Actual YTD/ Proposed Annual Budget	Project Status
Looking after our Community				
BUSHFIRE RECOVERY - LARGE WATER TANKS (DRFA)	6	6	100%	Complete
FIRE CONTROL CENTRE - CUDGEGONG COMMUNITY	500	0	0%	Deferred/Cancelled
RURAL FIRE SERVICE - COOKS GAP STATION (CAPITAL)	28	27	97%	Construction
RURAL FIRE SERVICE - LUE STATION (CAPITAL)	29	9	30%	Design
RURAL FIRE SERVICE - WATER TANK MAINTENANCE	15	0	0%	Consultation
MUDGEES POUND UPGRADE - RENOVATION & EXTENSION	85	81	95%	Construction
COUNTRY UNIVERSITY CENTER	20	17	84%	Multi-year project - complete for this year
CEMETERY CAPITAL PROGRAM	14	12	85%	Complete
MUDGEES CEMETERY ROAD UPGRADE	35	33	93%	Complete
RYLSTONE CEMETERY DRAINAGE	15	12	82%	Complete
PUBLIC TOILETS - GOOLMA	11	9	87%	Complete
LIBRARY BOOKS	93	105	113%	Construction
LIBRARY - SPECIAL PROJECTS - CAPITAL	0	32	0%	Initial works
MUDGEES LIBRARY AIR CONDITIONING	11	0	0%	Final works
HARGRAVES COURT HOUSE BUILDING - EXTERNAL WORKS	3	3	100%	Deferred/Cancelled
COMMUNITY CENTRE - COURT STREET CAPITAL WORKS	93	96	103%	Final works
GUIDES BUILDING - RYLSTONE	0	2	0%	
MUDGEES TOWN HALL THEATRE - AIR-CONDITIONING UPGRADE	39	11	27%	Complete
KANDOS HALL & LIBRARY - EXTERNAL PAINTING & KITCHEN UPGRADE	160	66	41%	Final works
KANDOS HALL & LIBRARY - TOILETS	20	1	6%	Deferred/Cancelled
POOL SHADE PROGRAM	65	61	94%	Complete
GULGONG POOL STORAGE SHED	4	4	100%	Complete
GULGONG POOL HEATERS	105	0	0%	Procurement

\$'000	Current Annual Budget	Actual YTD	Actual YTD/ Proposed Annual Budget	Project Status
ACTIVE PARKS - GLEN WILLOW ACCESSIBLE AMENITIES BUILDING	0	1	0%	Consultation
MUDGEES SHOWGROUNDS - REDEVELOPMENT	475	368	77%	Construction
GLEN WILLOW SPORTS GROUND UPGRADES	4,832	4,354	90%	Multi-year project - complete for this year
GLEN WILLOW CARPARK	114	118	103%	Complete
MUDGEES DOG PARK RELOCATION & UPGRADE	3	3	100%	Complete
GLEN WILLOW STORMWATER RETICULATION SYSTEM	350	84	24%	Construction
PUTTA BUCCA TRAINING CAMP FACILITY - STAGE 1	50	61	122%	Multi-year project - complete for this year
PUTTA BUCCA TRAINING CAMP FACILITY -STAGE 2	50	47	94%	Multi-year project - complete for this year
BILLY DUNN AMENITIES	323	317	98%	Complete
MUDGEES SHOWGROUNDS - GRANDSTAND FIT-OUT	250	54	22%	Construction
VICTORIA PARK GULGONG - CRICKET WICKET SYNTHETIC REPLACEMENT	8	5	67%	Complete
MUDGEES SHOWGROUND EQUIPMENT	47	0	0%	Final works
SCULPTURES ACROSS THE REGION	58	24	42%	Final works
PLAYGROUND SHADING PROGRAM	317	315	100%	Complete
MUDGEES DOG OFF LEASH AREA IMPROVEMENTS	10	9	86%	Complete
PITTS LANE - LIGHTING	17	17	100%	Complete
FLIRTATION HILL DEVELOPMENT	9	9	100%	Complete
RED HILL CAPITAL WORKS	70	21	31%	Procurement
MOUFARRIGE PARK FENCE	10	7	66%	Complete
PLAYGROUND EQUIPMENT UPGRADE - LAWSON PARK MUDGEES	30	0	0%	Initial works
PLAYGROUND EQUIPMENT UPGRADE - RYLSTONE SHOWGROUND	292	0	0%	Procurement
MUDGEES RIVERSIDE - WALKING TRACK IMPROVEMENTS	25	25	101%	Complete
MEMORIAL PARK MUDGEES - PATHWAY	32	22	68%	Complete
FLIRTATION HILL MUDGEES - MASTER PLAN WORKS	50	0	0%	Consultation

\$'000	Current Annual Budget	Actual YTD	Actual YTD/ Proposed Annual Budget	Project Status
BLACKMAN PARK - BLACKMAN VAULT	20	18	88%	Complete
ART GALLERY FACILITY	1,000	701	70%	Multi-year project - complete for this year
ART GALLERY CAPITAL	10	10	101%	Complete
STREET SCAPE IMPROVEMENTS	70	63	90%	Complete
STREETSCAPE - STREET BINS	12	12	103%	Complete
CUDGEGONG WATERS - PUBLIC TOILETS	5	0	0%	Design
Total	9,889	7,254	73%	

Protecting our Natural Environment

RURAL WASTE DEPOT UPGRADES	67	70	105%	Complete
MUDGEES WASTE DEPOT UPGRADES	47	45	95%	Complete-awaiting invoices
NEW TIP CELL CONSTRUCTION	100	79	79%	Final works
REMOTE SECURITY CAMERAS AT WTS	53	14	27%	Final works
RECYCLING PLANT UPGRADES	193	165	85%	Complete
LEACHATE POND ENLARGEMENT	475	464	98%	Final works
KANDOS WTS OFFICE REPLACEMENT	115	104	90%	Final works
GULGONG WTS OFFICE REPLACEMENT	12	12	100%	Complete
MUDGEES LANDFILL WHEEL WASH	6	6	101%	Complete
DRAINAGE CAPITAL IMPROVEMENTS	0	4	0%	
CAUSEWAY - SCHOOL LANE	1	1	100%	Complete
KANDOS STORMWATER UPGRADE	539	563	105%	Complete
CAUSEWAY - DREWS LANE	2	2	100%	Complete
CULVERTS, SHOULDER & K&G - BELLVUE RD MUDGEES	160	85	53%	Complete
CAUSEWAY IMPROVEMENT - TALLAWAY ST GULGONG	30	7	23%	Construction
CAUSEWAY IMPROVEMENT - BLACKSPRINGS RD	33	16	47%	Complete
PUTTA BUCCA WETLANDS TOILET	0	0	0%	Deferred/Cancelled

\$'000	Current Annual Budget	Actual YTD	Actual YTD/ Proposed Annual Budget	Project Status
PUTTA BUCCA WETLANDS -PATHWAYS AND CAR PARK (REQUIRES GRANT)	25	0	0%	Complete
PUTTA BUCCA WETLANDS INFRASTRUCTURE - CAPITAL	225	220	98%	Complete-awaiting invoices
WATER NEW CONNECTIONS	135	118	88%	Complete
WATER AUGMENTATION - MUDGEE HEADWORKS	400	322	81%	Multi-year project - complete for this year
WATER LICENCE PURCHASE	0	1	0%	Complete
WATER RYLSTONE DAM UPGRADE	50	57	114%	Multi-year project - complete for this year
WATER TELEMETRY	3	3	101%	Complete
WATER MAINS - NICHOLSON ST COURT TO COX	145	144	100%	Complete
WATER MAINS - BYRON PLACE	82	54	65%	Complete
WATER MAINS - MAYNE STREET	370	163	44%	Multi-year project - complete for this year
WATER MAINS - STOTT STREET	0	0	0%	Complete
CHURCH STREET ROUNDABOUT - NON-POTABLE WATER MAIN REPLACEME	0	0	0%	Complete
WATER MAINS - NICHOLSON ST COURT ST WEST ROAD CROSSING	19	19	100%	Complete
WATER MAINS - NICHOLSON ST COURT ST EAST ROAD CROSSING	35	18	51%	Multi-year project - complete for this year
WATER MAINS - HORATIO ST COURT TO COX	55	28	51%	Multi-year project - complete for this year
WATER MAINS - HONE CREEK DRIVE VALVE	0	15	0%	Complete
WATER MAINS - DEWHURST DRIVE VALVE	0	18	0%	Complete
WATER PUMP STATION - CAPITAL RENEWALS	21	18	87%	Complete
RYLSTONE DAM PS PAC DOSING SYSTEM	21	21	100%	Complete
RESERVOIRS - RYLSTONE, KANDOS, CHARBON, CLANDULLA	9	9	100%	Complete
RAW WATER SYSTEMS RENEWALS	61	4	7%	Multi-year project - complete for this year
WATER RESERVOIR RENEWALS	75	62	83%	Complete

\$'000	Current Annual Budget	Actual YTD	Actual YTD/ Proposed Annual Budget	Project Status
WATER TREATMENT PLANT - RENEWALS	50	11	23%	Complete
RURAL CUSTOMER FILL STATIONS	180	180	100%	Complete
SEWER NEW CONNECTIONS	90	89	99%	Complete
SEWER AUGMENTATION - RYLSTONE & KANDOS	125	83	66%	Multi-year project - complete for this year
SEWER TELEMETRY	10	10	100%	Complete
SEWER MAINS RELINING	118	120	102%	Complete
RISING MAIN ULAN RD TO PUTTA BUCCA	13	13	100%	Deferred/Cancelled
SEWER PUMP STATION - CAPITAL RENEWALS	75	0	0%	Deferred/Cancelled
SEWER TREATMENT WORKS - RENEWALS	191	187	98%	Complete
MUDGEES STP EMERGENCY WORKS	23	7	30%	Complete
Total	4,439	3,633	82%	

Building a Strong Local Economy

CUDGEGONG WATERS CARAVAN PARK - KIOSK & OFFICE	115	34	29%	Initial works
RYLSTONE CARAVAN PARK - CAPITAL	200	100	50%	Construction
RIVERSIDE CARAVAN PARK FIRE SERVICES	96	94	99%	Final works
MUDGEES VALLEY PARK UPGRADE	319	311	98%	Final works
CUDGEGONG WATERS PARK HOUSE	20	17	83%	Initial works
MUDGEES VALLEY PARK EXPANSION	4,650	3,880	83%	Construction
CUDGEGONG WATERS - PUBLIC TOILETS	0	7	0%	Design
CARAVAN PARK - CUDGEGONG WATERS CAPITAL	14	7	46%	Complete
ENTRANCE SIGNAGE PROJECT	0	7	0%	Complete
DIGITAL SIGNAGE	80	0	0%	Consultation
SALEYARDS - CATTLE CRUSH	17	15	89%	Complete
SALEYARDS TRUCK WASH	12	12	100%	Complete
PROPERTY - MUDGEES AIRPORT SUBDIVISION	1	1	101%	Complete
TOOHEYS PARK - BUILDING	20	0	0%	Consultation

\$'000	Current Annual Budget	Actual YTD	Actual YTD/ Proposed Annual Budget	Project Status
PROPERTY - EX SALEYARDS STAGE II	2,500	104	4%	Design
PROPERTY - DEVELOPMENT MORTIMER ST	10	0	0%	Initial works
COMMERCIAL PROP - AERODROME COTTAGE RENOVATIONS	15	15	97%	Complete
Total	8,068	4,602	57%	

Connecting our Region

URBAN RESEALS - BELMORE ST GULGONG	74	37	50%	Multi-year project - complete for this year
URBAN ROADS KERB & GUTTER CAPITAL	27	31	116%	Complete
URBAN REHAB - CHURCH / MEARES ST ROUNDABOUT	592	592	100%	Complete
URBAN HEAVY PATCHING	26	24	94%	Complete
URBAN REHAB - PERCY NOTT	180	199	110%	Complete
URBAN REHAB - DUNN STREET KANDOS SEG 10-30	182	6	3%	Construction
URBAN REHAB - CHARBON	128	79	61%	Complete
URBAN RESEALS - BOMBIRA	(0)	10	-3818892%	Deferred/Cancelled
URBAN RESEALS - CHARBON	65	54	84%	Complete
URBAN RESEALS - PUTTA BUCCA	44	43	99%	Complete
ROAD EXTENSION - BETWEEN PUTTA BUCCA & GLEN WILLOW	840	610	73%	Multi-year project - complete for this year
URBAN RESEALS - SMALL GULGONG RESEALS	24	24	100%	Complete
URBAN RESEALS - SNELSONS LANE SEG 10 GULGONG	16	9	55%	Complete
URBAN RESEALS - WHITE ST GULGONG SEG 10 20 50-90	31	21	67%	Complete
URBAN RESEALS - ANGUS AVE SEG 40-60 KANDOS	70	32	46%	Complete
URBAN RESEALS - BANJO PATERSON AVE MUDGEE SEG 10-40	20	20	100%	Complete
URBAN RESEALS - LAWSON ST MUDGEE SEG 30-90	67	89	133%	Complete
URBAN RESEALS - MACQUARIE DR MUDGEE SEG 30	17	17	100%	Complete
URBAN RESEALS - MEARES ST MUDGEE SEG 10	32	32	100%	Complete
URBAN RESEALS - NICHOLSON ST MUDGEE SEG 10-30	58	66	114%	Complete

\$'000	Current Annual Budget	Actual YTD	Actual YTD/ Proposed Annual Budget	Project Status
URBAN RESEALS - ROBERTSON ST MUDGEE SEG 10	9	9	100%	Complete
URBAN RESEALS - WENTWORTH AVE MUDGEE 10-20	13	9	73%	Complete
URBAN RESEALS - SOUTH MUDGEE	53	17	33%	Complete
URBAN RESEALS - RYLSTONE	32	24	74%	Complete
URBAN REHAB - BOMBIRA AVENUE	61	40	66%	Complete
HORATIO ST/PERRY ST SHOULDER SEALING	55	48	87%	Complete
RESHEETING - URBAN ROADS	16	0	0%	Deferred/Cancelled
MUDGEE SCHOOL ZEBRA CROSSING INFRASTRUCTURE UPGRADE	180	53	29%	Construction
URBAN ROADS LAND MATTERS CAPITAL	24	2	7%	Initial works
GUTTERING BYLONG VALLEY WAY KANDOS	50	40	80%	Complete
RURAL SEALED ROADS RESEALS BUDGET ONLY	12	0	0%	Budget only
RURAL SEALED ROAD REHAB & WIDENING - BUDGET ONLY	(0)	0	0%	Budget only
RURAL REHAB - CUDGEGONG RD	51	51	100%	Complete
RURAL REHAB - BARNEYS REEF RD	97	85	87%	Complete
HEAVY PATCHING	48	30	62%	Complete
ULAN WOLLAR ROAD - STAGE 1	8	4	43%	Complete
ULAN WOLLAR ROAD - STAGE 3A	0	0	100%	Complete
RURAL REHAB - LUE ROAD MONIVAE SEG 100	437	433	99%	Complete
RURAL RESEAL - CRUDINE RD SEG 40, 80 & 160	73	47	64%	Complete
RURAL RESEAL - BUCKAROO	86	82	96%	Complete
RURAL RESEAL - WINDEYER ROAD GRATTAI SEG 10	34	38	111%	Complete
RURAL RESEAL - HARGRAVES	120	115	96%	Complete
RURAL RESEAL - LUE ROAD LUE SEG 152-165	101	101	100%	Complete
RURAL RESEAL - PYRAMUL RD PYRAMUL SEG 140-190	154	155	101%	Complete
RURAL RESEAL - MOGO RD WOLLAR SEG 10 40	30	28	93%	Complete
RURAL RESEAL - BURRENDONG DAM RD YARRABIN SEG 10	30	25	84%	Complete
RURAL RESEAL - RYLSTONE	99	68	68%	Complete

\$'000	Current Annual Budget	Actual YTD	Actual YTD/ Proposed Annual Budget	Project Status
RURAL RESEAL - BLACK SPRINGS ROAD SEG 10 20 60 110 120 150	163	150	92%	Complete
RURAL RESEAL - BUDGEE BUDGEE	117	62	53%	Construction
RURAL RESEAL - ST FILLANS RD SEG 10	33	33	100%	Complete
RURAL RESEAL - ABATTOIRS RD MENAH SEG 10 20	67	19	29%	Complete
RURAL RESEAL - LOWER PIAMONG RD MENAH SEG 10-30	125	91	73%	Complete
WILPINJONG MINE ENTRANCES - ULAN WOLLAR RD	201	141	70%	Complete
LUE RD/PYANGLE RD INTERSECTION WIDENING	210	184	88%	Complete
RURAL RESEAL - LOWES PEAK RD SEG 10-30	100	95	95%	Complete
RURAL SEALED ROAD LAND MATTERS	16	1	7%	Initial works
RURAL SEALED REGIONAL ROAD REPAIR PROGRAM 2021/22	800	464	58%	Construction
BYLONG VALLEY WAY HEAVY PATCHING PROGRAM	0	106	0%	Construction
MUNGHORN GAP REALIGNMENT & UPGRADE	1,265	1,336	106%	Multi-year project - complete for this year
MUNGHORN GAP SHOULDER WIDENING BLACKSPOT	1,280	1,143	89%	Multi-year project - complete for this year
HILL END ROAD SAFETY IMPROVEMENTS	300	235	78%	Multi-year project - complete for this year
BVW UPGRADE RNSW 2080	300	225	75%	Multi-year project - complete for this year
RURAL SEALED REGIONAL ROAD LAND MATTERS CAPITAL	9	5	53%	Construction
SEALING - GRIMSHAW LANE	19	1	6%	Deferred/Cancelled
SEAL EXTENSION - LOWER PIAMBONG RD	680	485	71%	Complete
SEAL EXTENSION - AARONS PASS RD	1,000	761	76%	Multi-year project - complete for this year
SEAL EXTENSION - QUEENS PINCH RD	747	504	67%	Multi-year project - complete for this year
SEAL EXTENSION - COXS CREEK RD	1,360	1,304	96%	Multi-year project - complete for this year
SEAL EXTENSION - MEBUL RD	724	768	106%	Complete
SEAL EXTENSION - PYRAMUL RD SEG 120-130	5	5	100%	Complete
SEAL EXTENSION - COX STREET LUE	80	72	90%	Complete
SEAL EXTENSION - BOTOBOLAR RD	198	138	70%	Multi-year project - complete for this year
SEAL EXTENSION - SPRING FLAT ROAD	213	214	101%	Complete

\$'000	Current Annual Budget	Actual YTD	Actual YTD/ Proposed Annual Budget	Project Status
SEAL EXTENSION - CORICUDGY ROAD	578	0	0%	Deferred/Cancelled
RESHEETING	2,025	2,262	109%	Complete
UNSEALED ROADS LAND MATTERS CAPITAL	21	7	36%	Construction
GOODIMAN CREEK BRIDGE REPLACEMENT	200	200	100%	Multi-year project - complete for this year
DIXONS LONG POINT CROSSING	700	719	103%	Initial works
BRIDGE TO PUTTA BUCCA ROAD	100	6	6%	Multi-year project - complete for this year
GOULBURN RIVER BRIDGE ULAN ROAD	1,637	1,748	107%	Complete
ULAN ROAD - BLACKSPRINGS ROAD TO BUCKAROO LANE	556	383	69%	Deferred/Cancelled
FOOTWAYS - CAPITAL WORKS	138	58	42%	Construction
PEDESTRIAN - PUTTA BUCCA WALKWAY	30	30	100%	Complete
PUTTA BUCCA ECO TRAIL	134	136	101%	Complete
PEDESTRIAN ACCESS AND MOBILITY PLAN WORKS	370	291	79%	Complete-awaiting invoices
FOOTPATH - WALKERS OVAL TO CULTURAL PRECINCT	62	62	100%	Complete
SHARED PATHWAY - GLEN WILLOW TO PUTTA BUCCA WETLANDS AREA	87	45	51%	Construction
FOOTPATH - LIONS DRIVE	15	15	101%	Complete
BUGGY PATH LIGHTING	2	0	0%	Complete
AIRPORT RUNWAY	0	2	0%	Complete
AIRPORT HANGER AND STUDIO	5	1	16%	Consultation
CARPARK - MUDGEE COMMON	50	8	15%	Construction
CARPARK - GULGONG POOL	30	19	65%	Construction
CBD PEDESTRIAN CROSSING LIGHTING UPGRADE	67	67	100%	Complete
Total	21,185	18,099	85%	

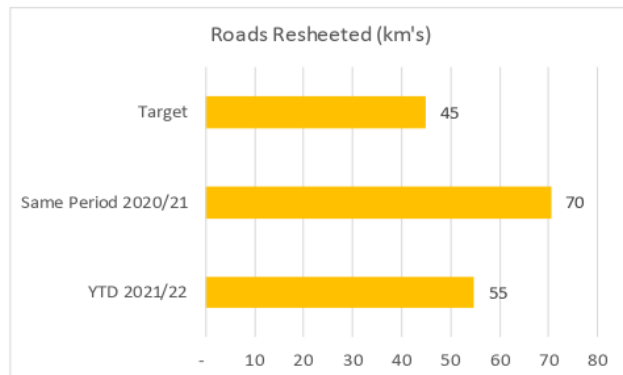
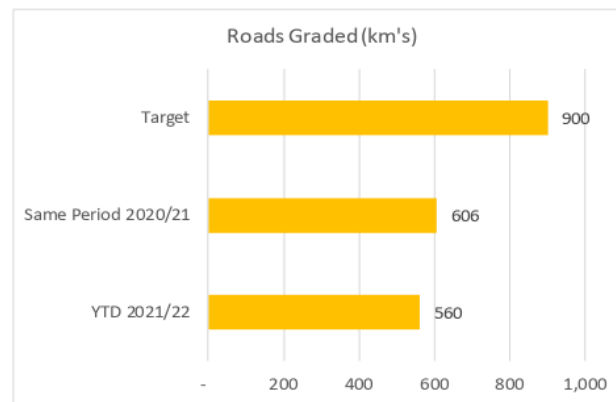
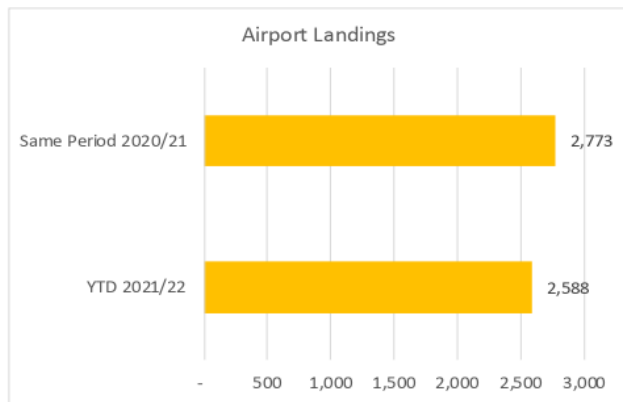
Good Government

MUDGEE ADMINISTRATION BUILDING UPGRADE	50	49	97%	Complete-awaiting invoices
OLD POLICE STATION CAPITAL	15	9	63%	Final works
BUILDINGS MASTER KEY SYSTEM	39	39	100%	Complete

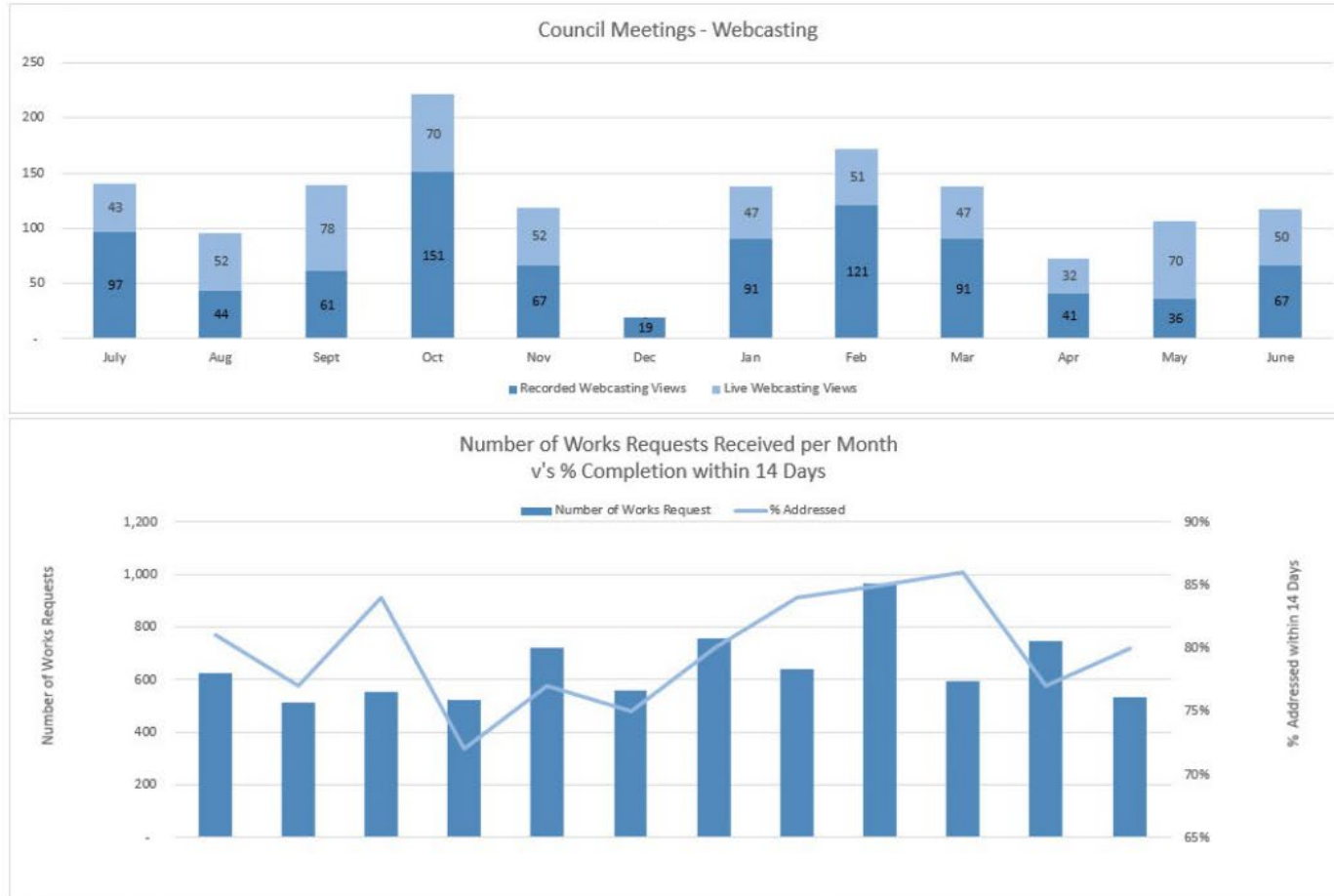
\$'000	Current Annual Budget	Actual YTD	Actual YTD/ Proposed Annual Budget	Project Status
MUDGEES ADMIN BUILDING EXTENSION	75	48	64%	Multi-year project - complete for this year
IT SPECIAL PROJECTS	32	28	86%	Complete
IT - NETWORK UPGRADES	105	75	71%	Multi-year project - complete for this year
IT CORPORATE SOFTWARE	152	47	31%	Complete
IT - DATACENTRE STORAGE ARRAY	150	57	38%	Complete
PLANT PURCHASES	6,072	2,725	45%	Budget only
SOLAR FARM INITIATIVE	727	306	42%	Design
SOLAR FARM INITIATIVE - STAGE 3	1,000	0	0%	Project Scope
ROLLER BRAKING SYSTEM	154	101	66%	Construction
Total	8,571	3,482	41%	
Total Capital Works Program	52,152	37,070	71%	

9. Statistics

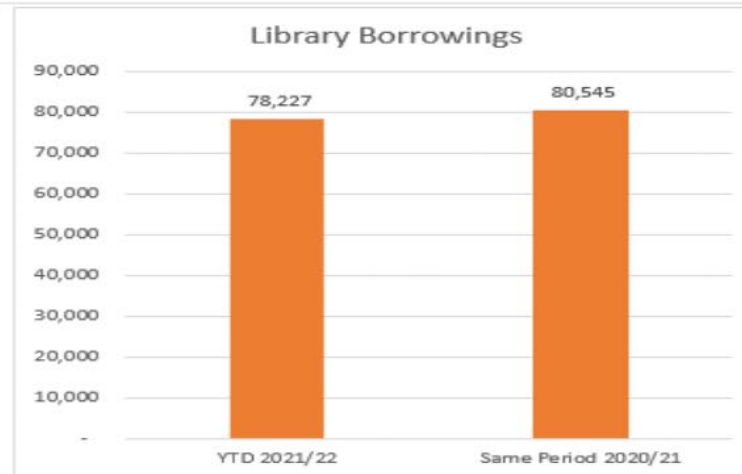
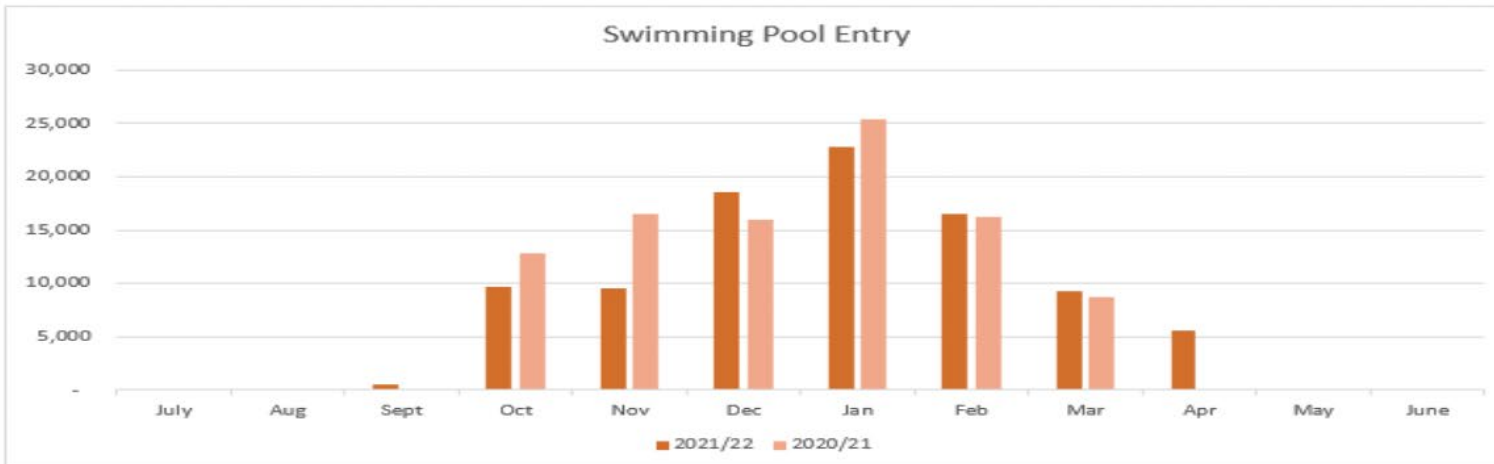
9.1 Connecting Our Region



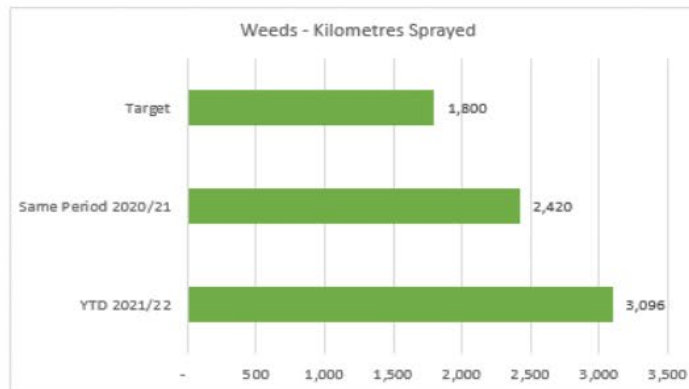
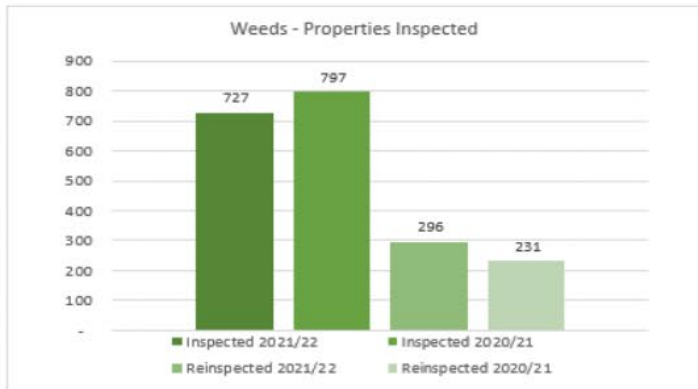
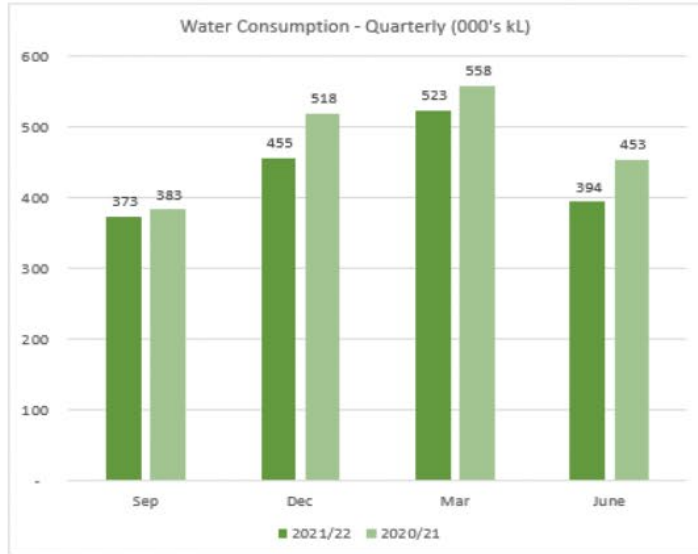
9.2 Good Government



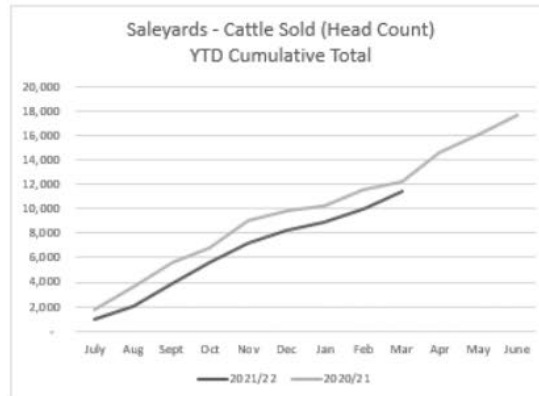
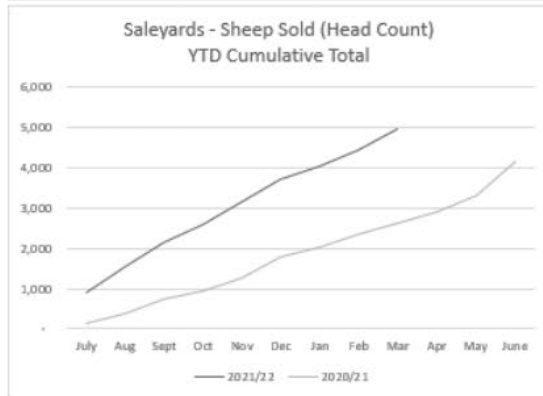
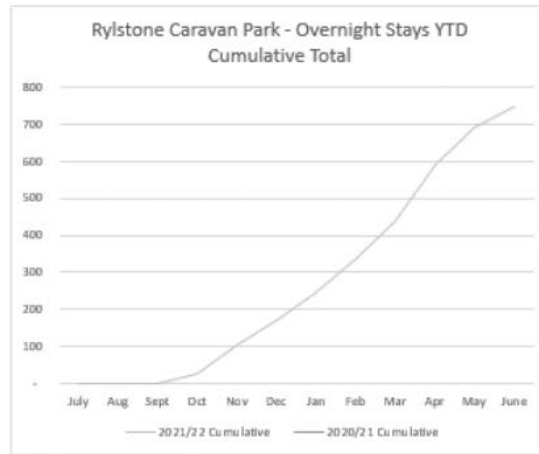
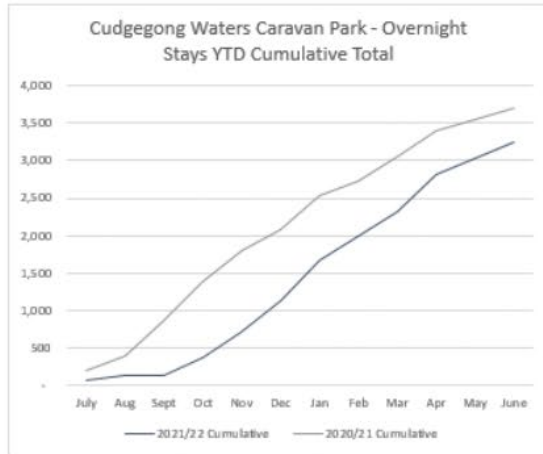
9.3 Looking after Our Community



9.4 Protecting our Natural Environment



9.5 Building a Strong Local Economy



10. Contract, Legal and Consultant Expenses

CONTRACTS > \$50,000

The following contracts with a value greater than \$50,000 were entered into during the period 1 April 2022 to 30 June 2022 and have yet to be fully performed.

Note that individual Panel Tender appointments are not included in the table below. For example, provision of general contractor services. Council creates panels of preferred suppliers from the tender responses received. Purchases are then made from the preferred supplier lists, and purchase decisions may vary for particular works depending upon availability and location.

Contractor	Contract Detail/Purpose	Contract Value (\$)	Commencement Date	Duration (Months)	Budgeted (Y/N)
Premise Australia Pty Ltd	Development Of Water And Sewer Network Models	\$104,320.00	28/04/2022	4	Y
Ghd Pty Ltd	Agreement 2022/17 Ghd Rylstone Dam Safety Services	\$111,750.00	23/05/2022	4	Y
Buckley, Adam J	Mudgee Pound - Internal Fit-Out	\$60,392.70	01/05/2022	2	Y
D & C Powerline Constructions Pty Ltd	Cudgegong Waters Park - Electrical Mains Upgrade	\$56,850.00	30/05/2022	2	N
O'reilly, Anthony Joseph	Art Gallery Cultural Workshop Landscaping	\$85,000.00	06/06/2022	2	Y

LEGAL EXPENSES

This financial year to date, Council has incurred \$287k of legal expenses. The primary areas of expenditure are:

- Facility Lease
- Rent Valuation
- Road land matters
- Caravan Park License
- Corporate Governance
- Development Control
- Building Contract

CONSULTANCIES

A consultant is a person or organisation engaged under contract on a temporary basis to provide recommendations or high level specialist or professional advice to assist decision making by management. Generally, it is the advisory nature of the work that differentiates a consultant from other contractors.

This financial year to date, Council has incurred \$481k of consultancy expenses. The primary areas of expenditure are:

- Glen Willow Sports Ground
- Plans of Management – Crown Lands
- Leachate Pond Enlargement
- Corporate Governance
- Sewer Management studies
- Water Management Studies
- Waste Management Strategy
- New Tip Cell Construction
- IT Corporate IT Software
- Goodiman Creek Bridge Replacement
- Mudgee Water Headworks
- Sewer Augmentation at Rylstone and Kandos
- Munghorn Gap Shoulder Widening
- Environmental Assessments

CORPORATE: FINANCE |

11. Councillor Fees and Expenses Paid or Reimbursed as at 30 June 2022

Councillor Expenses														
	General Operations	Cr Cavalier	Cr Holden	Cr Karavas	Cr Kennedy	Cr Martens	Cr O'Neill	Cr Paine	Cr Shelley	Cr Thompson	CR Stoddart	CR Palmer	CR Dicker	TOTAL
Councillor Fees	-	20,689.92	10,344.96	20,689.92	20,689.92	10,344.96	10,344.96	20,689.92	20,689.92	20,689.92	10,344.96	10,344.96	10,344.96	186,209.28
Mayoral Fees	-	-	-	-	42,005.20	-	-	3,134.72	-	-	-	-	-	45,139.92
Council Meeting Expenses (accommodation, travel and meals)	8,774.24	-	-	-	407.72	578.19	-	-	-	-	-	-	-	9,760.15
Conferences, Seminars and Representational/Lobbying Expenses (accommodation, travel and meals)	-	-	-	-	127.73	753.44	-	-	1,132.56	2,932.80	-	-	0.00	4,946.53
Provision of Vehicle	-	-	-	-	13,335.88	-	-	-	-	-	-	-	-	13,335.88
Memberships & Subscriptions	22,267.16	-	-	-	-	-	-	-	-	-	-	-	-	22,267.16
Miscellaneous expenses (meals, sundries, stationery, etc)	2,966.09	2,668.46	915.60	3,460.61	854.30	76.75	234.09	3,399.14	2,851.16	4,293.95	3,170.80	3,170.78	3,220.77	31,282.50
Provision of office equipment, such as laptop computer and telephones	-	-	-	-	-	-	-	-	363.44	-	-	-	-	363.44
Training and provision of skill development for Councillors	9,336.36	-	-	-	-	-	-	-	-	-	-	-	1,025.45	10,361.81
Totals	43,343.85	23,358.38	11,260.56	24,150.53	77,420.75	11,753.34	10,579.05	27,223.78	25,037.08	27,916.67	13,515.76	13,515.74	14,591.18	323,666.67



*Good
Government*

BUDGET REVOTES
FROM 2021/2022 TO
2022/2023

17 AUGUST 2022

MID-WESTERN REGIONAL COUNCIL
CORPORATE: FINANCE

■ ■ ■ ■ ■ TOWARDS 2030



1. PROPOSED REVOTES

FUNDING SUMMARY

Fund	Funding Source	Revote Amount
General	ASSET REPLACEMENT RESERVE	436,914
	CAPITAL PROGRAM RESERVE	1,679,968
	COMMUNITY PLAN RESERVE	25,000
	CONTRIBUTIONS (OPERATING)	239,174
	DEVELOPER CONTRIBUTIONS	58,880
	GRT - AERODROMES CAPITAL	4,224
	GRT - BUSHFIRE & EMERGENCY SERVICES - CAPITAL	634,600
	GRT - BUSHFIRE & EMERGENCY SERVICES -OP	1,159,385
	GRT - ENVIRONMENT GRANTS	298,737
	GRT - FOOTPATHS & CYCLEWAYS - CAPITAL	47,306
	GRT - HERITAGE GRANTS	3,900
	GRT - NOXIOUS WEEDS GRANT	8,237
	GRT - OTHER GRANT INCOME	508,350
	GRT - OTHER GRANT INCOME - CAPITAL	364,418
	GRT - RECREATION - CAPITAL	1,358,064
	GRT - RECREATION & CULTURE	40,767
	GRT - ROADS & BRIDGES OTHER CAPITAL	926,420
	GRT - STREET LIGHTING	68,177
	LAND DEVELOPMENT RESERVE	2,396,487
	NON-CASH CONTRIBUTIONS - VOLUNTARY	67,556
	PLANT REPLACEMENT RESERVE	2,635,367
	RMS CONTRIBUTIONS - CAPITAL	370,080
	RMS CONTRIBUTIONS - OPERATING	26,030
	ROADWORKS MAINTENANCE	173,539
	SEAL EXTENSION PROGRAM RESERVE	226,082

Fund	Funding Source	Revote Amount
	UCF - RMS STATE ROADS - ORDERED WORKS	756,458
	Unrestricted Cash	1,441,845
	UNSPENT GRANTS	349,031
	UNSPENT LOANS	834,683
	INTERNAL CONTRIBUTIONS FROM OTHER FUNDS	37,000
General Total		17,176,679
Sewer	GRT - SEWER CAPITAL	19,060
	SEWER RESERVE	23,296
	Unrestricted Cash	75,578
Sewer Total		117,934
Waste	Unrestricted Cash	10,138
	WASTE RESERVE	72,443
Waste Total		82,581
Water	GRT - WATER CAPITAL	36,280
	S64	34,195
	Unrestricted Cash	76,691
	WATER RESERVE	314,611
Water Total		461,777
Grand Total		17,838,971

DETAILED REVOTES FROM 2021/2022 TO 2022/2023

Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation\$	Restricted Funding Source 2	Restricted Funding Source 2 Variation \$	Unrestricted Cash Variation \$
General	Plant Purchases - Delays in delivery of plant.	-3,347,213	INTERNAL CONTRIBUTIONS FROM OTHER FUNDS	37,000	-	0	PLANT REPLACEMENT RESERVE	2,582,760	-	0	727,453
General	Property - Ex Saleyards Stage li - Awaiting grant application	-2,396,487	-	0	-	0	LAND DEVELOPMENT RESERVE	2,396,487	-	0	0
General	Solar Farm Initiative - Stage 3 - Design stage still in progress.	-1,000,000	-	0	-	0	CAPITAL PROGRAM RESERVE	1,000,000	-	0	0
General	Mudgee Valley Park Expansion - Multi-year project. Delays due to lack of trades and materials, development application/ Construction application delays and Covid-19	-834,683	-	0	-	0	UNSPENT LOANS	834,683	-	0	0
General	Ow - Two-Mile Flat Safety-Shoulder Widening Wo308.22.13/16 - Delayed due to weather conditions. Extension approved by TfNSW.	-657,398	UCF - RMS STATE ROADS - ORDERED WORKS	756,458	-	0	-	0	-	0	(99,060)

Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation\$	Restricted Funding Source 2	Restricted Funding Source 2 Variation \$	Unrestricted Cash Variation \$
General	Owua Bore Assessments Project - Unable to complete in 2021/22 financial year due to change of scope being approved then changed again. Tender documents going out in August.	-641,856	GRT - OTHER GRANT INCOME	472,705	CONTRIBUTIONS (OPERATING)	160,682	-	0	-	0	8,469
General	Seal Extension - Coricudgy Road - Approved late in 21/22 financial year thus unable to complete.	-578,000	GRT - BUSHFIRE & EMERGENCY SERVICES - CAPITAL	578,000	-	0	-	0	-	0	0
General	Glen Willow Sports Ground Upgrades - Multi-year project. Delays due to wet weather.	-477,155	GRT - RECREATION - CAPITAL	477,155	-	0	-	0	-	0	0
General	Solar Farm Initiative - Delays in the final connection design.	-421,333	-	0	-	0	CAPITAL PROGRAM RESERVE	343,855	-	0	77,478
General	Emergency Services - Flood Feb 2022 (Drfa) - Project funding aligned to flooding event that carries over financial years.	-416,727	GRT - BUSHFIRE & EMERGENCY SERVICES - OP	416,727	-	0	-	0	-	0	0
General	Bushfire Green Waste (Epa) - Lack of contractors available means that contractor could only be confirmed in June 2022.	-353,000	GRT - BUSHFIRE & EMERGENCY SERVICES - OP	353,000	-	0	-	0	-	0	0

CORPORATE: FINANCE | BUDGET REVOTES

Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation \$	Restricted Funding Source 2	Restricted Funding Source 2 Variation \$	Unrestricted Cash Variation \$
General	Rural Sealed Regional Road Repair Program 2021/22 - Multi-year project. Delays on Gollan Road due to wet weather.	-335,504	RMS CONTRIBUTIONS - CAPITAL	167,752	-	0	-	0	-	0	167,752
General	Art Gallery Facility - Multi-year project. Delays due to lack of trades and materials, development application/ Construction application delays and Covid-19 delay	-298,504	GRT - OTHER GRANT INCOME - CAPITAL	245,423	-	0	CAPITAL PROGRAM RESERVE	53,081	-	0	0
General	Env - Cudgegong River - Awaiting grant funding. Council is currently undertaking community consultation.	-295,000	GRT - ENVIRONMENT GRANTS	295,000	-	0	-	0	-	0	0
General	Playground Equipment Upgrade - Rylstone Showground - Grant funding received late therefore design only completed in 21/22 FY. Project construction to commence in 22/23 FY.	-292,000	GRT - RECREATION - CAPITAL	146,000	-	0	ASSET REPLACEMENT RESERVE	146,000	-	0	0
General	Glen Willow Stormwater Reticulation System - Multi-year project. Delays due to lack of trades and materials, development application/ Construction application delays and Covid-19 delays.	-265,811	GRT - RECREATION - CAPITAL	265,811	-	0	-	0	-	0	0
General	Seal Extension - Queens Pinch Rd - Commencement of works delayed on site due to environmental assessment process/approvals. Project deed	-243,332	GRT - ROADS & BRIDGES OTHER CAPITAL	83,293	-	0	SEAL EXTENSION PROGRAM RESERVE	160,039	-	0	0

Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation\$	Restricted Funding Source 2	Restricted Funding Source 2 Variation \$	Unrestricted Cash Variation \$
	is for two years, works due to be complete June 2023										
General	Seal Extension - Aarons Pass Rd - Council received an extension of time due to weather conditions	-238,952	GRT - ROADS & BRIDGES OTHER CAPITAL	172,909	-	0	SEAL EXTENSION PROGRAM RESERVE	66,043	-	0	0
General	Road Extension - Between Putta Bucca & Glen Willow - Waiting on construction of the Glen Willow Bridge to be able to complete road works. Extension of time recently approved by funding body.	-229,858	GRT - ROADS & BRIDGES OTHER CAPITAL	229,858	-	0	-	0	-	0	0
General	Mudgee Showgrounds - Grandstand Fit-Out - Multi-year project. Delays due to lack of trades and materials, development application/ Construction application delays and Covid-19 delays.	-195,643	GRT - RECREATION - CAPITAL	195,643	-	0	-	0	-	0	0
General	Urban Rehab - Dunn Street Kandos Seg 10-30 - Delays due to wet weather. Works to begin in July.	-175,852	-	0	-	0	UNSPENT GRANTS	175,852	-	0	0
General	Ulan Road - Blacksprings Road To Buckaroo Lane - Delays due to wet weather, and resource availability	-173,539	ROADWORKS MAINTENANCE	173,539	-	0	-	0	-	0	0

CORPORATE: FINANCE | BUDGET REVOTES

Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation\$	Restricted Funding Source 2	Restricted Funding Source 2 Variation \$	Unrestricted Cash Variation \$
General	Seal Extension - Botobolar Rd - Project deed 6km scope was for 2 years from 2021 to 2023. Project started in 21/22 with limited works executed due to weather.	-161,925	GRT - ROADS & BRIDGES OTHER CAPITAL	114,454	-	0	-	0	-	0	47,471
General	Community Recovery Officer - External Grant funded project to continue into 2022/23	-147,990	GRT - BUSHFIRE & EMERGENCY SERVICES - OP	210,158	-	0	-	0	-	0	(62,168)
General	Munghom Gap Shoulder Widening Blackspot - Delays due to land acquisition, ongoing wet weather and crew being out with COVID.	-137,312	RMS CONTRIBUTIONS - CAPITAL	137,312	-	0	-	0	-	0	0
General	Mudgee School Zebra Crossing Infrastructure Upgrade - Works delayed due to resourcing issues and wet weather. Extension of time approved by funding body.	-127,269	GRT - ROADS & BRIDGES OTHER CAPITAL	127,269	-	0	-	0	-	0	0
General	Plans Of Management - Crown Lands - Progression of the project is contingent on other Government referral agents and timeframe not restricted to just one financial year.	-120,063	GRT - OTHER GRANT INCOME	8,264	-	0	-	0	-	0	111,799
General	Bushfire Recovery - Fencecycle Program (Epa) - Survey of bushfire affected residents received only one response. Operations Staff resources required to visit and survey the property to confirm if material is	-117,000	GRT - BUSHFIRE & EMERGENCY SERVICES - OP	117,000	-	0	-	0	-	0	0

Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation\$	Restricted Funding Source 2	Restricted Funding Source 2 Variation \$	Unrestricted Cash Variation \$
	suitable to recycle, and if so scope of plant and equipment required to remove from the property. If not viable the funding is to be returned.										
General	Mudgee Showgrounds - Redevelopment - Multi-year project. Delays due to lack of trades and materials, development application/ Construction application delays and Covid-19 delays.	-107,031	GRT - RECREATION - CAPITAL	45,038	-	0	-	0	-	0	61,993
General	IT Corporate Software - Works delayed due to consultants being unavailable. Budget required to assist with migration of enterprise software to cloud.	-105,507	-	0	-	0	CAPITAL PROGRAM RESERVE	76,839	-	0	28,668
General	Gulgong Pool Heaters - Supply issues with obtaining specific heater capacity and dimensions.	-105,000	-	0	-	0	ASSET REPLACEMENT RESERVE	105,000	-	0	0
General	Rylstone Caravan Park - Capital - Multi-year project. Delays due to lack of trades and materials, development application/ Construction application delays and Covid-19 delays.	-100,334	GRT - RECREATION - CAPITAL	35,192	-	0	ASSET REPLACEMENT RESERVE	25,058	CAPITAL PROGRAM RESERVE	40,084	0
General	Led Streetlighting Upgrade - Delays due to supply chain for the heritage lights and minor replacements still to be scheduled by Essential Energy.	-97,845	GRT - STREET LIGHTING	68,177	-	0	-	0	-	0	29,668
General	Bridge To Putta Bucca Road - D&C tender awarded. Funding deed received June 2022.	-94,331	GRT - ROADS & BRIDGES	94,331	-	0	-	0	-	0	0

CORPORATE: FINANCE | BUDGET REVOTES

Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation \$	Restricted Funding Source 2	Restricted Funding Source 2 Variation \$	Unrestricted Cash Variation \$
	Establishment on site scheduled to commence 26 July 2022.		OTHER CAPITAL								
General	Kandos Hall & Library - External Painting & Kitchen Upgrade - Inspections have revealed that there are issues with works complete that need to be finalised.	-93,995	GRT - OTHER GRANT INCOME - CAPITAL	93,995	-	0	-	0	-	0	0
General	Cudgegong Waters Caravan Park - Kiosk & Office - Multi-year project. Delays due to lack of trades and materials, development application/ Construction application delays and Covid-19 delays.	-81,392	GRT - RECREATION - CAPITAL	64,264	-	0	-	0	-	0	17,128
General	Digital Signage - Delayed whilst trying to solve banner poles	-80,000	-	0	-	0	CAPITAL PROGRAM RESERVE	80,000	-	0	0
General	Footways - Capital Works - Concreting resources not available	-79,803	-	0	-	0	ASSET REPLACEMENT RESERVE	79,803	-	0	0
General	Pedestrian Access And Mobility Plan Works - Final works to be completed	-79,127	-	0	-	0	CAPITAL PROGRAM RESERVE	42,777	-	0	36,350
General	BVW Upgrade Rnsw 2080 - Council has requested further changes to scope of works.	-75,133	GRT - ROADS & BRIDGES	56,350	-	0	-	0	-	0	18,783

Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation \$	Restricted Funding Source 2	Restricted Funding Source 2 Variation \$	Unrestricted Cash Variation \$
	Milestone 3 remaining to be completed.		OTHER CAPITAL								
General	Staff Training, Conferences & Seminars - Digital skills training with TAFE to finish in October 2022.	-67,556	NON-CASH CONTRIBUTIONS - VOLUNTARY	67,556	-	0	-	0	-	0	0
General	Hill End Road Safety Improvements - Delayed due to land acquisition.	-65,016	RMS CONTRIBUTIONS - CAPITAL	65,016	-	0	-	0	-	0	0
General	Development Control - Ongoing legal court cases.	-62,596	-	0	-	0	-	0	-	0	62,596
General	Bushfire Recovery And Resilience Community Grants - Grant extension received for this program due to no applications received initially from the Community.	-62,500	GRT - BUSHFIRE & EMERGENCY SERVICES - OP	62,500	-	0	-	0	-	0	0
General	Records Operations - For the major version upgrade of ELO. Was originally going to be used for internal Records review	-60,000	-	0	-	0	-	0	-	0	60,000
General	Road Safety Improvements - Mudgee Schools - Consultant not yet engaged	-58,880	-	0	-	0	DEVELOPER CONTRIBUTIONS	58,880	-	0	0

CORPORATE: FINANCE | BUDGET REVOTES

Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation \$	Restricted Funding Source 2	Restricted Funding Source 2 Variation \$	Unrestricted Cash Variation \$
General	Seal Extension - Coxs Creek Rd - Project deed 9km scope was for 2 years from 2021 to 2023. Project is 12 months in with 4km ready for seal – currently not sealed due to weather conditions	-56,420	GRT - ROADS & BRIDGES OTHER CAPITAL	47,956	-	0	-	0	-	0	8,464
General	Rural Reseal - Budgee Budgee - Delays due to wet weather. Heavy patching required before reseal.	-55,173	-	0	-	0	-	0	-	0	55,173
General	Roller Braking System - Delays due to being unable to secure contractors.	-52,607	-	0	-	0	PLANT REPLACEMENT RESERVE	52,607	-	0	0
General	Flirtation Hill Mudgee - Master Plan Works - Grant funding received late therefore planning activities only completed in 21/22 FY. Project infrastructure to commence in 22/23 FY.	-50,000	GRT - OTHER GRANT INCOME - CAPITAL	25,000	-	0	COMMUNITY PLAN RESERVE	25,000	-	0	0
General	Red Hill Capital Works - Multi-year project. Delays due to lack of trades and materials, development application/ Construction application delays and Covid-19 delays.	-48,615	GRT - RECREATION - CAPITAL	17,933	-	0	ASSET REPLACEMENT RESERVE	3,650	-	0	27,032

Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation\$	Restricted Funding Source 2	Restricted Funding Source 2 Variation \$	Unrestricted Cash Variation \$
General	Mudgee Showground Equipment - Supply issues with obtaining specific rodeo chutes. Supplier told to hold off entire order ready to be deployed	-47,360	GRT - RECREATION - CAPITAL	47,360	-	0	-	0	-	0	0
General	Shared Pathway - Glen Willow To Putta Bucca Wetlands Area - Delays due to wet weather and resourcing.	-42,427	GRT - FOOTPATHS & CYCLEWAYS - CAPITAL	42,427	-	0	-	0	-	0	0
General	Carpark - Mudgee Common - Delays due to wet weather	-42,279	GRT - RECREATION - CAPITAL	42,279	-	0	-	0	-	0	0
General	Indoor Pool Feasibility Study - Business progressing towards final report	-40,767	GRT - RECREATION & CULTURE	40,767	-	0	-	0	-	0	0
General	Urban Reseals - Belmore St Gulgong - Delays due to wet weather. Only part seal completed.	-37,142	-	0	-	0	-	0	-	0	37,142
General	Sculptures Across The Region - Unable to accept and install works prior to end of financial year due to limited staffing and construction works	-33,363	-	0	-	0	CAPITAL PROGRAM RESERVE	15,476	-	0	17,887
General	IT - Network Upgrades - Ongoing project work	-30,175	-	0	-	0	CAPITAL PROGRAM RESERVE	25,792	-	0	4,383

CORPORATE: FINANCE | BUDGET REVOTES

Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation\$	Restricted Funding Source 2	Restricted Funding Source 2 Variation \$	Unrestricted Cash Variation \$
General	Playground Equipment Upgrade - Lawson Park Mudgee - Supply and install issues despite lengthy order time	-30,000	-	0	-	0	ASSET REPLACEMENT RESERVE	30,000	-	0	0
General	Mudgee Admin Building Extension - Multi-year project.	-27,414	-	0	-	0	ASSET REPLACEMENT RESERVE	9,732	-	0	17,682
General	Bushfire Recovery - Ilford Hall (Drfa) - Delays due to due to COVID-19 restrictions and recent storm and flood event. Grant variation approved by funding body.	-26,062	-	0	-	0	UNSPENT GRANTS	26,062	-	0	0
General	Mudgee Cdb High Pedestrian Activity Area - Original scope of works on track. TfNSW has now varied the scope of work	-26,030	RMS CONTRIBUTIONS - OPERATING	26,030	-	0	-	0	-	0	0
General	Owua Small Projects - Project was delayed due to Covid restrictions.	-24,191	CONTRIBUTIONS (OPERATING)	55,715	-	0	-	0	-	0	(31,524)
General	Causeway Improvement - Tallaway St Gulgong - Delays due to wet weather.	-23,094	-	0	-	0	-	0	-	0	23,094
General	Information Technology Operations - Multi-factor authentication project delayed due to procurement process.	-22,538	-	0	-	0	-	0	-	0	22,538

Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation\$	Restricted Funding Source 2	Restricted Funding Source 2 Variation \$	Unrestricted Cash Variation \$
General	Tooheys Park - Building - Procurement onhold as Council is still obtaining further information from prospective tenant.	-20,000	-	0	-	0	-	0	-	0	20,000
General	Rural Fire Service - Lue Station (Capital) - Project commenced but not completed due to contractor availability.	-19,880	GRT - BUSHFIRE & EMERGENCY SERVICES - CAPITAL	28,600	-	0	-	0	-	0	(8,720)
General	Mudgee Cbd Parking Improvement - Transport Department to conduct further investigation before continuing with installation.	-19,848	-	0	-	0	-	0	-	0	19,848
General	Kandos Hall & Library - Toilets - Initial investigation has been completed.	-18,824	-	0	-	0	ASSET REPLACEMENT RESERVE	18,824	-	0	0
General	Sealing - Grimshaw Lane - Added late in the financial year. Delays due to wet weather.	-18,091	-	0	-	0	UNSPENT GRANTS	16,619	-	0	1,472
General	Active Parks - Relamp Sports Lighting - Waiting confirmation from consultant for repair works required at Glen Willow fields. Insufficient time and funds to complete within FY	-15,964	-	0	-	0	-	0	-	0	15,964
General	Rural Fire Service - Water Tank Maintenance - Project under consultation. Delays due to staffing.	-15,000	-	0	-	0	-	0	-	0	15,000

CORPORATE: FINANCE | BUDGET REVOTES

Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation \$	Restricted Funding Source 2	Restricted Funding Source 2 Variation \$	Unrestricted Cash Variation \$
General	Environment - Projects - Training to Operational staff on new Roadside Vegetation Management Plan yet to be delivered	-13,481	-	0	-	0	-	0	-	0	13,481
General	Art Gallery Exhibition Program - External grant funding plus late changes to exhibition program not within our control	-12,765	-	0	-	0	UNSPENT GRANTS	12,765	-	0	0
General	Mudgee Library Air Conditioning - Aircon unit did not arrive until July 2023.	-10,626	-	0	-	0	ASSET REPLACEMENT RESERVE	10,626	-	0	0
General	Carpark - Gulgong Pool - Delays due to wet weather. Near completion. Seal to be completed in July.	-10,524	GRT - RECREATION - CAPITAL	10,524	-	0	-	0	-	0	0
General	Property - Development Mortimer St - This project was added later in the 2021/22 financial year and was not able to complete in the time given.	-10,000	-	0	-	0	-	0	-	0	10,000
General	Natural Disaster Community Resilience Expo - Event to occur in September 2022.	-10,000	GRT - OTHER GRANT INCOME	10,000	-	0	-	0	-	0	0

Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation\$	Restricted Funding Source 2	Restricted Funding Source 2 Variation \$	Unrestricted Cash Variation \$
General	Regional Energy Zone Economic Identification - Delayed as trying to align with other EnergyCo work for efficiencies.	-10,000	GRT - OTHER GRANT INCOME	10,000	-	0	-	0	-	0	0
General	Bushfire Recovery - Olinda Hall (Drfa) - Delays due to due to COVID-19 restrictions and recent storm and flood event. Grant variation approved by funding body.	-9,663	-	0	-	0	UNSPENT GRANTS	9,663	-	0	0
General	Weed Control - Crown Lands - Spraying unable to be completed due to weather and ground conditions	-8,237	GRT - NOXIOUS WEEDS GRANT	8,237	-	0	-	0	-	0	0
General	Rag Cut And Bale Operations - Further investigation need to source baler suitable for textiles.	-7,881	GRT - OTHER GRANT INCOME	7,381	-	0	-	0	-	0	500
General	Mudgee Valley Park Upgrade - Multi-year project. Delays due to lack of trades and materials, development application/ Construction application delays and Covid-19 delays.	-7,593	GRT - RECREATION - CAPITAL	7,992	-	0	-	0	-	0	(399)

CORPORATE: FINANCE | BUDGET REVOTES

Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation \$	Restricted Funding Source 2	Restricted Funding Source 2 Variation \$	Unrestricted Cash Variation \$
General	Planning Proposal Pitts Lane - Multi-year project.	-7,110	-	0	-	0	-	0	-	0	7,110
General	Urban Reseals - Dunn St Kandos Seg 40 50 - Delayed due to wet weather. To be completed with Rehab of other Dunn St Segments for efficiencies.	-6,615	-	0	-	0	-	0	-	0	6,615
General	Mudgee Floodplain Management Plan Stage 2 - Multi-year funded project	-5,605	GRT - ENVIRONMENT GRANTS	3,737	-	0	-	0	-	0	1,868
General	Orana Water Utilities Alliance - Unspent funds to be rolled into the next financial year. Budget made up of funds from other Councils so needs to be rolled into 2022/23	-5,250	CONTRIBUTIONS (OPERATING)	22,777	-	0	-	0	-	0	(17,527)
General	Currans Cutting - Wollar Road - Acquisition Fencing - Delays due to wet weather	-5,120	-	0	-	0	-	0	-	0	5,120
General	Putta Bucca Wetlands Infrastructure - Capital - Multi-year project. Awaiting delivery of signs and seats.	-4,879	GRT - FOOTPATHS & CYCLEWAYS - CAPITAL	4,879	-	0	-	0	-	0	0
General	Airport Hanger And Studio - Multi-year project. Delays due to lack of trades and materials, development application/	-4,224	GRT - AERODROMES CAPITAL	4,224	-	0	-	0	-	0	0

Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation\$	Restricted Funding Source 2	Restricted Funding Source 2 Variation \$	Unrestricted Cash Variation \$
	Construction application delays and Covid-19 delays.										
General	Stormwater Asset Survey - The consultant hasn't finished the brief. The work for this will be packaged together with the stormwater waste planning services to be done in 2023 financial year.	-4,189	-	0	-	0	ASSET REPLACEMENT RESERVE	4,189	-	0	0
General	Mudgee Pound Upgrade - Renovation & Extension - Multi-year project. Delays due to lack of trades and materials, development application/ Construction application delays and Covid-19 delays.	-4,032	-	0	-	0	ASSET REPLACEMENT RESERVE	4,032	-	0	0
General	Heritage Near Me - Additional Strategic Planning staff resource not filled and therefore not available to deliver this project in 2021/22.	-3,900	GRT - HERITAGE GRANTS	3,900	-	0	-	0	-	0	0
General	Cudgegong Waters Park House - Multi-year project. Delays due to lack of trades and materials, development application/ Construction application delays and Covid-19 delays.	-3,447	-	0	-	0	-	0	-	0	3,447
General	Country University Centre - Multi-year project.	-3,144	-	0	-	0	-	0	-	0	3,144

CORPORATE: FINANCE | BUDGET REVOTES

Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation\$	Restricted Funding Source 2	Restricted Funding Source 2 Variation \$	Unrestricted Cash Variation \$
General	Putta Bucca Training Camp Facility -Stage 2 - Multi-year project.	-2,873	GRT - RECREATION - CAPITAL	2,873	-	0	-	0	-	0	0
General	New Road Naming Signage - Supplier manufacturing and delivering delays for the Replas signs for Bill Staff Park.	-2,064	-	0	-	0	CAPITAL PROGRAM RESERVE	2,064	-	0	0
General	Rural Sealed Road Land Matters - Land matters in progress.	-1,600	-	0	-	0	-	0	-	0	1,600
General	Library - Special Projects - Waiting for the delivery of items	-1,203	-	0	-	0	-	0	-	0	1,203
General	Riverside Caravan Park Fire Services - Approval from planning still outstanding, as an Annual Fire Safety Statement is required	-1,171	-	0	-	0	-	0	-	0	1,171
General	Rural Fire Service - Cooks Gap Station (Capital) - Project commenced but not completed due to contractor availability.	-767	GRT - BUSHFIRE & EMERGENCY SERVICES - CAPITAL	28,000	-	0	-	0	-	0	(27,233)
General	Library - General Operations - Unable to complete this financial year due to staff shortages. This grant has been extended with State Library.	0	-	0	-	0	UNSPENT GRANTS	108,070	-	0	(108,070)

Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation\$	Restricted Funding Source 2	Restricted Funding Source 2 Variation \$	Unrestricted Cash Variation \$
Sewer	Sewer Vapour Testing And Rectification - Contractor engaged to undertake smoke testing works continuing into 2023.	-47,483	-	0	-	0	-	0	-	0	47,483
Sewer	Sewer Augmentation - Rylstone & Kandos - Project extends across FY. Concept design for sewerage augmentation currently being finalised.	-42,356	GRT - SEWER CAPITAL	19,060	-	0	SEWER RESERVE	23,296	-	0	0
Sewer	Sewer Condition Assessment - Putta Bucca RM and MSTP condition assessment project currently being finalised due to wet weather delays in May-June 22.	-28,095	-	0	-	0	-	0	-	0	28,095
Waste	Remote Security Cameras At WTS - Delay in delivery of some components for electronic locking.	-38,799	-	0	-	0	WASTE RESERVE	38,799	-	0	0
Waste	New Tip Cell Construction - Final construction plans yet to be provided by Premise.	-20,928	-	0	-	0	WASTE RESERVE	20,928	-	0	0
Waste	Kandos WTS Office Replacement - Demolition work that needs to be completed in conjunction with the demolition at the Rylstone caravan park to be more cost effective	-11,686	-	0	-	0	WASTE RESERVE	1,548	-	0	10,138
Waste	Leachate Pond Enlargement - Final works in wet areas yet to be completed.	-11,168	-	0	-	0	WASTE RESERVE	11,168	-	0	0

CORPORATE: FINANCE | BUDGET REVOTES

Fund	Variation	Expenditure Budget Variation \$	Revenue Funding Source 1	Revenue Funding Source 1 Variation \$	Revenue Funding Source 2	Revenue Funding Source 2 Variation \$	Restricted Funding Source 1	Restricted Funding Source 1 Variation\$	Restricted Funding Source 2	Restricted Funding Source 2 Variation \$	Unrestricted Cash Variation \$
Water	Water Mains - Mayne Street - Weather, labour resources and Covid impacts prevented completion of total project in 22FY	-206,547	-	0	-	0	WATER RESERVE	206,547	-	0	0
Water	Water Augmentation - Mudgee Headworks - Revote total remaining budget due to continuing project into 23FY.	-77,538	GRT - WATER CAPITAL	36,280	-	0	S64	34,195	WATER RESERVE	7,063	0
Water	Water Management Studies - Continuation of strategic planning projects.	-76,691	-	0	-	0	-	0	-	0	76,691
Water	Raw Water Systems Renewals - To allow progression of NRAR rural water metering requirements	-56,704	-	0	-	0	WATER RESERVE	56,704	-	0	0
Water	Water Mains - Horatio St Court To Cox - Weather, labour resources and Covid impacts prevented completion of total project in 22FY	-27,034	-	0	-	0	WATER RESERVE	27,034	-	0	0
Water	Water Mains - Nicholson St Court St East Road Crossing - Weather, labour resources and Covid impacts prevented completion of total project in 22FY	-17,263	-	0	-	0	WATER RESERVE	17,263	-	0	0
Total		(17,838,971)		6,987,080		160,682		9,039,810		47,147	1,604,252

Mid-Western Regional Council
Project Details
Proposed Budget Revotes to 2022/23

Project	2021/22 Proposed Budget Revotes
Grand Total	(17,838,971)
CAPITAL PROJECTS	(14,265,838)
15143. MUDGEE ADMIN BUILDING EXTENSION	(27,414)
15601. IT - NETWORK UPGRADES	(30,175)
15602. IT CORPORATE SOFTWARE	(105,507)
15950. PLANT PURCHASES	(3,347,213)
15978. SOLAR FARM INITIATIVE	(421,333)
15985. SOLAR FARM INITIATIVE - STAGE 3	(1,000,000)
15987. ROLLER BRAKING SYSTEM	(52,607)
20223. RURAL FIRE SERVICE - COOKS GAP STATION (CAPITAL)	(767)
20224. RURAL FIRE SERVICE - LUE STATION (CAPITAL)	(19,880)
20226. RURAL FIRE SERVICE - WATER TANK MAINTENANCE	(15,000)
20354. MUDGEE POUND UPGRADE - RENOVATION & EXTENSION	(4,032)
30850. COUNTRY UNIVERSITY CENTER	(3,144)
35463. NEW TIP CELL CONSTRUCTION	(20,928)
35470. REMOTE SECURITY CAMERAS AT WTS	(38,799)
35500. LEACHATE POND ENLARGEMENT	(11,168)
35504. KANDOS WTS OFFICE REPLACEMENT	(11,686)
35674. CAUSEWAY IMPROVEMENT - TALLAWAY ST GULGONG	(23,094)
35731. PUTTA BUCCA WETLANDS INFRASTRUCTURE - CAPITAL	(4,879)
40406. WATER AUGMENTATION - MUDGEE HEADWORKS	(77,538)
40679. WATER MAINS - MAYNE STREET	(206,547)
40720. WATER MAINS - NICHOLSON ST COURT ST EAST ROAD CROSSING	(17,263)
40723. WATER MAINS - HORATIO ST COURT TO COX	(27,034)
40908. RAW WATER SYSTEMS RENEWALS	(56,704)
45405. SEWER AUGMENTATION - RYLSTONE & KANDOS	(42,356)
50056. MUDGEE LIBRARY AIR CONDITIONING	(10,626)
50291. KANDOS HALL & LIBRARY - EXTERNAL PAINTING & KITCHEN UPGRADE	(93,995)
50292. KANDOS HALL & LIBRARY - TOILETS	(18,824)
50465. GULGONG POOL HEATERS	(105,000)
50606. MUDGEE SHOWGROUNDS - REDEVELOPMENT	(107,031)
50608. GLEN WILLOW SPORTS GROUND UPGRADES	(477,155)
50680. GLEN WILLOW STORMWATER RETICULATION SYSTEM	(265,811)
50682. PUTTA BUCCA TRAINING CAMP FACILITY -STAGE 2	(2,873)
50776. MUDGEE SHOWGROUNDS - GRANDSTAND FIT-OUT	(195,643)
50782. MUDGEE SHOWGROUND EQUIPMENT	(47,360)
50922. SCULPTURES ACROSS THE REGION	(33,363)
50975. RED HILL CAPITAL WORKS	(48,615)
50988. PLAYGROUND EQUIPMENT UPGRADE - LAWSON PARK MUDGEE	(30,000)
50991. PLAYGROUND EQUIPMENT UPGRADE - RYLSTONE SHOWGROUND	(292,000)
50996. FLIRTATION HILL MUDGEE - MASTER PLAN WORKS	(50,000)

Mid-Western Regional Council

Project Details

Proposed Budget Revotes to 2022/23

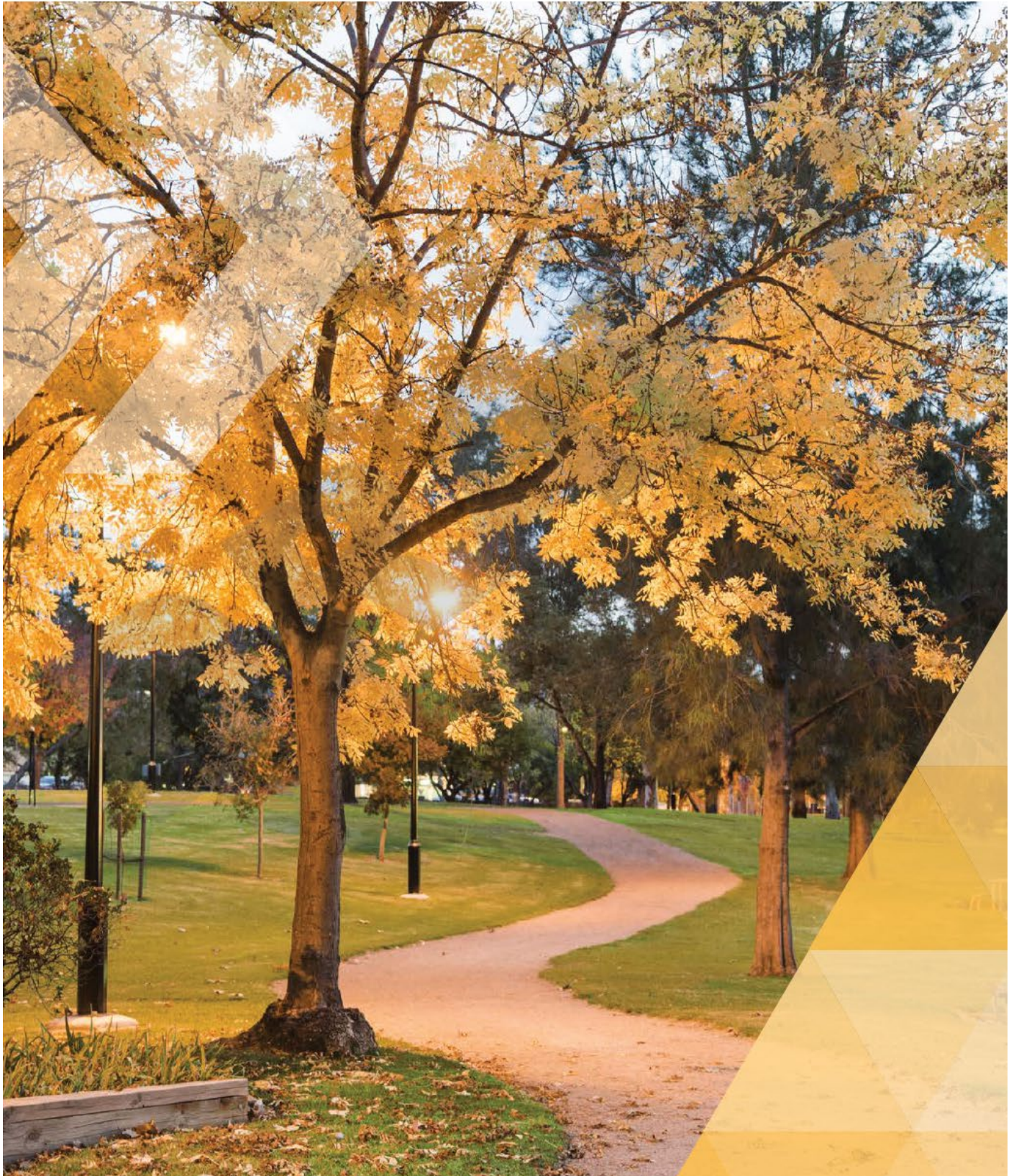
Project	2021/22 Proposed Budget Revotes
51050. ART GALLERY FACILITY	(298,504)
60110. MUDGEE CDB HIGH PEDESTRIAN ACTIVITY AREA	(26,030)
60202. URBAN RESEALS - BELMORE ST GULGONG	(37,142)
60354. URBAN REHAB - DUNN STREET KANDOS SEG 10-30	(175,852)
60359. ROAD EXTENSION - BETWEEN PUTTA BUCCA & GLEN WILLOW	(229,858)
60418. MUDGEE SCHOOL ZEBRA CROSSING INFRASTRUCTURE UPGRAD	(127,269)
61271. RURAL RESEAL - BUDGEE BUDGEE	(55,173)
61499. RURAL SEALED ROAD LAND MATTERS	(1,600)
61600. RURAL SEALED REGIONAL ROAD REPAIR PROGRAM 2021/22	(335,504)
61827. MUNGHORN GAP SHOULDER WIDENING BLACKSPOT	(137,312)
61888. HILL END ROAD SAFETY IMPROVEMENTS	(65,016)
61889. BVW UPGRADE RNSW 2080	(75,133)
62058. SEALING - GRIMSHAW LANE	(18,091)
62132. SEAL EXTENSION - AARONS PASS RD	(238,952)
62133. SEAL EXTENSION - QUEENS PINCH RD	(243,332)
62134. SEAL EXTENSION - COXS CREEK RD	(56,420)
62138. SEAL EXTENSION - BOTOBOLAR RD	(161,925)
62140. SEAL EXTENSION - CORICUDGY ROAD	(578,000)
63610. BRIDGE TO PUTTA BUCCA ROAD	(94,331)
64618. ULAN ROAD - BLACKSPRINGS ROAD TO BUCKAROO LANE	(173,539)
65100. FOOTWAYS - CAPITAL WORKS	(79,803)
65135. PEDESTRIAN ACCESS AND MOBILITY PLAN WORKS	(79,127)
65137. SHARED PATHWAY - GLEN WILLOW TO PUTTA BUCCA WETLANDS	(42,427)
65535. AIRPORT HANGER AND STUDIO	(4,224)
66114. CARPARK - MUDGEE COMMON	(42,279)
66115. CARPARK - GULGONG POOL	(10,524)
75151. CUDGEGONG WATERS CARAVAN PARK - KIOSK & OFFICE	(81,392)
75155. RYLSTONE CARAVAN PARK - CAPITAL	(100,334)
75156. RIVERSIDE CARAVAN PARK FIRE SERVICES	(1,171)
75157. MUDGEE VALLEY PARK UPGRADE	(7,593)
75160. CUDGEGONG WATERS PARK HOUSE	(3,447)
75161. MUDGEE VALLEY PARK EXPANSION	(834,683)
75266. DIGITAL SIGNAGE	(80,000)
75608. TOOHEYS PARK - BUILDING	(20,000)
75630. PROPERTY - EX SALEYARDS STAGE II	(2,396,487)
75694. PROPERTY - DEVELOPMENT MORTIMER ST	(10,000)
OPERATING PROJECTS	(3,573,133)
10080. ORANA WATER UTILITIES ALLIANCE	(5,250)
11000. OWUA SMALL PROJECTS	(24,191)
11001. OWUA BORE ASSESSMENTS PROJECT	(641,856)
11003. BUSHFIRE RECOVERY AND RESILIENCE COMMUNITY GRANTS	(62,500)

Mid-Western Regional Council
Project Details
Proposed Budget Revotes to 2022/23

Project	2021/22 Proposed Budget Revotes
15202. RECORDS OPERATIONS	(60,000)
15402. STAFF TRAINING, CONFERENCES & SEMINARS	(67,556)
15516. PLANS OF MANAGEMENT - CROWN LANDS	(120,063)
15550. INFORMATION TECHNOLOGY OPERATIONS	(22,538)
20214. BUSHFIRE RECOVERY - ILFORD HALL (DRFA)	(26,062)
20216. BUSHFIRE RECOVERY - OLINDA HALL (DRFA)	(9,663)
20220. BUSHFIRE GREEN WASTE (EPA)	(353,000)
20225. BUSHFIRE RECOVERY - FENCECYCLE PROGRAM (EPA)	(117,000)
20404. NATURAL DISASTER COMMUNITY RESILIENCE EXPO	(10,000)
20405. EMERGENCY SERVICES - FLOOD FEB 2022 (DRFA)	(416,727)
25203. WEED CONTROL - CROWN LANDS	(8,237)
30017. COMMUNITY RECOVERY OFFICER	(147,990)
30661. RAG CUT AND BALE OPERATIONS	(7,881)
35075. DEVELOPMENT CONTROL	(62,596)
35107. HERITAGE NEAR ME	(3,900)
35603. STORMWATER ASSET SURVEY	(4,189)
35668. MUDGEES FLOODPLAIN MANAGEMENT PLAN STAGE 2	(5,605)
35701. ENVIRONMENT - PROJECTS	(13,481)
35715. ENV - CUDGEGONG RIVER	(295,000)
40001. WATER MANAGEMENT STUDIES	(76,691)
45050. SEWER CONDITION ASSESSMENT	(28,095)
45057. SEWER VAPOUR TESTING AND RECTIFICATION	(47,483)
50010. LIBRARY - SPECIAL PROJECTS	(1,203)
50360. INDOOR POOL FEASIBILITY STUDY	(40,767)
50458. ACTIVE PARKS - RELAMP SPORTS LIGHTING	(15,964)
50466. PLANNING PROPOSAL PITTS LANE	(7,110)
51004. ART GALLERY EXHIBITION PROGRAM	(12,765)
60109. MUDGEES CBD PARKING IMPROVEMENT	(19,848)
60364. URBAN RESEALS - DUNN ST KANDOS SEG 40 50	(6,615)
60417. ROAD SAFETY IMPROVEMENTS - MUDGEES SCHOOLS	(58,880)
61008. NEW ROAD NAMING SIGNAGE	(2,064)
61891. CURRANS CUTTING - WOLLAR ROAD - ACQUISITION FENCING	(5,120)
67656. OW - TWO-MILE FLAT SAFETY- SHOULDER WIDENING WO308.22.1	(657,398)
68106. LED STREETLIGHTING UPGRADE	(97,845)
75304. REGIONAL ENERGY ZONE ECONOMIC IDENTIFICATION	(10,000)

ASSET MANAGEMENT STRATEGY 2022–26

MID-WESTERN REGIONAL COUNCIL



Contents

Introduction	3
Our Infrastructure Stock	5
Our Assets	6
Asset Conditions	7
Targets of Council Asset Management	9
Asset Management Improvement Strategies	11
Asset Management and Asset Maintenance Plans	14
Our Asset Management System	15
Measuring Asset Expenditure	16
Critical Assets and Risk Management Strategies	17
Definitions	20
References	21



MID-WESTERN REGIONAL COUNCIL

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Mayor	Cr Des Kennedy
General Manager	Brad Cam
Date	June 2022

Introduction

Update intro

The Asset Management Strategy (AMS) is designed to provide strategies to manage Council's physical assets including setting parameters for asset selection, maintenance, inspection and renewal which plays a key role in determining the operational performance and sustainability of Council.

This Asset Management Strategy makes up a part of the Council Resourcing Strategy as required by the Local Government Integrated Planning and Reporting framework.

The Resourcing Strategy includes:



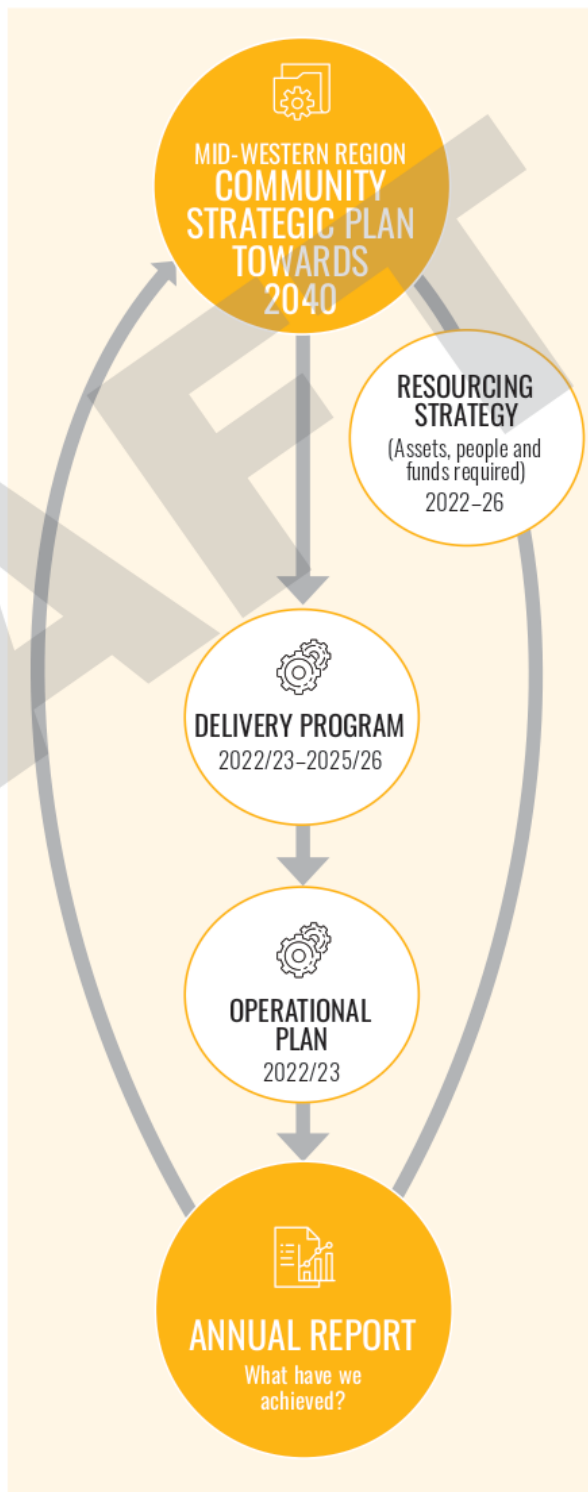
Asset Management planning incorporates an Asset Management Policy, Asset Management Strategy and Asset Management Plans.

OUR ASSET MANAGEMENT POLICY

The Asset Management Policy sets a vision for Council's asset management activities.

To manage and operate the appropriate mix of sustainable community infrastructure at the lowest life cycle cost that supports communities in the Mid-Western Region.

Council's endorsed Asset Management Policy is attached as Appendix 1.



ASSET MANAGEMENT

Asset management deals with the optimal management of physical asset systems and their life cycles. The objective is to minimise the whole of life cost of assets and to identify other critical factors such as risk or business continuity to be considered objectively in the decision making process. It represents a cross-disciplinary collaboration to achieve best net sustained value-for-money in the selection, design/acquisition, operations, maintenance and renewal/disposal of physical infrastructure and equipment, for the purpose of achieving the objectives of the Community Plan.

A strong and sustainable local government system requires a robust planning process to ensure that Council assets are managed in the most appropriate way on behalf of the community.



SERVICE DELIVERY

The Community Plan details the service outcomes and objectives, as derived from the community consultation process, of Council. The service areas that the community identified as important are grouped around the following themes:

LOOKING AFTER OUR COMMUNITY

Vibrant towns and villages with a rich history, a safe and healthy community, and a strong sense of community pride – a great place for families.



PROTECTING OUR NATURAL ENVIRONMENT

Conserving and promoting the natural beauty of our region.



BUILDING A STRONG LOCAL ECONOMY

A prosperous and diversified economy delivering lifestyle benefits to the community through employment, income and sustainable economic growth.



CONNECTING OUR REGION

Linking towns and villages and connecting our region to the rest of NSW.



GOOD GOVERNMENT

A strong Council that is representative of the community and effective in meeting the needs of our people.



Our Infrastructure Stock

Council utilises infrastructure assets to provide services to the community. Roads and footpaths provide transport services. Stormwater systems protect properties and roads from flooding and control water runoff quality. Park and landscape assets provide recreation services and enhance and protect the built and natural environment. Water and Sewerage services provide services essential for a town, and buildings provide cultural, recreational and community services. The Council provides a high level of service to its community due to the standard of construction and relatively young age of infrastructure assets.

Council's existing infrastructure stock was built over the past 100 years. During this past period of infrastructure expansion, little or no analysis was done to determine a strategy to sustain this infrastructure stock by matching future maintenance and renewal expenditures with future income projections. The pattern of infrastructure construction in the past points to a future peak in infrastructure renewal over and above maintenance activities.

The Asset Management Strategy is a procedure to determine what the asset stock needs to be to achieve strategic objectives. The Asset Management Strategy is therefore an ongoing process as strategic objectives develop and change.

The steps in this process are to:

- review the strategic trends
- assess potential impacts on the asset stock
- assess gaps in asset knowledge to enable the asset management plans and asset improvement plans to be developed

Linking of service levels and the cost of service delivery is an essential component of strategic asset management. It is essential that Council knows the true costs of service delivery and the service levels that are desired by the community and what level they are willing to pay for.

The opportunity for advanced asset management is to focus on facilitating community access to services rather than just building and maintaining assets. This can assist in reducing asset ownership below what, with hindsight, may be seen as either desirable or economically sustainable. Re-assessing what services – and, especially what level of service – the community requires, and seeking alternatives to Council service provision, can significantly reduce the future renewal funding problems Council is facing. Solutions include private provision, co-operating with neighbouring Councils and the private sector in the provision of joint services, and administrative assistance to community bodies, such as sporting or social groups, where services can be provided more cost effectively.



Our Assets

TYPES OF ASSETS

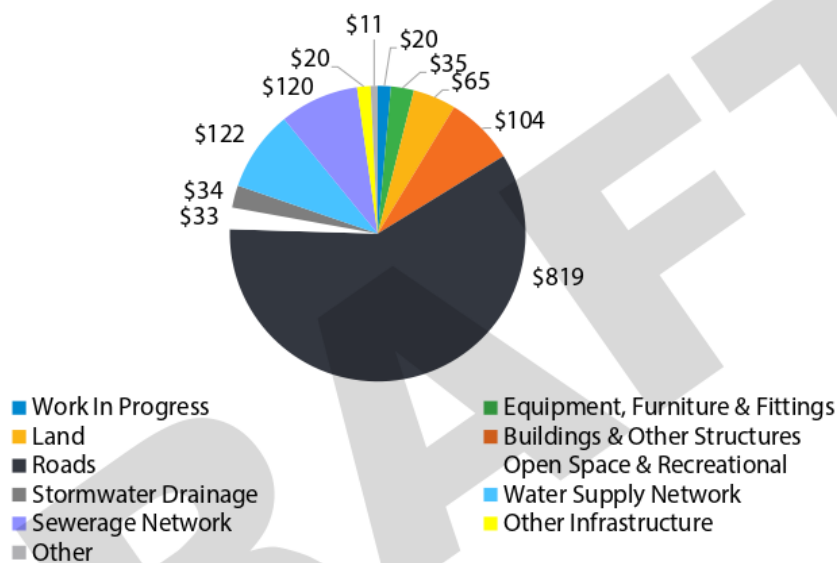
Council’s asset types are summarised below and are categorised by the Community Plan themes which illustrates how these assets help meet the objectives as set out in the Community Plan:

 <p>LOOKING AFTER OUR COMMUNITY</p>		<ul style="list-style-type: none"> Streetscaping Community Buildings Swimming Pools and Water Park Cemetery assets Library Books Parks and Reserves 	<ul style="list-style-type: none"> Showgrounds Sportsgrounds Community Service and Program assets Animal Control Facilities Public Amenities Art Gallery
 <p>PROTECTING OUR NATURAL ENVIRONMENT</p>		<ul style="list-style-type: none"> Water Supply infrastructure Waste Water infrastructure Solid Waste Management assets Stormwater infrastructure Noxious weeds assets 	<ul style="list-style-type: none"> Environment education facilities Sustainable energy assets Wetlands and other community land
 <p>BUILDING A STRONG LOCAL ECONOMY</p>		<ul style="list-style-type: none"> Tourism signage and buildings Saleyard assets 	 <ul style="list-style-type: none"> Investment property and development
 <p>CONNECTING OUR REGION</p>		<ul style="list-style-type: none"> Council roads and bridges Airports 	<ul style="list-style-type: none"> Footpaths and cycleways Communications assets
 <p>GOOD GOVERNMENT</p>		<ul style="list-style-type: none"> Corporate buildings 	 <ul style="list-style-type: none"> Plant and machinery

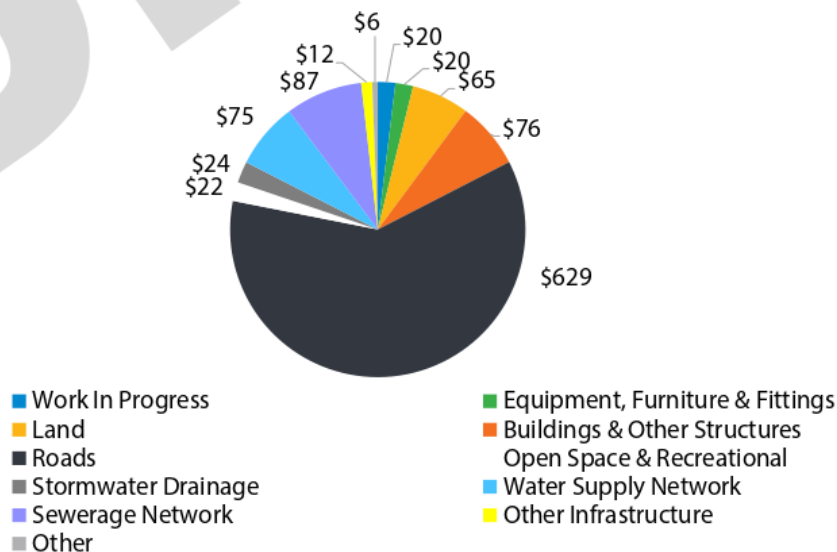
Asset Conditions

As at 30 June 2021, estimated replacement value and written down value of Council assets were over A\$1.38 billion and A\$1.04 billion, as represented in the pie charts.

GROSS REPLACEMENT COST (A\$M)



WRITTEN DOWN VALUE (A\$M)



The state of major infrastructure as reported in the Mid-Western Regional Council Financial Statements and Schedules at 30 June 2021 is included below:

Asset Class	Asset Category	Estimated Cost to bring to Satisfactory Standard	Estimated cost to bring service set by Council level of	2020/21 Required Maintenance*	2020/21 Actual Maintenance	2020/21 Carrying Value	Gross Replacement Cost (GRC)	Assets in Condition as a Percentage of Gross Replacement Cost				
								1	2	3	4	5
Buildings	Buildings	415	415	1,463	1,386	75,035	103,381	11%	2%	86%	1%	0%
	Sub total	415	415	1,463	1,386	75,035	103,381	11%	2%	86%	1%	0%
Other structures	Other structures	29	29	–	–	558	897	63%	27%	2%	5%	3%
	Sub total	29	29	–	–	558	897	63%	27%	2%	5%	3%
Roads	Roads	21,189	21,189	3,784	4,091	541,900	658,244	16%	42%	29%	8%	5%
	Bridges	747	747	189	116	59,952	113,760	15%	31%	50%	44%	0%
	Footpaths and cycleways	205	205	64	68	8,164	13,642	42%	26%	22%	10%	0%
	Other road assets	2,223	2,223	17	18	18,660	33,462	17%	24%	19%	38%	2%
	Sub total	24,364	24,364	4,054	4,293	628,676	819,108	16%	40%	31%	9%	4%
Water supply network	Other	6,546	6,546	1,643	1,644	75,004	122,004	23%	39%	23%	9%	5%
	Sub total	6,546	6,546	1,643	1,644	75,004	122,004	23%	39%	23%	9%	5%
Sewerage network	Sewerage network	4,415	4,415	1,126	1,036	87,422	119,601	28%	32%	9%	27%	4%
	Sub total	4,415	4,415	1,126	1,036	87,422	119,601	28%	32%	9%	27%	4%
Stormwater drainage	Stormwater drainage	54	54	545	600	24,247	33,698	20%	2%	78%	0%	0%
	Sub total	54	54	545	600	24,247	33,698	20%	2%	78%	0%	0%
Open space/recreational assets	Swimming pools	29	29	504	481	5,888	11,063	29%	23%	47%	1%	0%
	Other Recreational/Open Space	488	488	2,345	1,956	15,623	21,445	44%	29%	18%	8%	0%
	Sub total	517	517	2,849	2,437	21,511	32,508	39%	27%	28%	6%	0%
Other infrastructure assets	Other	269	269	736	706	12,485	20,491	26%	31%	39%	3%	1%
	Sub total	269	269	736	706	12,485	20,491	26%	31%	39%	3%	1%
TOTAL ALL ASSETS		36,609	36,609	12,416	12,102	924,938	1,251,688	19%	34%	34%	10%	4%

* Required maintenance is the amount identified in Council's asset management plans

KEY

1 EXCELLENT	No work required (normal maintenance)	3 AVERAGE	Maintenance work required	5 VERY POOR	Urgent renewal/upgrading required
2 GOOD	Only minor maintenance work required	4 POOR	Renewal required		

Targets of Council Asset Management

There is a recognised backlog in asset renewal activities of over \$36 million (see estimated cost to bring up to a satisfactory condition above), and no gap in required maintenance expenditure (see difference in required and actual annual maintenance above). Because of this, Council is working on closing the gap in asset renewal expenditure with 10 year projection of capital expenditure included in the draft Long Term Financial Plan as follows.

10 year Financial Plan for Year ending 30 June 2031	Current		Proposed Budget							
	2021/22	2022/23	2023/24	2024/25	2025/26	2026/27	2027/28	2028/29	2029/30	2030/31
Capital Expenses by asset class - New/Upgrade										
Plant and Equipment	0	30,000	0	0	0	0	0	0	0	0
Office Equipment	0	0	0	0	0	0	0	0	0	0
Operational land	0	0	0	0	0	0	0	0	0	0
Buildings - non-specialised	2,200,142	9,405,590	0	0	630,000	630,000	630,000	630,000	630,000	630,000
Other Structures	5,359,799	9,501,038	747,743	1,001,696	120,147	123,151	126,230	129,386	132,621	3,135,937
Roads & Footpath	14,317,073	6,342,201	400,000	400,000	1,370,000	1,370,000	1,370,000	1,370,000	1,370,000	1,370,000
Bridges	7,712,797	6,214,091	12,051,818	7,261,818	0	0	0	0	0	0
Stormwater Drainage	0	0	0	0	30,000	30,000	30,000	30,000	30,000	30,000
Water Supply Network	996,000	2,670,055	99,481	3,150,000	8,380,000	1,031,000	8,102,000	103,000	103,000	104,000
Sewerage Network	24,500	24,929	0	25,872	26,000	27,000	6,027,000	28,000	29,000	29,000
Swimming Pools	45,000	45,788	0	0	0	0	0	0	0	0
Other Open Space/ Recreational Assets	4,874,843	6,933,328	976,247	63,491	240,000	240,000	240,000	240,000	240,000	240,000
Other Infrastructure	358,695	203,458	206,323	211,575	215,480	220,892	226,439	233,125	237,953	244,927
Total Capital Expenses - New/Upgrade	35,888,849	41,370,478	14,481,612	12,114,452	11,011,627	3,672,043	16,751,669	2,763,511	2,772,574	5,783,864
Capital Expenses by asset class - Renewal										
Plant and Equipment	7,105,452	3,709,334	4,255,933	4,504,350	4,616,959	4,732,383	4,850,693	4,971,960	5,096,259	5,223,665
Office Equipment	0	0	0	0	0	0	0	0	0	0
Buildings - non-specialised	1,898,355	879,691	688,010	699,493	1,216,981	1,234,906	1,253,278	1,272,110	1,291,413	1,311,199
Other Structures	1,747,725	1,579,030	3,480,430	300,728	433,823	308,019	536,245	265,501	517,789	350,108
Roads & Footpath	6,871,953	7,345,246	8,099,862	8,215,299	12,050,682	12,261,201	12,476,980	12,698,153	12,924,857	13,157,229
Bridges	2,150,000	61,720	63,109	64,000	65,600	67,240	68,921	70,644	72,410	74,220
Stormwater Drainage	674,730	326,849	332,567	339,215	347,696	356,389	365,299	374,432	383,793	393,387
Water Supply Network	2,147,000	3,321,000	4,101,000	5,852,000	1,454,000	1,146,000	1,452,000	4,688,000	4,565,000	1,732,000
Sewerage Network	2,068,165	9,892,000	13,266,926	1,114,000	1,197,000	1,501,000	1,206,000	1,711,000	1,717,000	1,721,000
Swimming Pools	105,000	105,000	150,000	150,000	153,750	157,594	161,534	165,572	169,711	173,954
Other Open Space/ Recreational Assets	1,687,239	225,737	244,687	241,671	747,713	753,906	760,254	766,761	773,430	780,266
Other Infrastructure	138,279	140,698	143,161	146,022	149,673	153,415	157,250	161,181	165,211	169,341
Library Books	92,803	94,441	96,094	98,014	100,464	102,976	105,550	108,189	110,894	113,666
Total Capital Expenses - Renewal	26,686,701	27,680,746	34,921,779	21,724,792	22,534,341	22,775,029	23,394,004	27,253,503	27,787,767	25,200,035
Total Capital Expenses - All	62,575,551	69,051,224	49,403,391	33,839,244	33,545,968	26,447,072	40,145,673	30,017,014	30,560,341	30,983,899

The budget for New/Upgrade for current and next years are quite high compared to the remaining financial years, due to large amount of State and Federal fund projects. The imbalance between the rates of renewal and asset consumption has developed because renewal has a “delay function”, most council’s assets have been built by developers of with funding from State and Federal over the past 50 years or more. Renewal is lumpy; unlike depreciation, which averages the renewal costs, actual payments for renewal are periodic, and for any given asset group renewal can be far less, or much more, than depreciation.

Based on our current geopolitical and economic environment, it’s hard to predict the incoming funding so council develops 10 year financial planning to assess where it stands in preparing for the renewal challenges. Renewal is not associated with increased funding. Instead, it has to compete with many other demands on Council, and recently these demands – for social and environmental reasons as well as for increased services – have themselves been increasing. Revenue increases have not kept pace with these extra demands; a limited revenue base and community sensitivity to tax (property rates) increases have been the main reasons. Renewal is exacerbated where maintenance is underfunded.

Council’s objective is to continue reviewing depreciation methodology and effective lives. This will maintain that the infrastructure backlog figure as reported in special schedule – Infrastructure accurately reflects current costs to bring to satisfactory standard and will also necessarily require community engagement in order to determine the meaning of satisfactory.

ONGOING IMPROVEMENTS

The NSW Government aimed to improve the strength and effectiveness of local government in providing services and infrastructure that communities need. Mid-Western Regional Council has engaged in independent Internal Audit Assessment of the adequacy and effectiveness of processes, practices and controls in relation to Asset management. The review report addressed key features from “Fit for the Future” reforms as well as a number of significant recommendations:

- Sustainability
- Infrastructure and Service Management
- Structured workflow
- Invest into developing and improving Council Asset Management System
- Updating Asset Management Plans

On receiving these results, Council prepared a renewed Business Improvement Program (BIP) which directly tackles the challenges. Some of the Internal Audit recommendations are monitored through Pulse software, progress timeline, obstacles and actions. Others are reflected in Council’s renewed Business Improvement Program, which will be reported in Council’s 2021-2031 Long Term Financial Plan.

In order to meet these forecast benchmarks as well as meeting the internal audit recommendations, Council is required to complete the following Asset Management improvement strategies.



Asset Management Improvement Strategies

OBJECTIVE: EXAMINE OPPORTUNITIES TO REDUCE OPERATING EXPENSE

Strategy 1: Review current depreciation methodology and process

KEY MILESTONES	TARGET DATE	EXPECTED OUTCOME
i) Refine asset management data and systems	Ongoing	Reliable asset management data and systems to assist decision making
ii) Examine alternative depreciation options and what is required to demonstrate preferred option is fair and reasonable	Ongoing	Preferred methodology for treatment of depreciation
iii) Confirm depreciation process and educate staff	Ongoing	Consistent treatment of depreciation costs
iv) Reassess roads Fair Value ahead of 5 year schedule	Ongoing	Accurate assessment of depreciation costs
v) Implement in line with fair value assessment over 5 year period	Ongoing	Accurate assessment of depreciation costs

OBJECTIVE: IMPROVE ASSET MANAGEMENT SYSTEM, ASSET DATA AND SERVICE PROCESSES

Strategy 1: Continuation of reviewing depreciation methodology and process

KEY MILESTONES	TARGET DATE	EXPECTED OUTCOME
i) Refine asset management data and systems	Ongoing	Reliable asset management data and systems to assist decision making
ii) Examine alternative depreciation options and what is required to demonstrate preferred option is fair and reasonable	Ongoing	Preferred methodology for treatment of depreciation
iii) Confirm depreciation process and educate staff	Ongoing	Consistent treatment of depreciation costs
iv) Reassess roads Fair Value ahead of 5 year schedule	Ongoing	Accurate assessment of depreciation costs
v) Implement in line with fair value assessment over 5 year period	Ongoing	Accurate assessment of depreciation costs

Strategy 2: Invest into upgrading and updating technology for Asset and Corporate Management System

KEY MILESTONES	TARGET DATE	EXPECTED OUTCOME
i) Invest into purchasing software modules to meet ongoing demands to maintain industry standards and provide level of services	Ongoing	Deliver services and infrastructure which meets community expectations
ii) Developing and improving mobile technology to increase efficiency, council assets maintenance, reporting and recording mandatory defects under the Local Government Act and Regulations	Ongoing	Deliver services, plan maintenance and local government reporting which meets community expectations
iii) Invest and develop BIA (Business Intelligence and Analytics): Strategy, Steps, Processes and Tools with in the corporate software	TBC	Deliver smart actionable business insights and support data-driven decision making

Strategy 2: Asset management methodology and process used to determine asset condition, asset value and asset life

KEY MILESTONES	TARGET DATE	EXPECTED OUTCOME
i) Increase confidence levels and reliability of asset management data	Ongoing	Accurate asset management data
ii) Introducing mobile technology to record asset conditions and reporting defects	Ongoing	Deliver Operational Capital Projects and Maintenances Program which meets community expectations
iii) Link asset management decisions to community satisfaction levels and expectations	Ongoing	Deliver services and infrastructure which meets community expectations

OBJECTIVE: ENSURE RATIONAL ASSET DECISIONS ARE MADE

Strategy 1: Provide reliable asset management data

KEY MILESTONES	TARGET DATE	EXPECTED OUTCOME
i) Increase confidence levels and reliability of asset management data	Ongoing	Reliable asset management data
ii) Ensure training is provided to relevant staff	Ongoing	Consistent asset management practices

Strategy 2: Ensure appropriate asset management systems are in place

KEY MILESTONES	TARGET DATE	EXPECTED OUTCOME
i) Review current asset management systems and identify areas for improvement	Ongoing	Effective asset management
ii) Ensure training is provided to relevant staff	Ongoing	Consistent asset management practices
iii) Invest and develop BIA (Business Intelligence and Analytics): Strategy, Steps, Processes and Tools with in Asset Management and Corporate Management software	TBC	Effective asset management

Strategy 3: Conduct annual condition checks on key assets

KEY MILESTONES	TARGET DATE	EXPECTED OUTCOME
i) Refine framework for assessing asset conditions, with a focus on making assessments as objective as possible	Ongoing	Preferred methodology for conducting annual condition checks
ii) Ensure training is provided to relevant staff	Ongoing	Consistent annual condition check practices
iii) Continue program of annual condition checks with mobile technology	Ongoing	Accurate asset condition data

Strategy 4: Identify obsolete assets and opportunities for asset rationalisation

KEY MILESTONES	TARGET DATE	EXPECTED OUTCOME
i) Prepare list of all Council assets that may be considered surplus to requirements, starting with land and buildings	Ongoing	Identify future scope to dispose of unused or duplicate land and building assets
ii) Identify land and buildings which are not used at all and/or have no future use	Ongoing	Identify unused assets

KEY MILESTONES	TARGET DATE	EXPECTED OUTCOME
iii) Develop a strategy for disposing of assets over a 5 year time period, including community consultation strategy	Ongoing	Asset rationalisation strategy
iv) Invest and develop BIA (Business Intelligence and Analytics) to calculate costing and analyse asset lifecycle for smart decisions	TBC	Asset rationalisation strategy

Strategy 5: Educate community on current service level standards with a focus on the regionalisation of assets rather than duplication of assets around the region

KEY MILESTONES	TARGET DATE	EXPECTED OUTCOME
i) Discuss as part of community engagement process for next round of IP&R	Ongoing	Provide opportunities for community engagement and feedback
ii) Setting the Service level Standard	Ongoing	It's discussed in the Asset Management Plan and will be detailed in the Asset Maintenance Plan

Strategy 6: Consider the full life cycle costs associated with the investment in new

KEY MILESTONES	TARGET DATE	EXPECTED OUTCOME
i) Develop process/guideline for new asset investment	Ongoing	Sound business case for investment

OBJECTIVE: ADDRESS INFRASTRUCTURE BACKLOG

Strategy 1: Review existing infrastructure backlog to fully understand what is required and establish clear parameters for reporting an accurate backlog in the future

KEY MILESTONES	TARGET DATE	EXPECTED OUTCOME
i) Align activities to OLG planned changes to Special Schedule 7	Ongoing	Accurate infrastructure backlog data

Strategy 2: Develop a program to have the backlog reduced over a defined timeframe

KEY MILESTONES	TARGET DATE	EXPECTED OUTCOME
i) Develop strategy to address backlog in next 10 years, prioritising areas to be addressed	Ongoing	Strategy to address backlog

Strategy 3: Increase spend on asset maintenance to close gap between required and actual spending

KEY MILESTONES	TARGET DATE	EXPECTED OUTCOME
i) Increase confidence and reliability of data to identify actual and required expenditure	Ongoing	Accurate asset maintenance data
ii) Review general ledger and the capture of asset data to improve identification of operational versus maintenance costs	Ongoing	Accurate asset maintenance data
iii) Improve understanding of remaining useful life of assets and spending required to achieve this life	Ongoing	Accurate asset maintenance data
iv) Identify options for funding to start closing infrastructure gap based on satisfaction levels of community	Ongoing	Strategy to close asset maintenance gap
v) Increased cash funding on asset renewals (from additional revenues, operating expense savings and identified options in point iv)	Ongoing	Closure of asset maintenance gap

Asset Management and Asset Maintenance Plans

Asset Management Plans (AMPs) and Asset Maintenance Plans are long-term plans updated every 4 to 5 years outlining the asset activities for each service, frequency of maintenance, assets condition assessments and predicting the upcoming renewal projects. The International Infrastructure Management Manual (IIMM) defines an Asset Management Plan as “...a written representation of the intended asset management programs for one or more infrastructure networks based on the controlling organisation’s understanding of customer requirements, existing and projected networks, and asset conditions and performance.”

An AMP has been developed for each major asset group. AMPs incorporate, as a minimum, the following factors:

- Council will establish and monitor prescribed levels of service for each asset related service. The levels of service will be determined by Council in accordance with the Community Plan and corresponding Delivery Plan and Operating Plan
- Existing levels of service and associated cash flow projections for maintenance, renewal and upgrade will be documented
- The asset management plan will include the service provider, service levels, performance targets, asset custodian, life cycle cash flows and risk profiles for each service
- The capital works program will be developed from each asset management plan and will identify all works needed to achieve target service levels

- Council will have a funding model for all asset related services extending out at least 10 years into the future and a matching Funding Strategy which addresses the need for funds the peaks and troughs in this need and how the funds will be sourced

Asset Management Plans currently in place or programmed for development are:

- Transport (roads, bridges, culverts, footpaths, causeways, car parks, guardrails) Asset Management Plan
- Water Supply Network Asset Management Plan
- Sewerage Network Asset Management Plan
- Buildings Asset Management Plan, incorporating Other Structures
- Stormwater Drainage Asset Management Plan
- Waste Asset Management Plan
- Open Spaces Asset Management Plan

Asset Maintenance Plans need to be considered for some assets group due to the complexity of maintaining these assets class. The Maintenance Plan will include maintenance methodology, frequency and work flow. This plan will provide clarity and transparency to how these assets are maintained, steps and procedures council has implemented and developing to retain good condition of the assets, meeting community Service Level and Industry standards.

- Sewerage and Water Asset Maintenance Plan
- Transport Asset Maintenance Plan
- Open Spaces Asset Maintenance Plan

WATER SUPPLY, WASTE WATER SUPPLY AND WASTE AMPS

There are specific asset management planning requirements for water supply, sewerage and waste management. They require compliance with the *Best-Practice Management of Water Supply and Sewerage Guidelines 2007* and the *NSW Reference Rates Manual for Valuation of Water Supply, Sewerage and Stormwater Assets*. These requirements include the need to prepare an Asset Register, a 20 to 30-year Operation Plan, Maintenance Plan and a Capital Works Plan which identifies the required renewals, works for improved levels of service and works for serving new growth. Councils must continue to meet these asset management planning requirements for their water supply and sewerage infrastructure. Waste assets also meet this 30 year requirement.



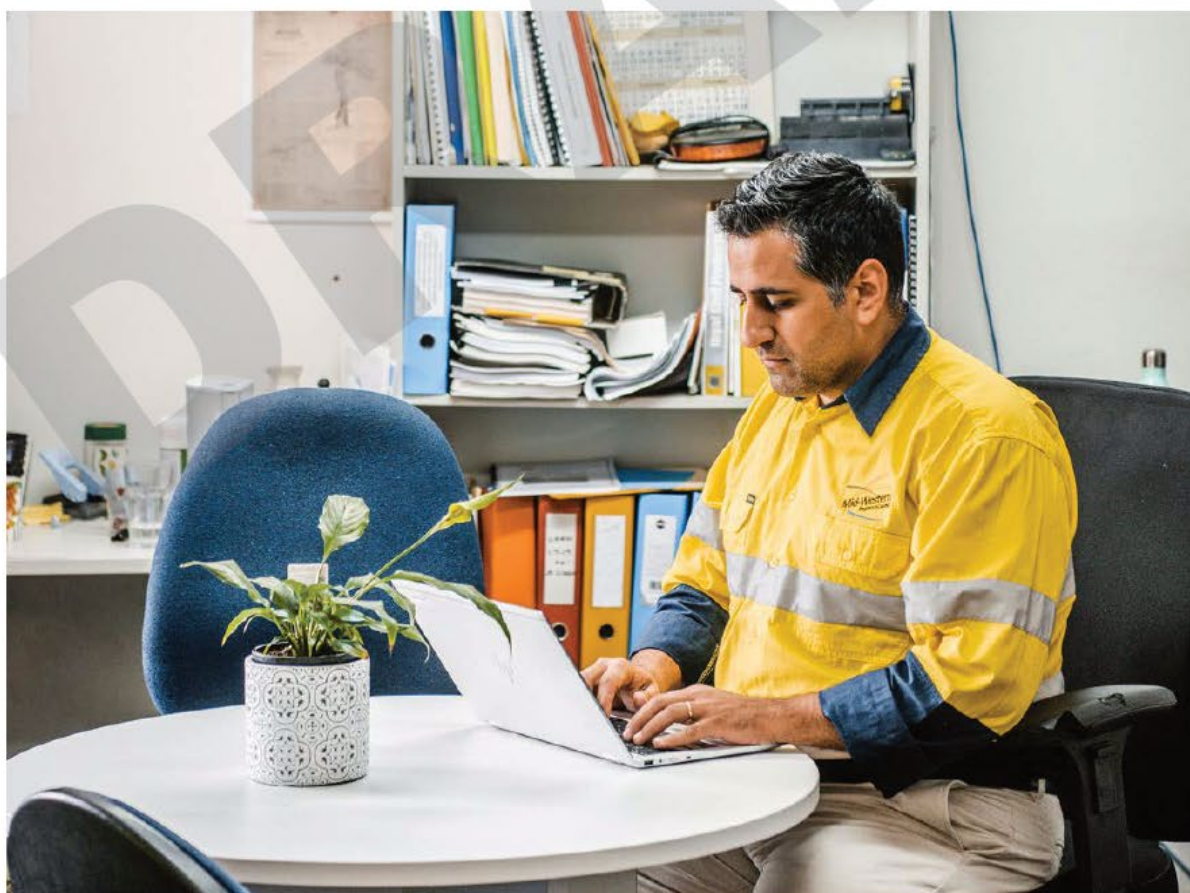
Our Asset Management System

In order to capture the necessary data to create accurate and meaningful Asset Management Plans, Council requires an up to date asset management system which collects the following information:

- Asset registers
- Asset ownership/custodianship
- Asset condition assessments
- Asset attributes (physical and lifecycle)
- Asset maintenance and management systems
- Strategic planning capabilities
- Predictive modelling
- Deterioration modelling
- Lifecycle costing

Council currently uses an integrated asset management system that captures and provides some of the above

data which require processing and analysing manually in order to complete fair value financial modelling as required on a 5-year cyclical rotation for each major asset category. This asset management system captures actual data for capital works which is then used to model Asset Management Plans and long term financial asset planning. The ability to capture operating costs against each asset will be developed over the next couple of years based on resources and prioritization of corporate projects. The current data analysing processes are manual, cumbersome and time consuming. Based on the current demand for running data analysis more frequently for various purposes, incorporating BIA (Business Intelligence and Analytics) along with other necessary modules within the asset management system will improve efficiency and allow users to navigate through the data in a structured process to create financial modelling, lifecycle cost, and run various analysis using correct data sets.

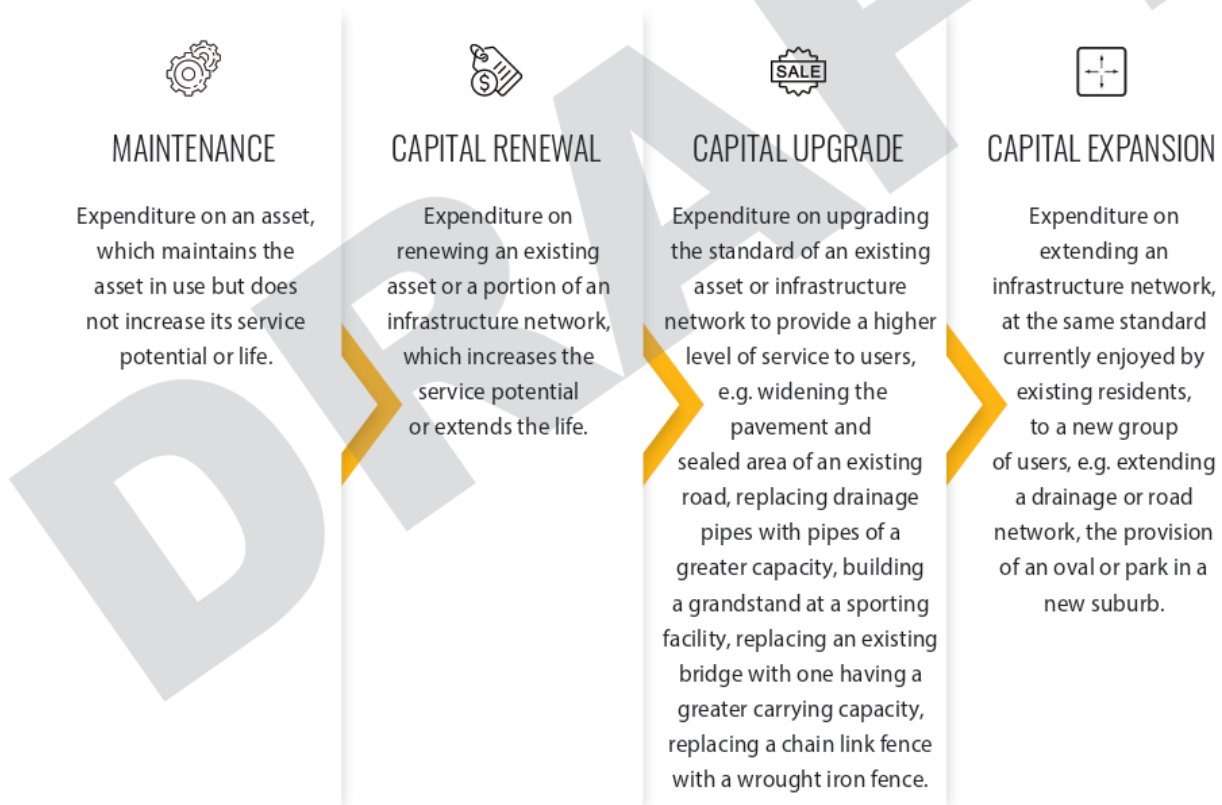


Measuring Asset Expenditure

An understanding of expenditure trends is fundamental to managing assets. Assets that are allowed to deteriorate beyond their optimum renewal period will start requiring high levels of reactive maintenance in order to control risk and correctly separating recurrent or reactive maintenance costs from asset renewals enables better asset planning and the reduction of lifecycle costs.

It is also important to differentiate between capital expenditure on the existing asset stock and capital expenditure on expanding the asset stock.

Expenditure on public works assets may be split into four categories, maintenance, capital renewal, capital upgrade and capital expansion.



Critical Assets and Risk Management Strategies

Management of risk and liability through a risk assessment process is fundamental in assisting Council to allocate resources and meet community expectancies.

CRITICAL ASSETS

Critical assets are recognised and addressed in individual Asset Management plan. For example in Transport Asset Management Plan will contain all the transport critical assets such as roads, bridges, culverts, footpaths, causeways, guardrails, kerbs and gutters with condition rating of 4 (renewal required) and 5 (urgent renewal/update required) which are currently monitored, maintained and part of current and future renewal program.

RISK MANAGEMENT STRATEGIES

Council aims to improve its risk management processes in regard to Asset Management and will incorporate information from the Asset Management System with the following risk management strategies to develop an ongoing risk management plan within the next 24 months.

The main elements of risk management as defined in AS/NZS 4360 are:

- Establish Risk Management Context
- Determine Risk Evaluation Criteria
- Identify Risks
- Analyse Risks
- Evaluate Risks
- Treat Risks (or Manage Risks)
- Monitor and Review



The risk management context is established in three areas, strategic, organisational and risk management. The Strategic Context involves identifying:

- the relationships between the council and the environment
- strengths, weaknesses, opportunities and threats (SWOTs), including the financial, operational, competitive, political (public perception/image) social and legal aspects of the council's functions
- the stakeholders

The purpose of the strategic context is to identify and determine the crucial elements that might support or impair the council's ability to manage the risks associated with its operation.



The purpose of this stage is to develop an understanding of the council and its capabilities, as well as its goals and objectives and the strategies that are in place to achieve them.



The purpose of this stage is to develop the criteria against which risk is to be assessed. This may depend on operational, technical, financial, legal, social, humanitarian, or other criteria. Risk evaluation criteria can include:

- financial loss of up to a certain amount
- injury to a person requiring hospitalisation
- number of incidents not to exceed a certain amount



Risk identification seeks to identify the risks and elements at risk that may need to be managed. A well structured systematic process is crucial, because a potential risk not identified at this stage is excluded from further analysis. All risks should be identified, whether or not they are under the control of the council.


RISK IDENTIFICATION (CONT'D)

The risks are identified in three stages:

- **What can happen?** The aim is to generate a comprehensive list of events which might affect each element of the council's service delivery
- **How and why it can happen.** It is necessary to consider possible causes and scenarios. There are many ways an event can be initiated. It is important that no significant causes are omitted
- **Are risks credible?** An assessment of credibility of all risk is undertaken to ensure that credible risks receive proper and due consideration

Risks should be defined as a statement of risk. For example: There is a risk of injury to people from tripping on a paved footpath.


RISK ANALYSIS

Risk is analysed by combining estimates of likelihood and consequences in the context of existing control measures. The objective of a risk analysis is to separate the minor acceptable risks from the major risks and to provide data to assist in assessment and treatment of risk. The level of risk is determined by considering two aspects against existing controls:

- how likely it is that things may happen (likelihood, frequency of probability)
- the possible consequences (impact or magnitude of the effect) if they do occur

The risk analysis process is to:

- identify the existing management controls, technical systems and procedures to control risk
- evaluate the likelihood of events occurring and their consequences in the context of these existing controls
- combine the evaluation of likelihood and consequences to produce a level of risk


RISK EVALUATION

Risk evaluation involves comparing the level of risk found during the analysis process with previously established risk criteria and deciding whether the risks can be accepted. Options should be evaluated on the basis of the extent of risk reduction and the extent of benefits or opportunities created, taking into account the criteria developed in Risk Context. In general, the adverse impact of risks should be made as low as reasonably practicable irrespective of any absolute criteria. A combination of options may give the optimum risk reduction outcome. If the risks fall into the acceptable or low categories, they may be accepted with minimal further treatment. Acceptable or low risks should be monitored and periodically reviewed to ensure they remain acceptable. If the risks do not fall into the acceptable or low category, they should be managed using one of the options below. The output of risk evaluation is a prioritised list of risks for further action.

No.	Key Word	Potential consequence				Likelihood				
		Health & Safety	Environmental	Financial	Public Image	A	B	C	D	E
						RARE Requires unusual chain of events	UNLIKELY Not expected to occur	POSSIBLE May occur	LIKELY Will occur occasionally	ALMOST CERTAIN Expected to occur
5	CATASTROPHIC	Fatality or work related fatal disease	Detrimental impact to environment or community. High level prosecution	Greater than \$500,000	International media coverage	Moderate 13	High 19	Critical 22	Critical 24	Critical 25
4	SEVERE	Serious permanent injury or illness	Long term negative impact. Low level prosecution	No more than \$500,000	National media coverage	Moderate	Moderate 12	High 18	Critical 21	Critical 23
3	SERIOUS	Lost time injury or illness	Serious but reversible impact media enquiry	No more than \$100,000	State media coverage	Low	Moderate 9	Moderate 11	High 17	Critical 20
2	SIGNIFICANT	Medically treated injury or illness	On-site incident promptly contained requiring external clean up aid	No more than \$25,000	Local media coverage	Low	Low 5	Moderate 8	High 15	High 16
1	MINOR	First Aid treated injury or illness	On-site incident immediately contained and cleaned up	No more than \$5,000	Public complaint	Low	Low 2	Low 3	Moderate 7	High 14

STATUS	ACTION REQUIRED	NOTIFY	MONITOR
CRITICAL	Do not commence activity. Immediate senior management action required	General Manager (Notified by Group Mgr)	NA
HIGH	Immediate action required to reduce risk. Authorisation required before commencing activity.	Group Manager (Notified by Operational Mgr)	Weekly
MODERATE	Risk reduction required to as low as reasonable practicable before commencing task	Operational Manager	Monthly
LOW	Follow routine procedures and monitor risk.	Team Leader	Annually



MANAGE THE RISKS

Risks need to be managed appropriately to the significance of the risk and importance of the affected item/asset to the region. As a general guide:

- low levels of risk can be accepted and additional action may not be needed; these risks should be monitored
- major or significant levels of risk should be managed with actions to reduce or eliminate the risk
- high levels of risk require close management and the preparation of a formal plan to manage the risks

Options for managing risk are shown below. The optimum solution may involve a combination of options.

- Avoid the risk by deciding not to proceed with the activity that would incur the risk, or choose an alternative course of action that achieves the same outcome
- Reduce the level of risk by reducing the likelihood of occurrence or the consequences, or both
 - the likelihood may be reduced through management controls, organisational or other arrangements which reduce the frequency of, or opportunity for errors, such as alternative procedures, quality assurance, testing, training, supervision, review, documented policy and procedures, research and development
 - the consequences may be reduced by ensuring that management or other controls, or physical barriers, are in place to minimise any adverse consequences, such as contingency planning, contract conditions or other arrangements.
- Transfer the risk by shifting the responsibility to another party (such as an insurer), who ultimately bears the consequences if the event occurs. Risks should be allocated to the party, which can exercise the most effective control over those risks.
- Accept and retain the risks within the organisation where they cannot be avoided, reduced or transferred, or where the cost to avoid or transfer the risk is not justified, usually because the risk is acceptable or low. Risks can be retained by default, i.e. Where there is a failure to identify and/or appropriately transfer or otherwise manage risks.
- The cost of managing risks needs to be commensurate with the benefits obtained, the significance of the event and the risks involved



RISK MANAGEMENT PLANS

Plans should document how the chosen options are to be implemented. The plan should identify responsibilities, schedules, the expected outcomes of treatment, budgeting, performance measures and the review process to be set in place.

The successful implementation of the risk management plan requires an effective management system which specifies the methods chosen, assigns responsibilities and individual accountabilities for actions and monitors them against specified criteria.



MONITORING AND REVIEW

Monitoring and review is an essential and integral step in the process of managing risk. It is necessary to monitor risks, the effectiveness of any plans, strategies and management systems that have been established to control implementation of risk management actions. Risks need to be monitored periodically to ensure changing circumstances do not alter the risk priorities.



RISK MANAGEMENT PROCESS IMPROVEMENT

The process improvement covers 3 steps and identifies further issues to be addressed.

- Improve risk management process and link to assets
- Link work history for scheduled and reactive work to assets
- Monitor costs on important scheduled and reactive jobs

Definitions

Asset Class	Grouping of like asset categories, e.g. all pavement, seal, kerb and gutter are all part of the asset class of roads.
Asset Condition Assessment	The process of continuous or periodic inspection, assessment, measurement and interpretation of the resultant data to indicate the condition of a specific asset so as to determine the need for some preventative or remedial action.
Business intelligence and analytics	Integrate, share and centrally manage data across the entire business. Eliminate information silos and allow data to be queried from enterprise applications, without the complexity of traditional business intelligence solutions.
Current Replacement Cost	The cost of replacing the service potential of an existing asset, by reference to some measure of capacity, with an appropriate modern equivalent asset.
Depreciation	A measure of the average annual consumption of service potential over the life of the asset. Depreciation is not a measure of required expenditure in any given year.
Fair Value	The amount for which an asset could be exchanged or liability settled, between knowledgeable, willing parties, in an arm's length transaction, normally determined by reference to market or comparable prices. Generally, there is no market for Council's infrastructure assets and Fair Value is current replacement cost less accumulated depreciation.
Infrastructure Assets	These are typically large, interconnected networks of or portfolios of composite assets such as roads, drainage and recreational facilities. They are generally comprised of components and sub-components that are usually renewed or replaced individually to continue to provide the required level of service from the network. These assets are generally long lived, are fixed in place and often have no market value.
Level of Service	The defined service quality for a particular Primary Service (e.g. roads, child care services) against which service performance may be measured. Service levels usually relate to quality, quantity, reliability, responsiveness, environmental, acceptability and cost (e.g. the number of accidents on local roads).
Maintenance and Renewal Gap	Difference between estimated budgets and projected expenditures for maintenance and renewal of assets, totalled over a defined time (e.g. 5, 10 and 15 years).
Materiality	The concept of materiality referred to in accounting standards has been amplified in these guidelines. An asset is material if its omission would result in misleading the reader of the financial report. The convention of an asset being material if greater than 10 – 15 % of asset value is only partly useful for road assets because of historic variability in practice in measuring value. The overriding principle is that financial reports present a true and fair picture of the financial position of the council.
Operating Expenditure	Expenditure on providing a service, which is continuously required including staff salaries and wages, plant hire, materials, power, fuel, accommodation and equipment rental, on-costs and overheads. Operating expenditure excludes maintenance and depreciation.
Remaining Life	The time remaining until an asset ceases to provide the required service level or economic usefulness. Remaining life is economic life minus age.
Risk Management	The allocation of probability and consequence to an undesirable event and subsequent actions taken to control or mitigate that probability and/or consequence.
Service Level Target	Target set for level of service to be achieved in the next reporting period (e.g. to retain, increase or reduce the number of accidents on local roads).
Useful Life	The period from the acquisition of an asset to the time when the asset, while physically able to provide a service, ceases to be the lowest cost alternative to satisfy a particular level of service. The economic life is at the maximum when equal to the physical life, however obsolescence will often ensure that the economic life is less than the physical life.

References

- Mid-Western Regional Council Internal Audit Report Asset Management Review, Crowe, March/April 2020
- Strategic Asset Management Strategy (MWRC), Jeff Roorda and Associates, August 2005
- Planning and Reporting Manual, Division of Local Government, March 2013
- International Infrastructure Management Manual, IPWEA, 2011
- Best-Practice Management of Water Supply and Sewerage Guidelines, NSW Department of Water & Energy, 2007
- 2020/21 Mid-Western Regional Council Financial Statements and Special Schedules, MWRC, 2021

DRAFT

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DRAFT





POLICY

Asset Management

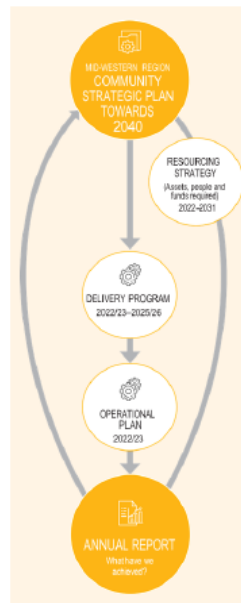
*A prosperous
and progressive
community*

ADOPTED	VERSION NO	1.1
COUNCIL MEETING MIN NO	REVIEW DATE	June 7 /2022
DATE:	FILE NUMBER	

Objective

The policy objectives are to set the broad framework for undertaking asset management in a structured, consistent and coordinated manner, and to set asset management processes throughout Mid-Western Regional Council by;

- Ensuring Councils services and infrastructure are provided in a sustainable manner, with the appropriate levels of service to residents, visitors and the environment;
- Safeguarding Council assets by implementing appropriate asset management strategies and appropriate financial resources for those assets;
- Creating an environment where all Council employees have an integral role in overall management of Council assets by creating and sustaining a culture asset management awareness throughout the Council;
- Meeting legislative requirements for asset management;
- To manage and operate the appropriate mix of sustainable community infrastructure at the lowest life cycle cost.



Legislative requirements

Local Government Act 1993

Integrated Planning and Reporting Guidelines and Manual September 2021

POLICY: ASSET MANAGEMENT | 1.1, ERROR! REFERENCE SOURCE NOT FOUND.

Related policies and plans

- Asset Management Strategy

Policy

Background

Council is committed to a systematic asset management methodology to ensure appropriate asset management practices are applied across infrastructure managed by Council. This includes ensuring assets are planned, created, operated, maintained, renewed and disposed of in accordance with Council's priority of service delivery at the lowest life cycle cost.

Council is responsible for a significant portfolio of community infrastructure, owns and maintains assets over half a billion dollars' worth at June 2022, to support its core business of delivering services to the community.

The current Asset Management Plans (AMP) rely on data that is in its infancy and both the data and related AMP's will develop further over the next few years to provide a framework that:

- Ensures Council's services and infrastructure are provided reliably, with the appropriate quality levels of service to residents, visitors and the environment.
- Safeguards Council assets including physical assets and employees by implementing appropriate asset management strategies and appropriate financial treatment of those assets.
- Creates an environment where all Council employees take an integral part in overall management of Council assets.
- Meets and surpasses legislative requirements for asset management.
- Ensures resources and operational capabilities are identified, and responsibility for asset management is allocated.
- Demonstrates transparent and responsible asset management processes that align with best practice.

Principles

A consistent framework must exist for implementing systematic asset management and appropriate asset management best practice across all departments of Council.

The asset management framework shall incorporate an overriding Asset Management Strategy (AMS), and Asset Management Plans (AMP's) for each class of Council assets.

The AMP's shall cover a minimum period of 10 years and have a focus on long term sustainability for the benefit of current and future generations.

The asset management framework must rely on an up to date Asset Management System which shall incorporate the following information:

- Asset registers;
- Asset condition assessments;
- Asset maintenance and management systems;
- Strategic planning capabilities;
- Predictive modelling;
- Deterioration modelling; and
- Lifecycle costing.

POLICY: ASSET MANAGEMENT | 1.1, ERROR! REFERENCE SOURCE NOT FOUND.

Relevant legislative requirements and political, social and economic environments are to be taken into consideration in asset management.

Asset management is to be integrated with existing planning and operational processes.

Asset renewal plans will be prioritised and implemented progressively based on the level of service, as determined by the Council after consultation with the community, required and the effectiveness of the current assets to provide that level of service.

Systematic and cyclic renewal reviews will be applied to all asset classes to ensure that the assets are managed, valued and depreciated in accordance with appropriate best practice, applicable Australian Standards and legislative requirements.

Council's financial asset information shall be audited annually as a part of the external financial audit, and Councils Asset Management Systems shall be reviewed and internally audited.

ROLES AND RESPONSIBILITIES

Councillors adopt the policy and ensure sufficient resources are applied to manage the assets.

The **General Manager** has overall responsibility for developing asset management systems, policies and procedures and reporting on the status and effectiveness of asset management within Council.

Directors and Managers are responsible for implementing asset management systems, policies and procedures.

Employees with management or supervisory responsibility are responsible for the management of assets within the area of responsibility as determined under asset management plans.

Employees will be tasked under implementation plans, and will be responsible for the timely completion of those activities contained within those plans, and shall be familiar with asset management and how it is applied within the Mid-Western Regional Council.

NSW Public Spaces Charter

Ten principles for public space in NSW



NSW Department of Planning,
Industry and Environment

October 2021



Acknowledgement of Country

The Department of Planning, Industry and Environment acknowledges the Traditional Custodians of the land and pays respect to Elders past, present and future.

We recognise Aboriginal and Torres Strait Islander peoples' unique cultural and spiritual relationships to place and their rich contribution to society. NSW is Aboriginal land, so throughout this document Aboriginal peoples are referred to specifically, rather than First Nations, or Torres Strait Islander peoples.

Aboriginal peoples take a holistic view of land, water and culture and see them as one, not in isolation to each other. The NSW Public Spaces Charter is based on the premise upheld by Aboriginal peoples that if we care for Country, it will care for us.

Published by the NSW Department of Planning, Industry and Environment

dpie.nsw.gov.au

NSW Public Spaces Charter

Image on front cover: Noreuil Park, Albury. Courtesy of Destination NSW.

Artwork (left) by Nikita Ridgeway.

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Ministerial foreword

As the first NSW Minister for Public Spaces, it's clear to me that public space is everyone's business. This is why it's a priority of the NSW Government to increase access to quality, green public spaces, and why we have developed the NSW Public Spaces Charter.

The charter provides ten principles for quality public space that have been designed to maximise the social, cultural, environmental and economic benefits that public space delivers.

The charter has been more than a year in the making and is based on deep and broad engagement. It's truly a community-led tool, designed in collaboration with practitioners and reflecting what communities love about public spaces and what they tell us should be improved.

In November 2021 the NSW Government released survey results showing almost half of respondents were using public spaces and parks more than ever before.

Indeed, our love for public spaces has never been more in focus. It's no secret that the pandemic has emphasised the inherent need we have for safe and welcoming public space. At the height of COVID-19, many of us experienced newfound joy and delight in public spaces that we may have previously taken for granted. This showed how much we need them on a physical, emotional and psychological level.

The Government is responding to the community with this new charter. We're setting the bar to help change how people think about, view, and engage with great public spaces.

This unifying set of principles, based on solid evidence and research, will underpin the creation and improvement of high-quality public spaces across NSW.

All our public spaces should reflect the values, needs and aspirations of the communities they serve, including those who are vulnerable and hard-to-reach. Ensuring public spaces are

equitable and inclusive will lead to the creation of a more just State. Making public spaces that enable social interaction in beautiful places is an amazing vision that I believe everyone can share.

I encourage every organisation that creates, cares for, and uses public spaces in NSW to sign up to the charter. Let's work together to bring forth a new legacy for public space. Let's use these principles to transform how we think about and deliver quality public spaces that help all NSW communities love the places they live.



The Hon. Rob Stokes, MP
Minister for Planning and Public Spaces
Minister for Transport and Roads



Statement of Country

*Barangaroo Reserve.
Photographer: Alison Page
and Nikolas Lachajczak*

Country is a holistic worldview that incorporates humans, non-humans, more-than-humans and all the complex networks and systems that connect them. Country is known to be alive and sentient, and continually communicating. Country is not constrained by boundaries, lines on a map, or edges of a site. Instead, Country soars high into the atmosphere, plunges far into the ocean, and deep into the earth's crust. Country has diverse and distinct ways of expressing and being understood depending on the people, place, and context. Country is associated with Aboriginal people's cultural groups, it is where their ancestors still walk, and the places to which they belong. But it is much more than this. Country is known in physical, spiritual, and cultural ways. Tangibly it might include the flora, fauna, geology, elements, and waters. Intangibly Country includes expressions about place, spirit, narratives, identity, cultural practice, Law, lore, languages, and customs. Country holds all these individual aspects together harmoniously, storing knowledges like an eternal library.

While it may not have been built in the way it is currently understood, Aboriginal people have always designed and managed the environment, in collaboration with Country. The built environment is part of Country and needs to be cared for and designed as such. Likewise, relating to Country through public spaces enables those

spaces to embody the spirit of place as story, culture and life are celebrated there. Because Country communicates and holds all knowledges, Country can guide what it needs to be healthy, and how it must be designed and managed, including in public spaces. Being in and activating public spaces as an extension of Country is part of caring for Country. Allowing Country to be lead designer or planner ensures the inclusion of all who access spaces, not just humans, as Country is inherently inclusive. Knowledge Holders of Country are descended from Country and know it best. Working together with them is key to understanding how to connect with and care for Country. Everyone is responsible for caring for Country as we all live, learn, work, and play on Country.

With thanks to the Elders, Knowledge Holders, kin, and family who have generously shared their knowledges and means of connecting to Country. With thanks to Country for providing these words and understandings.

Dr Danièle Hromek

Dr Hromek is a Budawang woman of the Yuin nation. She works as a cultural designer and researcher considering how to Indigenise the built environment by creating spaces to substantially affect Indigenous rights and culture within an institution.



*Western
Sydney Parklands.
Courtesy of Greater
Sydney Parklands*

Contents



Ministerial foreword	PAGE 3	Community focused	PAGE 14
Statement of Country	PAGE 4	Culture and creativity	PAGE 15
Contents	PAGE 5	Local character and identity	PAGE 16
Introduction	PAGE 6	Green and resilient	PAGE 17
The purpose of the charter	PAGE 7	Healthy and active	PAGE 18
Who should use the charter	PAGE 10	Local business and economies	PAGE 19
Using the charter	PAGE 11	Safe and secure	PAGE 20
10 Principles	PAGE 12	Designed for place	PAGE 21
Open and welcoming	PAGE 13	Well-managed	PAGE 22

Introduction

Public space is where public life happens.

It guides and shapes our experience of the places where we live, work and visit, filling them with vibrancy and energy as we connect, interact and share with others. It begins the moment you leave your front door and connects us to both work and leisure, and public and personal life. It includes the streets we walk or cycle in, the town squares we socialise in, libraries we learn in, community halls we gather in and parks, playgrounds and sport fields where we relax or play. It provides a wealth of social, cultural, economic and environmental benefits that are critical to the health, wellbeing and prosperity of communities.

People are at the heart of public space. The way they use it transforms it into a meaningful place with layers of shared experiences, collective memories and a mixture of identities. When people feel attached to public space, they are more likely to adopt, use and care for the space themselves and have a more powerful sense of belonging to their community.

*Greek Festival of Sydney, Darling Harbour.
Courtesy of Placemaking NSW*

Public spaces are all places publicly owned or of public use, accessible and enjoyable by all for free and without a profit motive. They include:



PUBLIC OPEN SPACES

parks, gardens, playgrounds, public beaches, riverbanks and waterfronts, outdoor playing fields and courts, and bushland that is open for public access



PUBLIC FACILITIES

public libraries, museums, galleries, civic/community centres, showgrounds and indoor public sports facilities



STREETS

streets, avenues and boulevards; squares and plazas; pavements; passages and lanes, and bicycle paths

The quality of public space is just as important as its accessibility, as quality makes people feel safe, welcome and included. The quality of a public space is reflected not only in its physical form—how it's designed, maintained and integrated with its environment—but also through the activities it supports and the meaning it holds. It can be evaluated by asking:

- Am I able to get there?
- Am I able to play and participate?
- Am I able to stay?
- Am I able to connect?



The purpose of the charter

The NSW Department of Planning, Industry and Environment has developed the NSW Public Spaces Charter to support everyone in NSW to have access to high-quality public space that allows them to enjoy and participate in public life. The charter identifies 10 principles for quality public space that distil and reflect evidence-based research, best practice and consultation with Aboriginal peoples, community members and representatives from state and local government, industry, the business and cultural sectors and a diverse range of public space experts.

The charter's principles are premised on the understanding that there isn't a one-size-fits-all approach to public space. Every public space has its own unique history, heritage, context and is supporting the different needs and uses of a specific community. There are significant and important differences in landscape, climate, amenity, population density and social and cultural demographics across Greater Sydney and regional and rural New South Wales. All these factors influence where and how people use public space and what the priorities are for their community. There are no set rules as to where and how the charter applies – it could apply to the management of a national or regional scale parkland, just as it could to the design of a new pocket park.



*Wagga Beach,
Wagga Wagga.
Courtesy of Wagga
Wagga City Council*

The 10 principles

The charter identifies 10 principles for quality public space, to support all those who advocate on behalf of, provide advice on, make decisions about, or plan, design, manage and activate public spaces in NSW.



The values

The charter is also built on the following core values that resonate strongly across all the principles. These values should always be considered when applying the principles.

Courtesy of Destination NSW



Connection to Country

All public space in NSW is on Country, which is at the core of every Aboriginal person's identity and sense of belonging. It is the place from which Aboriginal languages and cultures are derived, which determine families, kinship and communities. Aboriginal peoples are the Traditional Custodians of all public space in New South Wales. Acknowledging and valuing Aboriginal peoples and cultural knowledge when public space is planned, managed and delivered can promote and strengthen connection to Country and create healing for both Aboriginal communities and non-Aboriginal peoples too.

Courtesy of Adam Hollingworth

Equity and inclusion

Public space is a community asset that should support a society in which everyone can participate, prosper, and reach their potential. Inclusion in public spaces and in the processes to plan, design, manage and activate them is central to creating equitable public spaces and ensuring all people can access the benefits they provide.



Community engagement

Engaging the community as active participants in decision-making processes when planning, designing, managing and activating public space will help ensure that it reflects their values, needs and aspirations. Participatory processes, collaboration and co-design in public space projects help build trust, which then increases people's use of and attachment to the space. Ensuring that vulnerable and hard-to-reach communities are engaged in these processes leads to more welcoming and inclusive public space.

*Kids on Q, Campbelltown.
Courtesy of Campbelltown City Council*

Who should use the charter

The charter can be used by any organisation or practitioner involved in the planning, design, delivery, management or evaluation of public space. Becoming a signatory to the NSW Public Spaces Charter will help your organisation to provide or advocate for better public spaces. It will also allow your organisation to access the charter's community of practice, one-on-one support from the department, promotional opportunities and data sharing. Examples of how the charter can be used are outlined below.



The community can use the 10 principles to understand the value and benefits of quality public space. The charter will help the community to participate in the conversation about how public spaces should be planned, designed, managed and activated.



Local businesses and chambers of commerce can use the 10 principles to better understand how they can leverage public spaces for their business and advocate for public spaces in their area.



Public space managers can use the 10 principles to inform plans of management and the policies and programming that respond to the needs of their users.



Development professionals such as architects, heritage specialists and arborists can use the 10 principles to inform the design and delivery of a public space.



Strategic and statutory planners can apply the 10 principles as they develop planning proposals, local planning instruments and plans for precincts, local government areas, districts or regions.



Industry bodies can use the 10 principles to inform and support members involved in the planning, design, delivery, management or evaluation of public space.



Public policy makers can incorporate the 10 principles within policy and advice that informs NSW Government and council investment priorities.



Developers can draw from the 10 principles to plan for and provide quality public spaces within their developments.



To become a signatory to the charter, register your interest by emailing Public.Space@planning.nsw.gov.au

Using the charter

We have developed the charter to support all those who advocate on behalf of, provide advice on, make decisions about, or plan, design, manage and activate public spaces in NSW.

It is intended to align with other government and non-government strategies and policies for creating great places, where people can easily access a diversity of public spaces to enjoy the outdoors, interact with others or just relax.

The charter can also be used by the community to understand what quality public space is and to inform their participation when they are engaged in decisions about how public space is planned, designed, managed and activated.

Practitioner's guide

An accompanying practitioner's guide supports the charter. We have developed this to help practitioners understand the charter and how they can embed it into their work. The guide also explains the 10 charter principles and how practitioners should apply these when planning, designing, managing and activating public space.

For each of the 10 principles, the guide:

- explains the principles
- describes what the principle will look like in action
- provides practitioner tips to support how the principle can be followed as public space is planned, designed, managed and activated

- provides relevant examples
- links to relevant, supporting policies or plans.

Great Public Spaces Toolkit

The charter and practitioner's guide are also supported by the [Great Public Spaces Toolkit](#), which provides in-depth case studies and free resources to support local government, state agencies, industry and the community. The toolkit includes the Great Public Spaces Guide and the Evaluation Tool for Public Space and Public Life, which can be used by anyone who wants to better understand the strengths and areas for improvement in a public space.

Become a signatory

While we have developed the charter for use by anybody involved in the planning, design, delivery or management of public space, the Department of Planning, Industry and Environment encourages organisations and practitioners to become signatories to it. In becoming a signatory to the NSW Public Spaces Charter, an organisation or individual is showing a commitment to embed the 10 principles when they plan for, design, manage or activate public spaces.

Signatories to the charter will be supported with advice from the NSW Public Spaces Charter project team on how to develop an action plan to implement the Charter in their organisation or practice. They will also have access to a community of practice, delivered quarterly. The community of practice will be focused on building the capacity of signatories to apply the charter, by connecting them to public space experts and providing opportunities for information and data sharing and for promoting their own public space projects or practice.

To register your organisation's interest in becoming a signatory to the charter, email PublicSpace@planning.nsw.gov.au

While the department does not intend to subject the charter to regular review, we may update it as required to reflect contemporary practice and emerging research.

*Unity Place, Burwood.
Courtesy of Burwood Council*



10 PRINCIPLES



*Stirling Brown,
Mavis Feirer, Queenie
Walker, Janelle Brown
and Robyn Bancroft in
Market Square, Grafton
Photographer: Alison Page
and Nikolas Lachajczak*

PRINCIPLE #1

Open and welcoming



Everyone can access public space and feel welcome, respected and included.



Prince Alfred Square, Parramatta. Courtesy of Destination NSW

Public space should be inclusive of all people, regardless of their gender, age, sexuality, race, ethnicity, religion, cultural background, socioeconomic status, ability and/or personal values, so social, cultural, environmental and economic benefits are shared equitably.

For public space to be inclusive, it must be culturally, physically and socially accessible, and perceived by the community to be so. They should be places where everyone feels safe, welcome and able to participate in public life. They should offer a diversity of uses and well-designed experiences that are free of charge regardless of income, ability or where they live. Amenities such as seating, shade and shelter, end-of-trip facilities, accessible toilets and inclusive play spaces that anyone can use and enjoy should be provided.

The physical design of a space, how people get there and move through and between public spaces, is critical. Public space should be designed and maintained to ensure the highest possible level of accessibility, so that people of all ages and with differing cognitive, sensory, physical, or developmental abilities can use them with dignity and ease. They should have

clear entrances and exits, open sightlines, visible wayfinding and clear navigation. They should be well integrated with surrounding land uses and public transport options, and easy to walk or cycle to.

Individual public spaces can have distinct purposes and functions, and may not be able to cater to every need. Planning public spaces to be linked and equitably distributed can create a more connected network of spaces that work together, and support each other.

Creating open and welcoming public spaces requires early and ongoing engagement with communities regarding how they are planned, designed, managed and activated. Including diverse groups of people, including Aboriginal peoples, young people, people with disability, people experiencing homelessness and culturally and linguistically diverse people in shaping public spaces can help create more accessible, inclusive and welcoming public spaces for everyone. It is especially important to have strategies in place to engage community members and groups who have historically felt excluded from these processes.

PRINCIPLE #2

Community focused



Public space brings people together and builds strong, connected and resilient communities.

Public spaces are the meeting and gathering places where we socialise with friends and loved ones and experience social connections that are fundamental to individual and community health and wellbeing.

Public space is important because it can bring us side-by-side with people whom we don't know, to share space and experiences with others who are different from us. This can create mutual understanding, empathy and trust, which over time strengthens the social capital of communities. Social capital is what makes communities cohesive and resilient, providing them with the relationships and networks of support that they need to withstand and adapt to broader economic and social shifts.

A key outcome when planning, designing, managing and activating a public space should be how it facilitates formal and informal social interaction and fosters social connectedness amongst diverse people, cultural communities, age groups, religious groups, families and friends.

Public spaces must also be places that promote equity, inclusion, social justice and democracy. They should allow free expression, collective action, public debate and opportunities for people of all backgrounds to participate in civic life.

Public space that is community-led, with a strong foundation of inclusive and equitable engagement, collaboration and co-design is more likely to meet the desires, expectations, traditions and needs of its community. Involving the community, including diverse, under-represented and hard-to-reach groups, in decisions about how public space is planned, designed, managed and activated builds trust and ultimately a sense of belonging and attachment to place.

*Kerrabee Soundshell, Moama.
Courtesy of Murray River Council/Rebecca Pilgrim*



PRINCIPLE #3



Culture and creativity

Public space provides a platform for culture and creative expression that makes places more colourful, animated and thought-provoking.

All public space is on Country, which is deeply embedded with knowledge and memories that are the starting point for considering the culture of a place. Aboriginal peoples have always used ceremony, rituals and storytelling to engage with the spirit of a place, activate memories and connect with Country.

It's important that Aboriginal peoples can access public spaces for cultural practices, which incorporate any practice that connects them to their culture, Country and Dreaming. Cultural practices may involve caring for Country activities and are not restricted to traditional practices.

By listening to Aboriginal peoples and sharing the stories of Country, we can all strengthen our understanding of, and connection to, place and to each other. In being sites for truth-telling about our history and the impacts of colonisation, public spaces can also become places of reconciliation and healing.

Culture and creativity are powerful tools for communities to create a positive narrative about who they are and what they want their futures to look like. Arts and culture brings people together, allowing them to share experiences that powerfully builds community. Places with a rich and exciting cultural and creative offering are more liveable and distinct, with people more likely to want to live, work and spend time there.

Public space can embed arts, music, literature, screen, performance and cultural experiences, public art and events directly into the heart of communities. Supporting local opportunities for cultural and creative expression in public spaces encourages more diverse and equitable participation for audiences and artists.

The rich cultural diversity of NSW brings an exciting energy into our public spaces, making them places of cultural interaction and exchange. Programming and events such as concerts, festivals, storytelling, and ceremonies can reflect local histories, cultures and traditions. They can foster social inclusion and intercultural dialogue among diverse communities.



*Manning Regional Art Gallery, Taree.
Courtesy of MidCoast Council*

Public spaces such as libraries, parks, laneways and plazas can provide flexible and informal space that supports ephemeral, temporary and permanent creative works to be more visible, valued, distinctive and accessible. The spaces around and in between public facilities such as libraries, museums, galleries and community centres are especially well-placed locations for planning creative and cultural projects and activities. Place-based approaches that involve local artists and creative organisations can build on the unique identity of a local area and community to activate public spaces.

PRINCIPLE #4

Local character and identity



Public space reflects who we are and our diverse stories and histories.

Public space contains layers of built and natural heritage that cut across time and provide communities with a specific sense of character, place and identity. This heritage can be tangible or intangible, embedded in built form and landscapes or living in stories, memories and oral histories.

Country is the foundation of a place's identity. Public space should acknowledge and reflect Aboriginal languages, place names, and histories. It should provide space for Aboriginal cultures to be practised and shared, as this helps people feel more connected to Country and place. Public spaces such as parks, libraries, community centres, plazas, and sports grounds have aesthetic, historic, scientific, social or spiritual value that enriches our lives and make us feel deeply connected to our community and our landscape.

The character and quality of heritage in public spaces should be carefully managed and maintained, to promote local identity and to pass it on to the future generations. New public spaces should be sympathetic to the history and heritage

of the site and to the communities who live and have lived there, especially in urban renewal and brownfield developments. Adaptive re-use of heritage buildings such as town halls, fire stations and hospitals can provide new and exciting public spaces and uses that build on the history and connection that communities have to these places.

Supporting local artists and creatives to work collaboratively with communities can deliver public art and creative placemaking programs that respond to place and celebrate local stories, cultures and histories.

Communities are the best experts for recognising and valuing the local character and identity of a place and should be engaged early in the process of planning, designing and activating public space. Engaging communities meaningfully and effectively will ensure that diverse voices, cultures and histories can be reflected in the character of public space and everyone feels a more powerful sense of pride and belonging.

*Line of Lode Miners Memorial, Broken Hill
Courtesy of Destination NSW*



PRINCIPLE #5



Green and resilient

Public space connects us to nature, enhances biodiversity and builds climate resilience into communities.



Great River Walk, Penrith. Courtesy of Destination NSW

Public space supports the natural flows and cycles of the environment, by connecting ecological systems and networks of green space, waterways, bushland, riparian landscapes and wildlife corridors. Wildlife relies on public space for food and refuge, and their use and needs should be considered and protected. Native trees and vegetation should be prioritised in public space as these provide animals with their natural habitats, and are more suited to Australian climate and soil conditions.

By respecting, valuing and being guided by Aboriginal knowledge and land management practices in how we care for public space, we can help to support the health and wellbeing of Country. The planning, design, management and activation of public space can also support them to be sites for education about caring for Country's health and wellbeing and their role in supporting biodiversity and broader ecosystems.

Public space should be integrated with green infrastructure to ensure that urban and regional communities have equitable access to the social, environmental and economic benefits of quality green space. Green infrastructure is the network of green spaces, natural systems and semi-natural systems that supports sustainable communities.

It includes waterways, bushland, tree canopy and green ground cover, parks, and green open spaces that are strategically planned, designed and managed to support a good quality of life in the urban environment.

Public space that has quality green infrastructure, including tree canopy cover, can increase the long-term removal and storage of carbon, provide relief from urban heat and heatwaves, improve air and water quality, increase natural shade and the walkability of neighbourhoods, reduce noise pollution and the likelihood of flooding and sewage overflow.

Through careful planning and design, public spaces can build climate resilience into urban and regional communities. This includes using sustainable materials and integrating green walls and roofs into the built environment, providing green fire breaks between natural and built environments and flood mitigation zones in flood-prone areas. Planning and designing adaptable community facilities that are capable of changing use as refuge spaces and distribution points will ensure critical social infrastructure is available in the time of crisis and disaster.

PRINCIPLE #6

Healthy and active



Public space allows everyone to participate in activities that strengthen our health and wellbeing.

Public space plays a crucial role in building sustainable and healthy communities by supporting social interaction and connection and providing play and active recreation opportunities, green and natural environments, access to local healthy foods and safe routes to walk and cycle.

Public space that is well-designed, connected and inclusive can support everyone to build walking, exercise and physical activity into our everyday lives, helping prevent chronic disease such as cancer, heart disease, diabetes and depression. Increased availability and equitable distribution of accessible public open space can improve the opportunities for active and passive recreation, such as walking, running, cycling, team sports, picnicking and playing.

By providing access to cool, green spaces and connecting people to natural landscapes, such as nature trails, river and coastal walks and bushland, public space powerfully improves our mental health, reducing depression, anxiety and stress and improving memory and concentration. It should encourage and support social interaction and connection, which is important to our social wellbeing, and can help to reduce social isolation and loneliness. People should have access to a mix and balance of comfortable, tranquil spaces with places to sit and relax as well as space for higher-intensity activities such as sport and recreation, prioritising appropriate uses for different spaces.

Public space that is safe, well connected and high-quality encourages a culture of walking and cycling. Wider contiguous footpaths, tree canopy and shaded corridors, barriers between traffic and people, well-designed lighting, frequent crossings and lower traffic speeds

can all contribute to increased walkability. Using a movement and place lens to plan, design and manage streets can help to ensure these dual functions are supported. Street environments should be considered as places to attract people to visit and stay, not just as places to move through. They should contribute to the network of public space within a location, where people can live healthy, productive lives, meet each other, interact, and go about their daily activities.

The quality of public space is crucial in shaping the physical, cognitive and social development of children. Their needs, as well as that of their families, should always be considered. Supporting inclusion in the processes that shape public space will facilitate a broad range of healthy activities and behaviours and enable more people to have equitable access to the health benefits they provide.

*Sydney Olympic Park.
Courtesy of Sydney Olympic Park
Authority/Fiora Sacco*



PRINCIPLE #7

Local business and economies



Public space supports a dynamic economic life and vibrant urban and town centres.

The public space network supports lively high streets, outdoor dining and cafés, and popular tourist destinations, as well as providing low-barrier commercial opportunities, such as markets, food vans and live performance.

The way that we value buildings and places is strongly linked to people's experience of these places and whether it includes spaces that meet their needs. Locations with high-quality, well-designed and well-managed public places attract residents, customers, employees and services, which in turn attracts business and investment. To deliver a high-quality experience, public space should have a strong vision and layers of activities to attract different groups of people and helps them form a connection to place.

Privately-owned spaces and commercial activity can complement and activate public space, but this should not compromise their primary function of delivering public benefit. Active facades, building edges and podiums can create economic activity and vitality that draws people into an area, while public space attracts diverse groups of people and connects them to retail and business. Town centres and retail precincts that are supported with quality public spaces where people can sit, rest and connect with each other are more likely to thrive.

Using streets as public spaces can create more vibrant and dynamic retail and hospitality precincts and attract higher foot traffic. Activating streets and laneways with creative



Blak Markets, La Perouse. Courtesy of Destination NSW

placemaking and programming can breathe life and energy into public space that turns neighbourhoods into destinations, spurs innovation and improves land and property value.

Activating public spaces such as parks, plazas, libraries, museums and community centres in a safe and welcoming way after dark is critical for a more diverse and vibrant night-time economy. Understanding the rhythm and patterns of how public space is used at different times of the day can inform a strategic and place-based approach to programming and activation that supports the local economy at all hours.

PRINCIPLE #8

Safe and secure



Everyone feels safe to access and use public space at all times of the day.

Perceptions of personal safety influence how public spaces are accessed and used. Public space feels safer when it is well-used and inclusive, and people can see and interact with others. It should encourage a diverse mix of intergenerational and intercultural users, and recognise children as active users of the space. It should be activated with a mix of uses at all times of the day and people-oriented lighting at night, especially along pedestrian and cycle routes.

Incorporating crime-prevention strategies such as the Crime Prevention Through Environmental Design principles when planning and designing public space can reduce crime and anti-social behaviours, making places and spaces feel safer, which in turn can enhance the physical, mental and social wellbeing of community members. It's important, however, that strategies and approaches to designing and managing safe public spaces don't strip them of their

distinctiveness and public amenity, or cause marginalised groups to be excluded.

Risk assessments and safety audits are valuable tools for understanding if there are safety issues in a public space and what measures could be put in place to address these. Consulting diverse groups of people, including women and vulnerable or marginalised groups, is important to understand their experience of accessing and using public space and their perception of its safety.

Feeling culturally, physically and spiritually safe when accessing public spaces is especially important for Aboriginal peoples and communities. Involving Aboriginal communities, at all stages of public spaces development and its continuing management, is key to creating and maintaining culturally safe places.

*Inner West Fest - Baludarri.
Courtesy of Inner West Council/Daniel Kukec*



PRINCIPLE #9



Designed for place

Public space is flexible and responds to its environment to meet the needs of its community.



Leagues Club Park, Gosford.

Courtesy of Hunter & Central Coast Development Corporation

The way that public space is designed can directly or indirectly affect the way that it is used, and who uses it. Public space should provide open space and facilities that are multi-purpose, connected and flexible enough to support a broad range of uses, activities and experiences throughout the day and night. It should respond to its environment and the diversity of its users, incorporating universal design principles so that everyone can enjoy it, regardless of age, ability and mobility.

Public space that is co-located with other uses, such as education, health, cultural facilities and other public spaces, can help create a sense of place and community. For example, co-locating libraries within community centres or open space near schools can diversify the use of these spaces and provide more equitable access. Planning for place across the whole lifecycle of a project, from concept, to design, delivery and implementation will lead to more successful public spaces.

Every public space is unique and has its own specific context, community and environment. It should be fit-for-purpose, designed with an understanding of how it will be used and who will use it. It should be capable of adapting to

changing uses and demands. It should encourage formal and informal interaction and provide people with different levels of engagement so that they don't have to interact with the space in the same way. It should have complementary uses whenever possible and be well-connected to surrounding areas and other public space to provide a richer experience for its users.

The connectivity of public space to the ground floor of buildings and the way they work together to support each other is important. Planning, designing and activating ground planes that support surrounding streets, laneways and open spaces encourages vibrant public life and provides a continuous network of pathways and experiences that makes it easier and safer for people to move around.

Aboriginal Knowledge Holders, organisations and communities should be engaged at an early stage of the design process for public space, to ensure that knowledge about Country is considered. This could include identifying stories or narratives connected to a place that can inform its design, or to understand if there are key movement paths or Songlines that can direct how people move in and through the public space.

PRINCIPLE #10



Well-managed

Well-managed and maintained public space functions better and invites people to use and care for it.

All public spaces require some form of management so that they can continue to fulfil their various roles and provide a safe and welcoming environment. There are often multiple and diverse stakeholders whose involvement, activities and relationships can affect the quality of a public space and who have their own concerns and needs for how the space should be maintained. Public space management and governance agreements, strategies and frameworks that define roles and responsibilities, support collaboration and consider sustainable funding models can deliver better place quality outcomes.

Public space should be managed in a way that encourages and is considerate of users. Rules governing public space should only restrict activities and behaviours that are unsafe and shouldn't target user groups who have historically been excluded from public space, including young people, Aboriginal peoples and people experiencing homelessness.

Public spaces should be designed with consideration of their financial sustainability, and how long-term operating and maintenance costs can be minimised. Smart infrastructure, systems and technology can also improve the ways that public space is monitored and managed. Cleaning, maintenance and repairs of public space and its amenities should be carried out in line with their levels of use to maintain a welcoming environment.

Aboriginal people are experts in land management practices that ensure the health and wellbeing of Country. Valuing and respecting Aboriginal cultural knowledge and working with Aboriginal peoples should be a priority in managing public space. This will also ensure that culturally significant places are respected and protected, and there is access for cultural practice.

Flexible community-led design, inclusive processes and capacity-building can also

foster more efficient and dynamic models of stewardship to emerge. When power and responsibility for managing public space is shared with the community, people feel more invested and are more willing to maintain, program, beautify, and advocate for those spaces. Volunteer groups such as scouts and girl guides, local schools, sports and surf lifesaving clubs, bush care groups or citizen science networks can provide valuable community partnerships for managing public space.

*Royal Botanic Gardens Sydney's Aboriginal Education & Engagement Manager Renee Cawthorne
Courtesy of Royal Botanic Gardens and Domain Trust*





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